



Application Type:

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

PROJECT NAME:

APPLICANT

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

OWNER

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

DESCRIPTION OF SITE

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES NO

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all

Jon L. Kinning

7/28/2020





October 7, 2019

Adams County
Community and Economic Development Department
4430 South Adams County Parkway, Suite W2000
Brighton, Colorado 80601

RE: Commerce City Annexation Requirements for 8221 & 8213 E. 96th Avenue – RK Steel

Commerce City staff has received a request to determine whether the property located at 8221/8213 E. 96th Avenue can proceed with development in Adams County or will be required to annex to Commerce City.

Commerce City's ability to require a property to annex into Commerce City stems from the City's Intergovernmental Agreement (IGA) with South Adams County Water and Sanitation District (SACWSD). The boundaries of the SACWSD service area and the Commerce City planning and annexation area are co-terminus. Water and wastewater services are made available pursuant to the SACWSD's Rules and Regulations and the terms of the IGA between Commerce City and SACWSD dated April 28, 2004 as well as an implementation agreement with SACWSD dated April 7, 2014.

Based upon the allocation to Commerce City by SACWSD of water resources and wastewater treatment capacity for future development of lands within the GSA (General Service Area), the City will generally require that unincorporated properties be annexed to the City in order to receive water and wastewater service. Said requirement shall be contingent upon the City's desire to annex the property, the City's legal ability to annex such lands, any other limitations under existing law, and the results of any individual case-by-case review by SACWSD and the City under Section 12 of the IGA. The general GSA boundaries are East 112th Avenue on the North, Sand Creek on the South, Highway 2 on the East and the South Platte River on the West.

A consultant for the RK Steel project worked to verify the water needs associated with the proposed project. It was determined by the consultant that this project will only require three additional ERUs (equivalent residential units) for water resources. The City will not require annexation as long as the project does not require any additional ERUs above the three and development may proceed in the County. Please make the applicant aware that the amount of water resources provided to them by SACWSD will be limited to the existing use plus three additional ERUs and that any additional water resources required for the project will be subject to the City's approval and may result in annexation being required.

Sincerely,

Jenny Axmacher, AICP
City Planner
Commerce City, CO

CC: Roger Tinklenberg, Deputy City Manager
Debbie Evans, SACWSD

RK STEEL

CIVIL CONSTRUCTION PLANS

LOT 1, BLOCK 1, GARDNER DENVER FILING NO. 3 - PLAT CORRECTION NO. 1

SITUATED IN THE S 1/2 OF SECTION 16, T.2S., R.67W. OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

PROJECT TEAM

OWNER

RK STEEL
8221 EAST 96TH AVENUE
HENDERSON, CO 80640
PHONE: (303) 785-6797
ATTN: DONNIE HIRSCHFELD

CIVIL ENGINEER

ENGINEERING SERVICE COMPANY
14190 EAST EVANS AVENUE
AURORA, COLORADO 80014
PHONE: (303) 337-1393
ATTN: CHAD M. ANDERSON, PE

LAND SURVEYOR

ENGINEERING SERVICE COMPANY
14190 EAST EVANS AVENUE
AURORA, COLORADO 80014
PHONE: (303) 337-1393
ATTN: CHARLES N. BECKSTROM, PLS

LANDSCAPE ARCHITECT

MACK LAND, LLC
1870 DENVER WEST DRIVE, #1913
GOLDEN, CO 80401
PHONE: (303) 669-8922
ATTN: KATE MACK, RLA

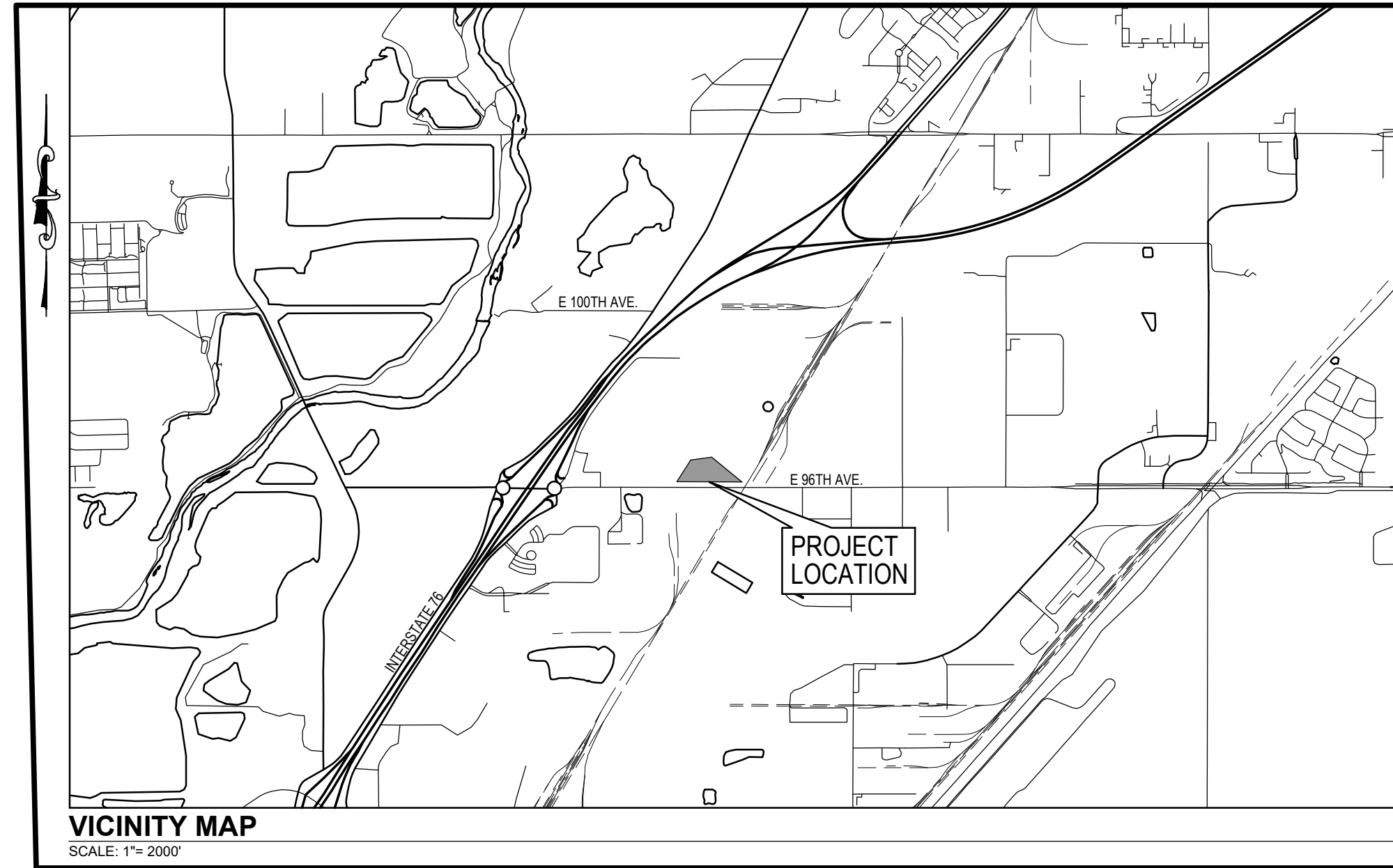
AGENCY/UTILITY CONTACTS

ADAMS COUNTY

DEVELOPMENT ENGINEERING SERVICES
4430 SOUTH ADAMS COUNTY PARKWAY
BRIGHTON, CO 80601
(720) 523-6996

ADAMS COUNTY NOTE

PUBLIC IMPROVEMENTS SHALL CONFORM TO ADAMS COUNTY STANDARDS AND SPECIFICATIONS AND LATEST EDITION OF COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.



SHEET INDEX

C100	COVER
C200	SITE PLAN
C300	GRADING AND UTILITY PLAN
C350	DETAILS
C400	ESC PLAN
C450	ESC DETAILS
C451	ESC DETAILS
C452	ESC DETAILS
C453	ESC DETAILS
C500	LANDSCAPE PLAN

CAUTION: NOTICE TO CONTRACTOR

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LEGAL DESCRIPTION

LOT 1, BLOCK 1, GARDNER DENVER FILING NO. 3 - PLAT CORRECTION NO. 1
COUNTY OF ADAMS, STATE OF COLORADO

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE SOUTH LINE OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, MONUMENTED AT THE SOUTHEAST CORNER AND SOUTHWEST CORNER BY A 3-1/4" ALUMINUM CAP STAMPED LS 17488 BEING ASSUMED TO BEAR S89°53'00"W A DISTANCE OF 5282.77 FEET.

BENCHMARK

ADAMS COUNTY BM #5090 - U.S.G.S. 3-3/4" BRASS CAP LOCATED EAST OF THE INTERSECTION OF INTERSTATE 76 AND EAST 96TH AVENUE, 0.8 MILE EAST OF INTERSTATE 76, 50 FEET NORTH OF THE CENTER OF EAST 96TH AVENUE AND 40.6 FEET NORTHWEST OF THE UNION PACIFIC RAILROAD TRACKS.
ELEVATION = 5094.845 FEET (NAVD 1988 DATUM)

COVER

RK STEEL STORAGE YARD - CIVIL CONSTRUCTION PLANS
LOT 1, BLOCK 1, GARDNER DENVER FILING NO. 3 - PLAT CORRECTION NO. 1
SITUATED IN THE SOUTH 1/2 OF SECTION 16, T.2S., R.67W. OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

RK STEEL

8221 E. 96TH AVE
HENDERSON, CO 80640
PHONE: (303) 785-6797
ATTN: DONNIE HIRSCHFELD

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Designed by:	Engineering No.:
Drawn by:	Date:
Checked by:	Scale:
Sheet No.:	Horiz.: N.A. Vert.: N.A.

C100

Know what's below.
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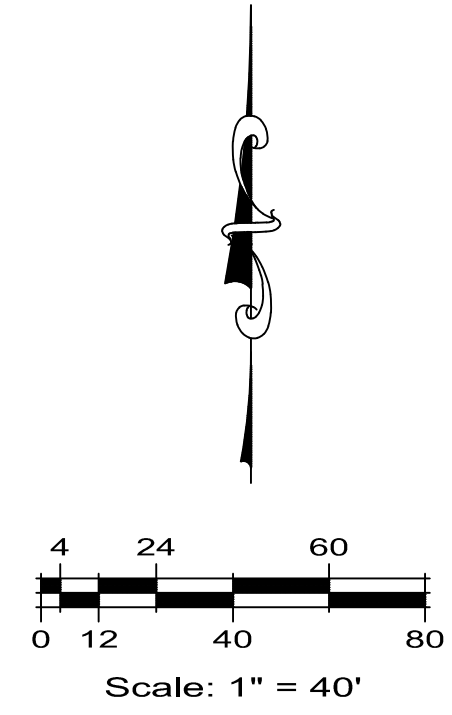
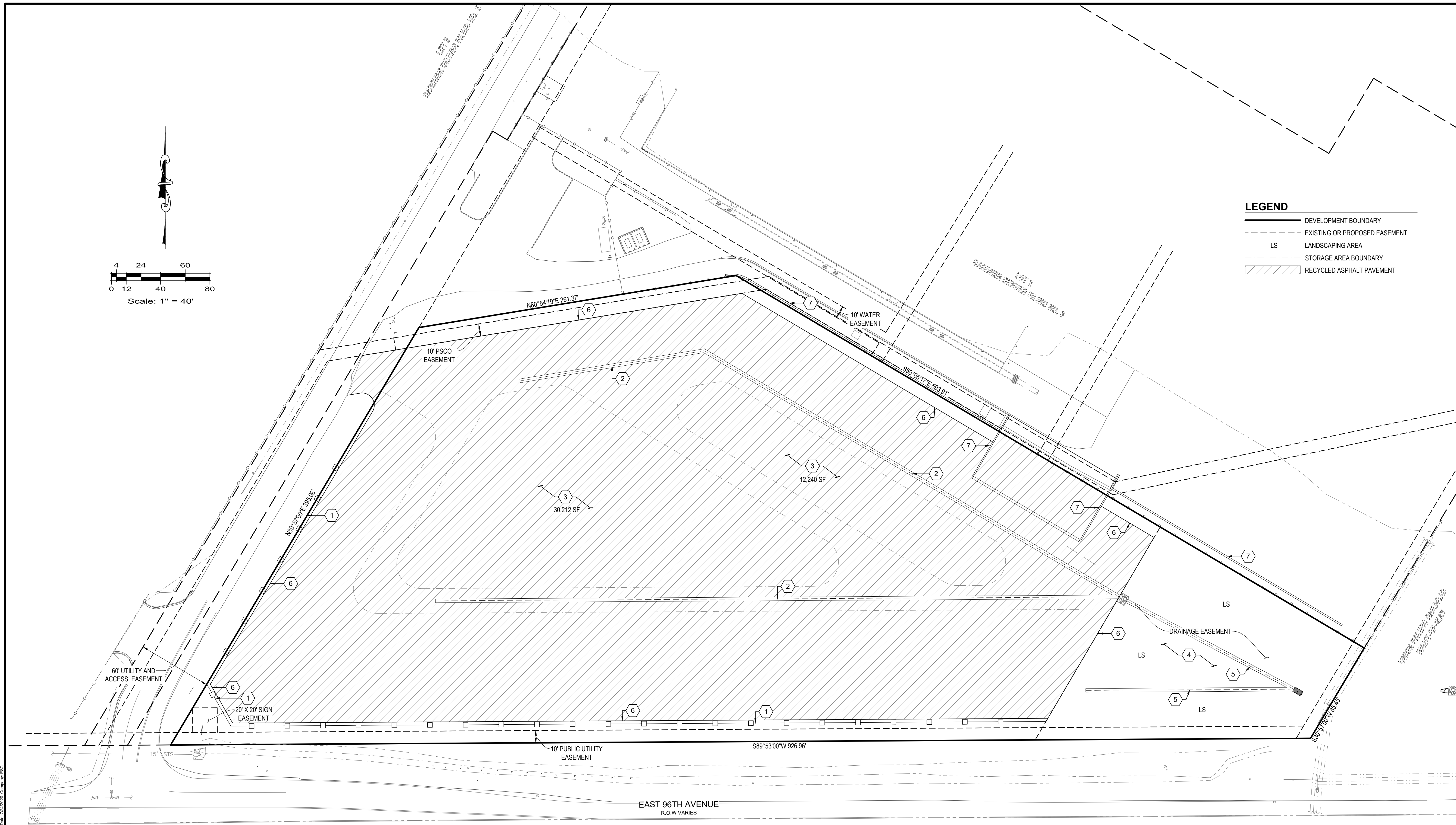
Date:
2020-05-30

No.:	Description:
	INITIAL SUBMITTAL

ENGINEERING SERVICE COMPANY
14190 East Evans Avenue
Aurora, Colorado 80014
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F 303.337.7481
T/F 1.877.273.0659
engineering@servicesco.com



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LEGEND

	DEVELOPMENT BOUNDARY
	EXISTING OR PROPOSED EASEMENT
	LANDSCAPING AREA
	STORAGE AREA BOUNDARY
	RECYCLED ASPHALT PAVEMENT

PAVING NOTE

ALL PAVING, INCLUDING CURB, GUTTER, AND SIDEWALK, TO BE INSTALLED OUTSIDE OF PUBLIC RIGHTS OF WAY SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SITE SPECIFIC "REPORT OF GEOTECHNICAL ENGINEERING EVALUATION - PROPOSED DOLLAR GENERAL-WELD COUNTY ROAD 74, SEVERANCE, COLORADO" PREPARED BY PROFESSIONAL SERVICE INDUSTRIES, INC. AND DATED OCTOBER 22, 2018; OR AS MAY HAVE BEEN AMENDED HENCE. RECOMMENDATIONS TO BE FOLLOWED INCLUDE, BUT ARE NOT LIMITED TO, THE PAVEMENT SECTION, MATERIALS, AND SUBGRADE PREPARATION. THE CONTRACTOR SHALL COORDINATE APPROVAL FOR INSTALLATION OF ANY ALTERNATE RECOMMENDATIONS INCLUDED IN THE INVESTIGATION OR DESIRED MODIFICATIONS TO THE RECOMMENDATIONS WITH THE OWNER/DEVELOPER AND/OR THEIR CONSTRUCTION MANAGER PRIOR TO BID AND PRIOR TO CONSTRUCTION.

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SITE PLAN KEYED NOTES

- 1 INSTALL 8-FOOT TALL FENCE/WALL DESIGNED BY OWNER/CONTRACTOR
- 2 INSTALL 3-FOOT WIDE VALLEY PAN; RE: SHEET C300
- 3 PROPOSED STORAGE AREA; SQUARE FOOTAGE SHOWN ON PLAN
- 4 CONSTRUCT DETENTION POND; RE: SHEET C300
- 5 CONSTRUCT TRICKLE CHANNEL; RE: SHEET C300
- 6 RECYCLED ASPHALT PAVEMENT BOUNDARY
- 7 CONSTRUCT CONCRETE WALL; RE: SHEET C300

GENERAL SITE PLAN NOTES

- 1. REFER TO SHEET C100 FOR ADDITIONAL PROJECT GENERAL NOTES.
- 2. THE CONTRACTOR SHALL REFER TO THE GRADING PLAN FOR CURB TYPES AND FLOWLINE ELEVATIONS.
- 3. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, STAIRS, PRECISE BUILDING DIMENSIONS, AND BUILDING ENTRANCES.
- 4. ALL SIGNING AND STRIPING WILL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND LOCAL CODES.
- 5. REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL INSTALLATION REQUIREMENTS INCLUDING, BUT NOT LIMITED TO LOCATION, TYPE, SIZE AND MATERIAL OF WIRING, CONDUIT, TRENCH, AND CONNECTION POINTS FOR SITE LIGHTING, SITE SIGNAGE, AND OTHER SITE IMPROVEMENTS.
- 6. ALL RADIUS DIMENSIONS SHOWN ARE TO FLOWLINE UNLESS OTHERWISE NOTED.

LEGAL DESCRIPTION

LOT 1, BLOCK 1, GARDNER DENVER FILING NO. 3 - PLAT CORRECTION NO. 1 COUNTY OF ADAMS, STATE OF COLORADO

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE SOUTH LINE OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, MONUMENTED AT THE SOUTHWEST CORNER AND SOUTHWEST CORNER BY A 3-1/4" ALUMINUM CAP STAMPED LS 17488 BEING ASSUMED TO BEAR S89°53'00"W A DISTANCE OF 5282.77 FEET.

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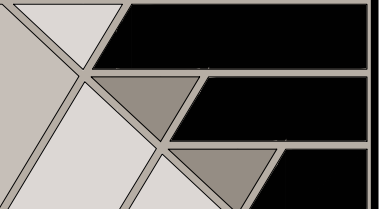
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Date:	2020-05-30
No.:	INITIAL SUBMITTAL
Description:	

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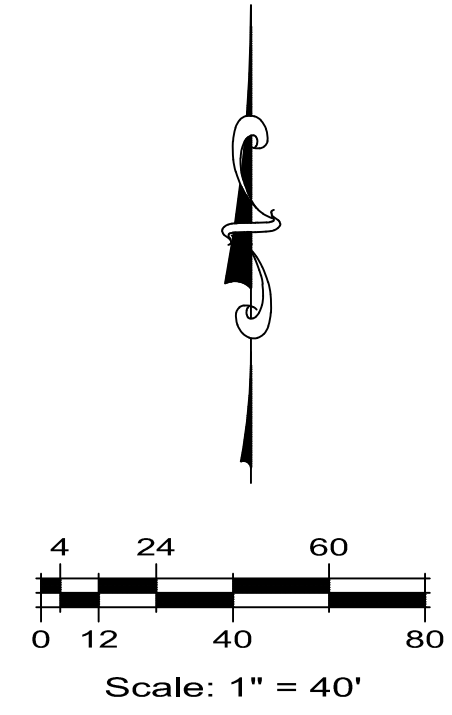
SITE PLAN
RK STEEL STORAGE YARD - CIVIL CONSTRUCTION PLANS
LOT 1, BLOCK 1, GARDNER DENVER FILING NO. 3 - PLAT CORRECTION NO. 1
SITUA TED IN THE SOUTH 1/2 OF SECTION 16, T.2S., R.67W. OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

Client: **RK STEEL**
8221 E. 96TH AVE
HENDERSON, CO 80640
PHONE: (303) 785-6797
ATTN: DONNIE HIRSHFIELD

FOR REVIEW ONLY
Not for construction

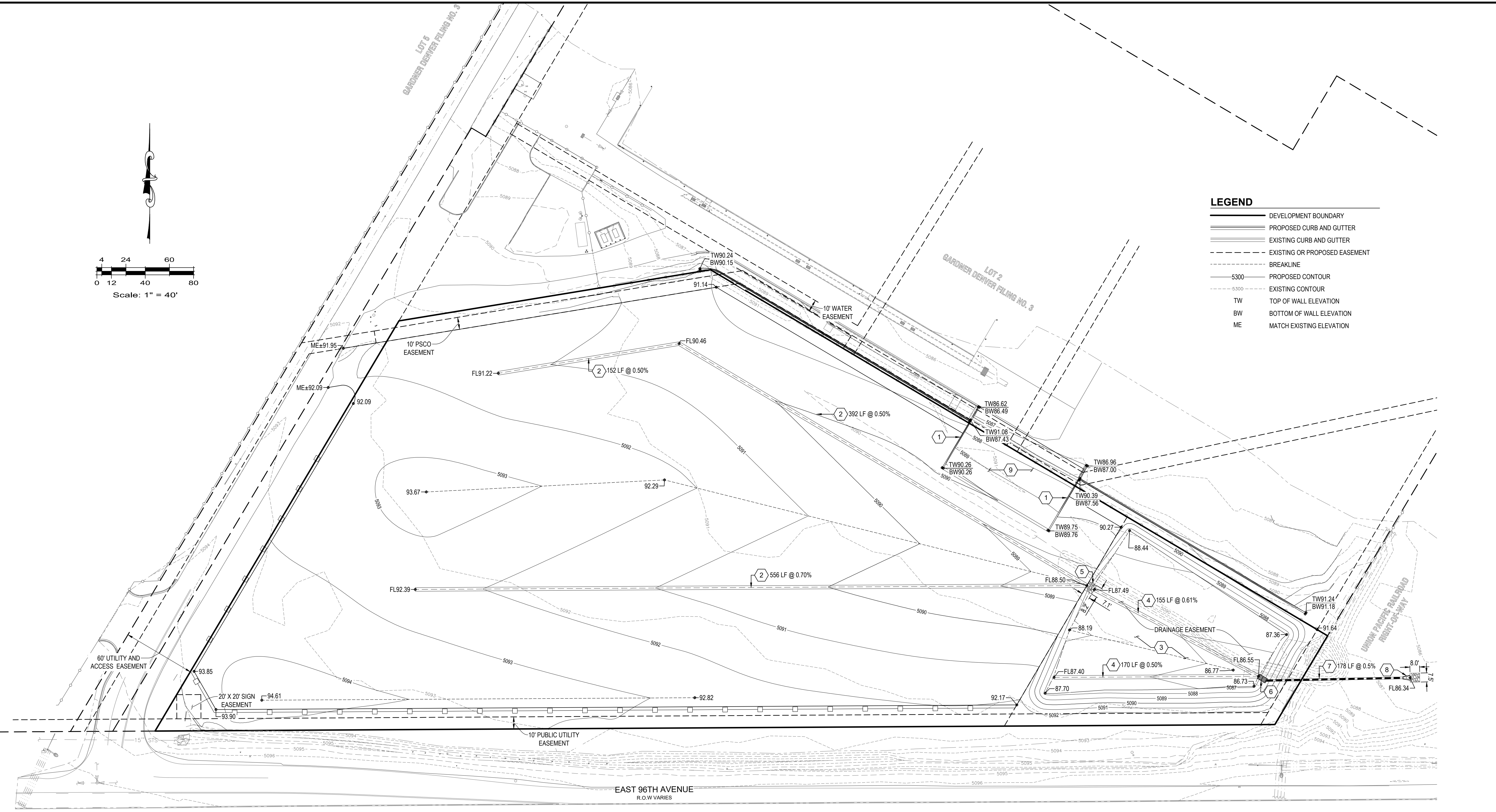
Designed by:	Engineering No.:
Drawn by:	E-20-001
Date:	
Checked by:	Scale:
CMA JWB	2020-05-30
Sheet No.:	Horz.: 1" = 40'
	Vert.: N.A.

C200



LEGEND

	DEVELOPMENT BOUNDARY
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	EXISTING OR PROPOSED EASEMENT
	BREAKLINE
	5300 PROPOSED CONTOUR
	5300 EXISTING CONTOUR
	TW TOP OF WALL ELEVATION
	BW BOTTOM OF WALL ELEVATION
	ME MATCH EXISTING ELEVATION



- GRADING PLAN KEYED NOTES**
- 1 CONSTRUCT CONCRETE WALL; TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON PLAN
 - 2 INSTALL 3-FOOT WIDE VALLEY PAN, LENGTH AND SLOPE SHOWN ON PLAN; RE: DETAIL A ON SHEET C350
 - 3 CONSTRUCT DETENTION POND
 - 4 CONSTRUCT TRICKLE CHANNEL, LENGTH AND SLOPE SHOWN ON PLAN; RE: DETAIL B ON SHEET C350
 - 5 INSTALL MHFD TYPE L RIPRAP TO EXTENTS SHOWN
 - 6 INSTALL OUTLET CONTROL STRUCTURE; RE: DETAIL C ON SHEET C350
 - 7 INSTALL 18-INCH RCP; LENGTH AND SLOPE SHOWN ON PLAN
 - 8 INSTALL 18-INCH FLARED END SECTION; RE: DETAIL M-603-10 ON SHEET C350
 - 9 LOWER EXISTING UTILITIES AS NECESSARY. COORDINATE WITH UTILITY PROVIDERS.

- GRADING PLAN GENERAL NOTES**
1. REFER TO SHEET C100 FOR ADDITIONAL PROJECT GENERAL NOTES.
 2. IF, DURING THE OVERLOT GRADING PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE GEOTECHNICAL ENGINEER IMMEDIATELY FOR RECOMMENDATIONS.
 3. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SPOT ELEVATIONS WHICH DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB AND GUTTER AND UTILITIES.
 4. SPOT ELEVATIONS REPRESENT FLOWLINE (BOTTOM FACE OF CURB) WHERE SHOWN AT CURB AND GUTTER UNLESS OTHERWISE NOTED.
 5. CONTOURS SHOWN ARE FOR FINISHED PAVING, SIDEWALK, SLAB, OR GROUND. ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
 6. REFER TO SITE PLAN FOR EXTENT OF PAVEMENT AND PAVEMENT SECTIONS.
 7. GRADES WITHIN ASPHALT PAVING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN GRADE. HOWEVER, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG CURBS. ALL CURBS SHALL BE BUILT IN ACCORDANCE WITH THE PLAN. CURBS OR PAVEMENT AREAS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
 8. THE CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 9. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL LANDSCAPED AND PAVED AREA.
 10. ALL DISTURBED AREAS THAT ARE NOT DESIGNATED TO BE PAVED SHALL BE LANDSCAPED OR SEEDING, ACCORDING TO THE LANDSCAPE PLAN.
 11. IF ANY EXISTING STRUCTURES, SIDEWALK, AND/OR CURB AND GUTTER, MODIFIED OR REMAINING, ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER PRIOR TO PROJECT CLOSEOUT.
 12. ALL GRATES, MANHOLE RIMS, VALVE BOXES, VALVE COVERS, CLEANOUTS, AND VAULT OR BOX COVERS SHALL BE ADJUSTED TO THE "AS CONSTRUCTED" FINISHED GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.
 13. NO PROPOSED SLOPE IN LANDSCAPED AREAS OR OPEN SPACE SHALL EXCEED THREE (3) HORIZONTAL FEET TO ONE (1) VERTICAL FOOT, OR AS OTHERWISE SPECIFIED BY LOCAL CRITERIA.
 14. THE CONTRACTOR SHALL PROTECT THE PROJECT BENCHMARK THROUGHOUT CONSTRUCTION AND SET ADDITIONAL PROJECT BENCHMARKS AS NECESSARY TO MAINTAIN VERTICAL CONTROL THROUGHOUT THE DURATION OF THE PROJECT.

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Date: 2020-05-30

No.: INITIAL SUBMITTAL

Description:

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engineering@esvc.com

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Aurora, Colorado 80014
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GRADING AND UTILITY PLAN
RK STEEL STORAGE YARD - CIVIL CONSTRUCTION PLANS
LOT 1, BLOCK 1, GARDNER DENVER FILING NO. 3 - PLAT CORRECTION NO. 1
SITUA IN THE SOUTH 1/2 OF SECTION 16, T2S, R67W, OF THE 6TH P.M.
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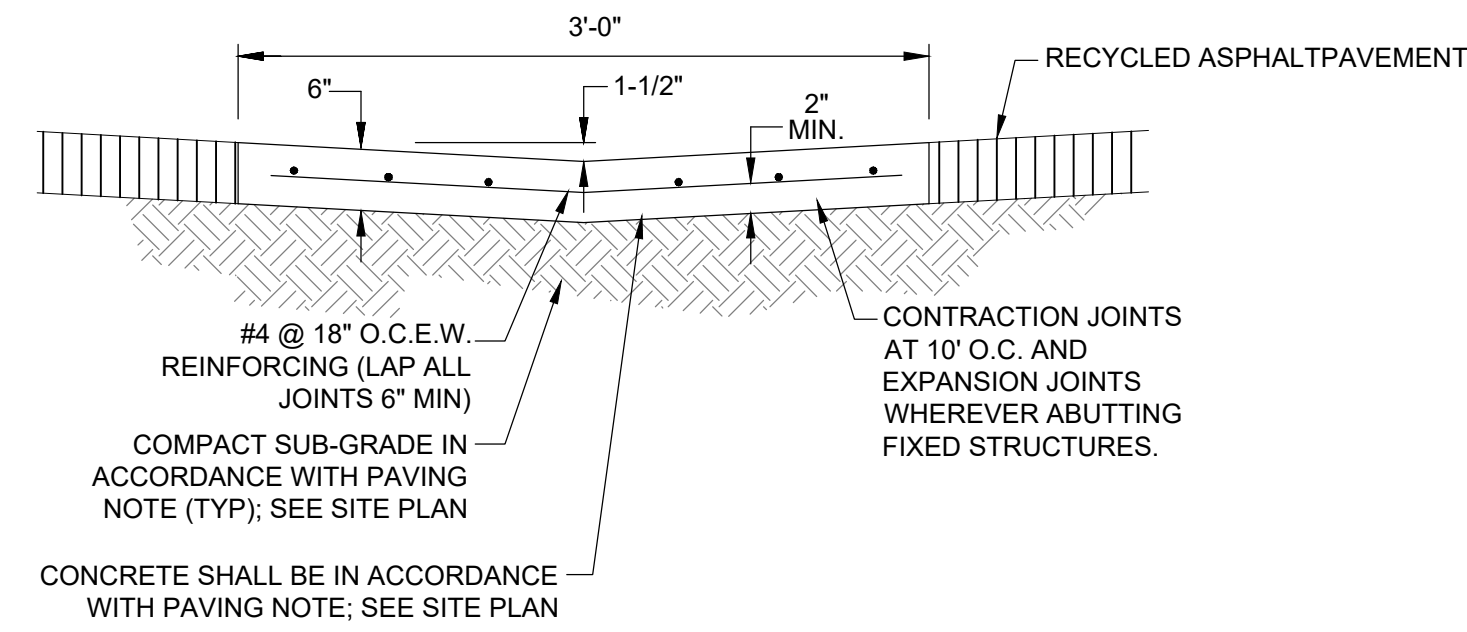
Client: **RK STEEL**
8221 E. 96TH AVE
HENDERSON, CO 80640
PHONE: (303) 785-6797
ATTN: DONNIE HIRSHFIELD

Designed by: CMA
Drawn by: CMA
Checked by: CMA
Scale: 1" = 40'
Vertical: N.A.

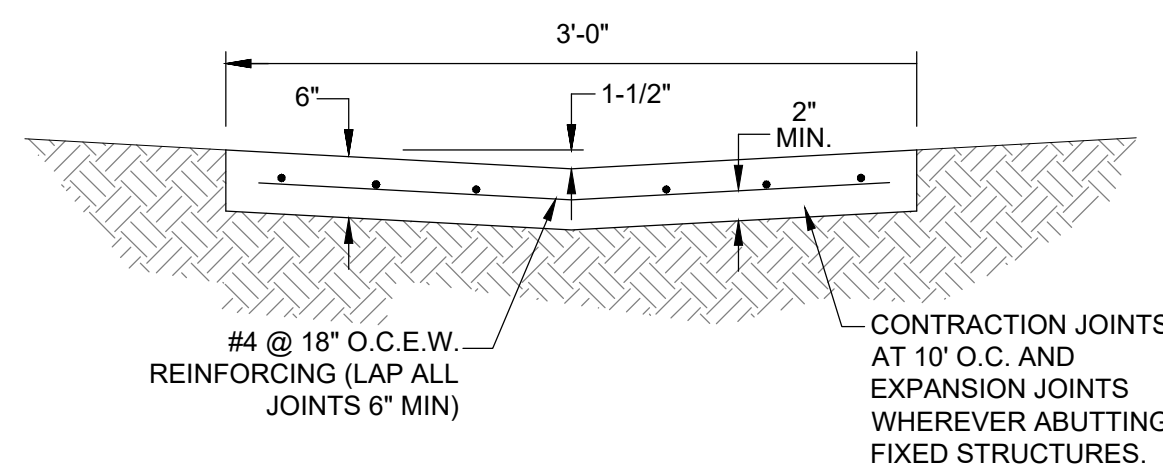
Engineering No.: E-20-001
Date: 2020-05-30
Scale: 1" = 40'
Vertical: N.A.

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C300



VALLEY PAN (PRIVATE)
NOT TO SCALE

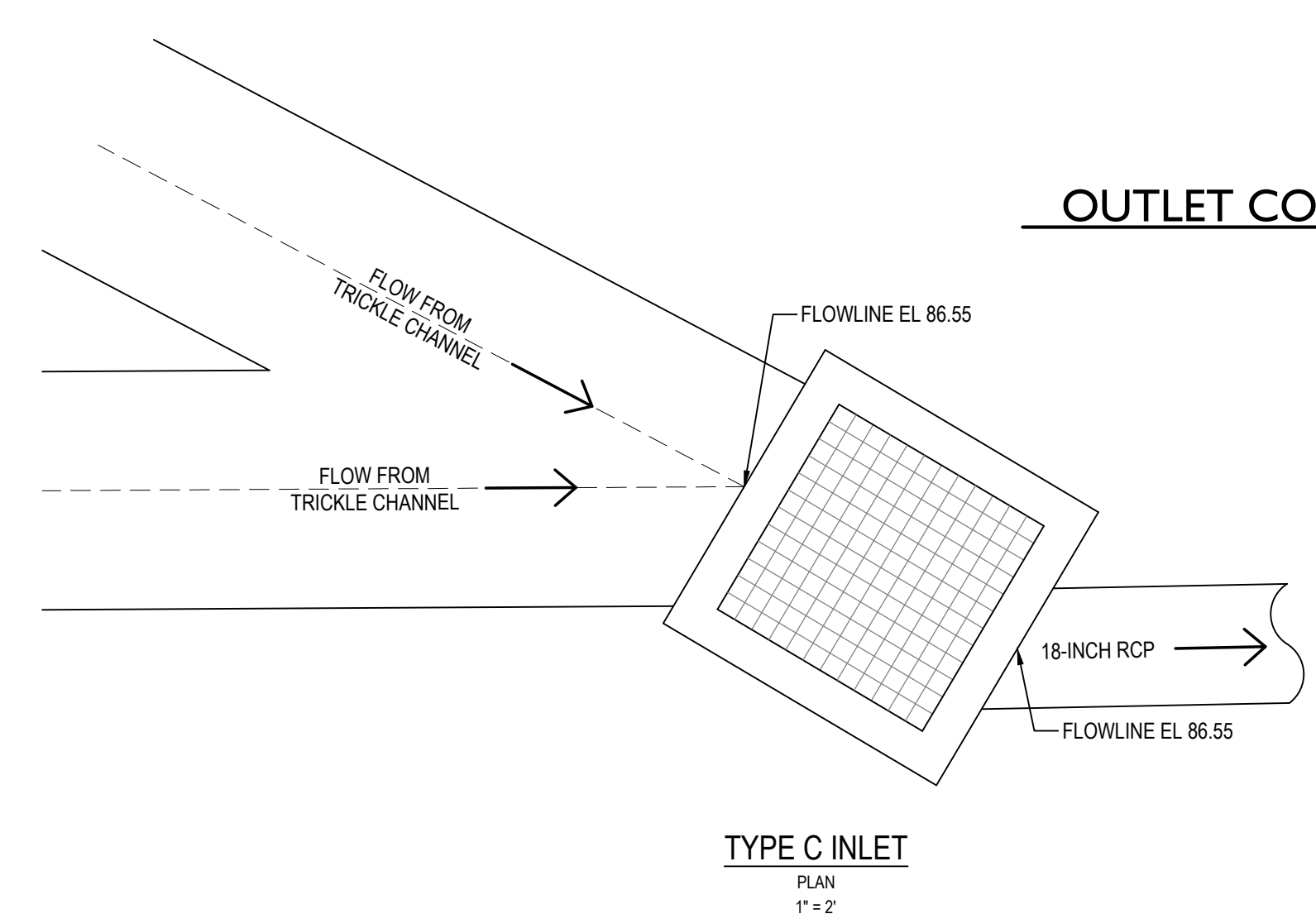


TRICKLE CHANNEL
NOT TO SCALE

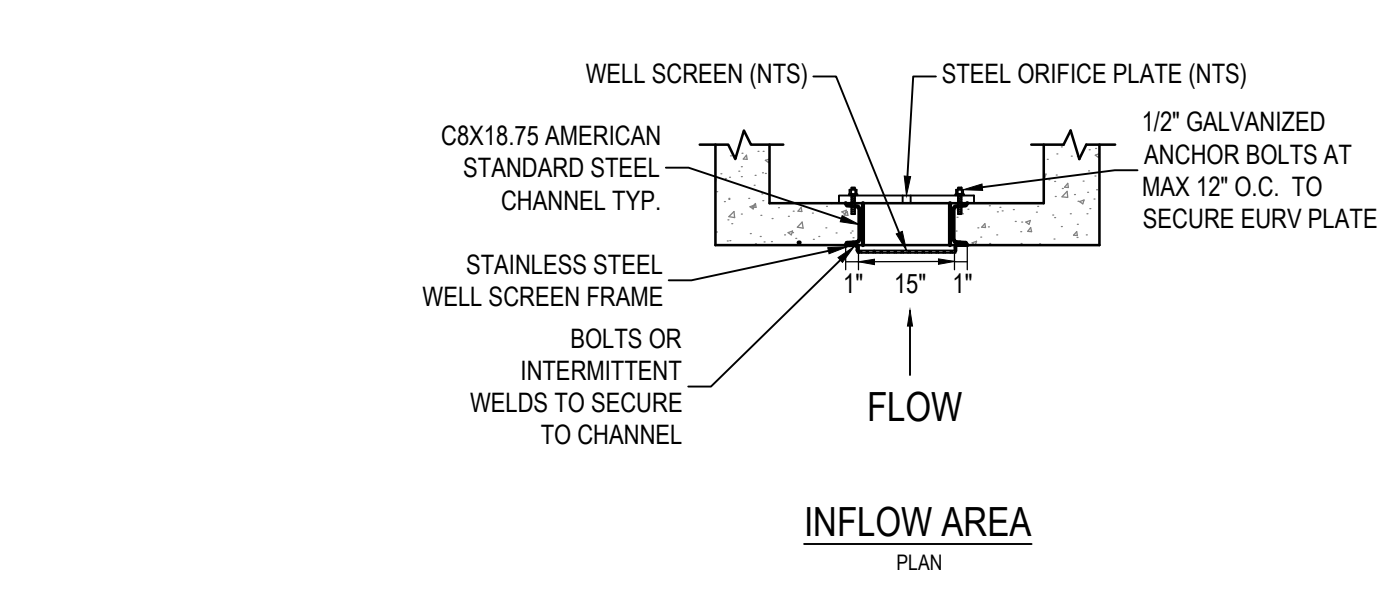
PIPE DIA.	THICKNESS	DIMENSIONS					
		A	B	H	L	W	T
12	0.064	6	6	6	21	24	34
18	0.064	8	10	6	31	36	46
24	0.064	10	13	8	41	48	58
30	0.079	12	16	8	51	60	70
36	0.079	14	19	9	60	72	84
42	0.109	16	22	11	69	84	106
48	0.109	18	27	12	78	90	112
54	0.109	18	30	12	84	102	124
60	0.109	18	33	12	87	114	136
66	0.109	18	36	12	87	120	142
72	0.109	18	39	12	87	126	148
78	0.109	18	42	12	87	132	154
84	0.109	18	45	12	87	138	160

PIPE ARCH	SPAN x RISE	THICKNESS	DIMENSIONS					
			A	B	H	L	W	T
21 x 15	0.064	7	10	6	23	36	46	
24 x 18	0.064	8	12	6	28	42	52	
28 x 20	0.064	9	14	6	32	48	58	
35 x 24	0.079	10	16	6	39	60	70	
42 x 29	0.079	12	18	8	46	75	85	
49 x 33	0.109	13	21	9	53	85	103	
57 x 38	0.109	18	26	12	63	90	108	
64 x 43	0.109	18	30	12	70	102	120	
71 x 47	0.109	18	33	12	77	114	132	

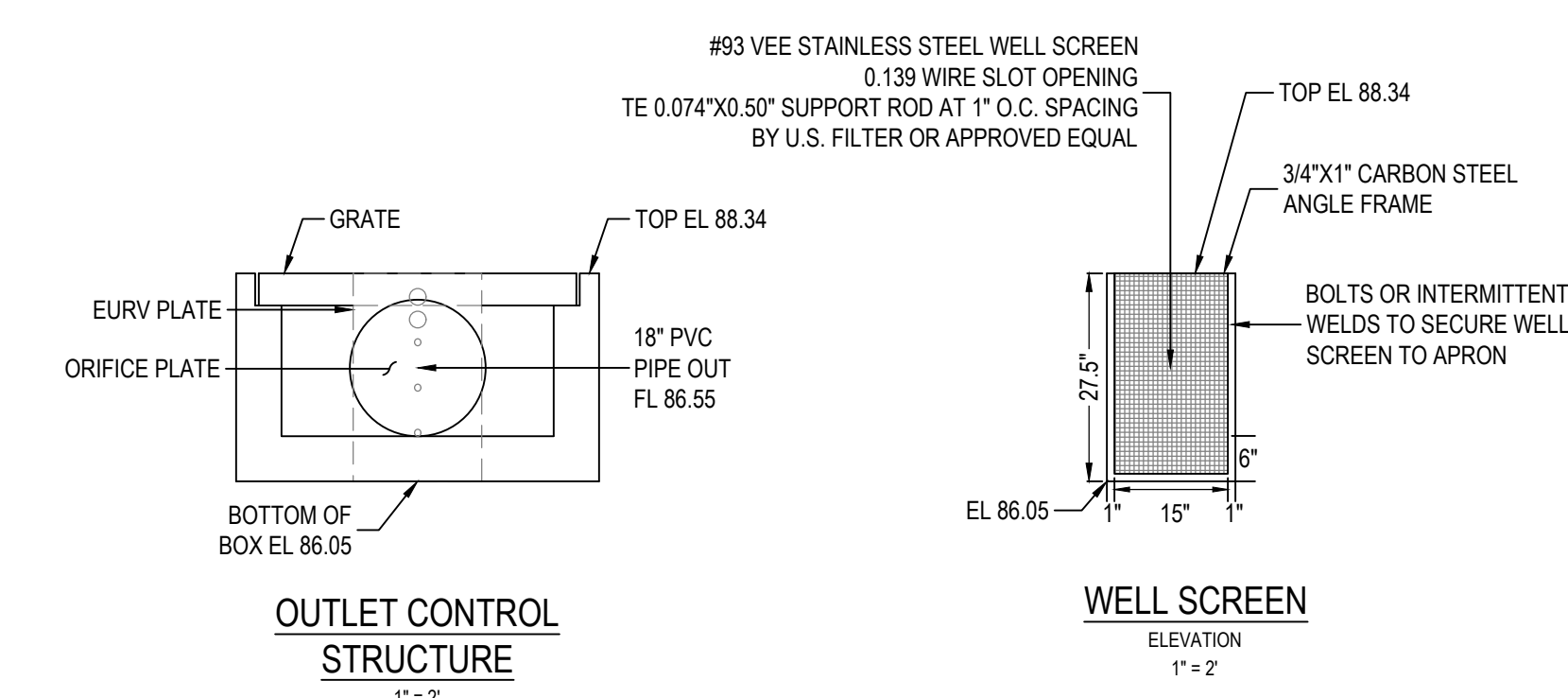
EQUIVALENT CIRCULAR DIA.	DIMENSIONS					
	NOMINAL SPAN x RISE	C	L	E		
24	30	19	9	33	72	48
30	36	24	10	18	72	60
36	45	29	12	24	84	72
42	55	34	16	36	96	78
48	60	38	21	36	96	84
54	68	43	26	36	96	90
60	75	48	30	36	96	96



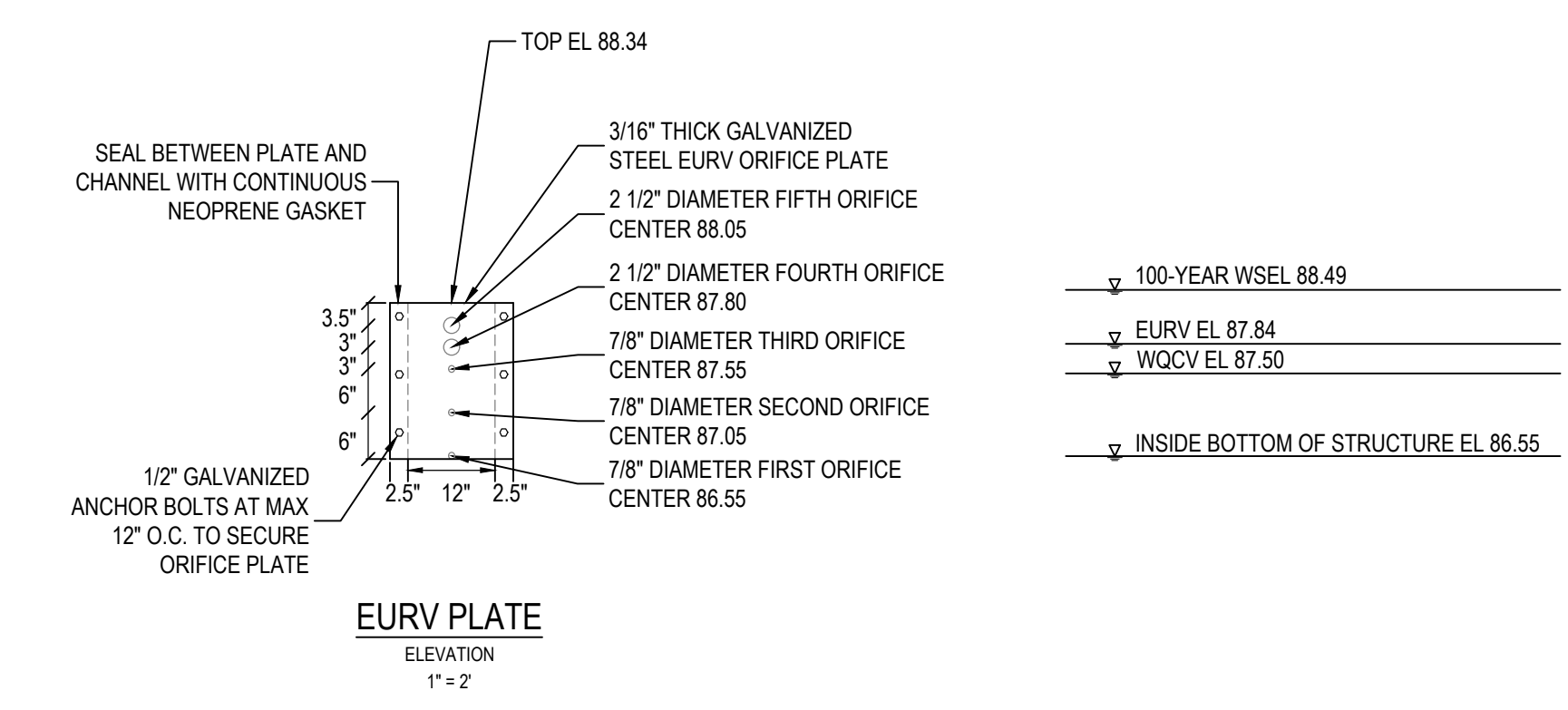
TYPE C INLET
PLAN
1" = 2'



INFLOW AREA
PLAN



WELL SCREEN
ELEVATION
1" = 2'



EUR PLATE
ELEVATION
1" = 2'

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Date: 2020-05-30

Description: INITIAL SUBMITTAL

No.: 14190 East Evans Avenue
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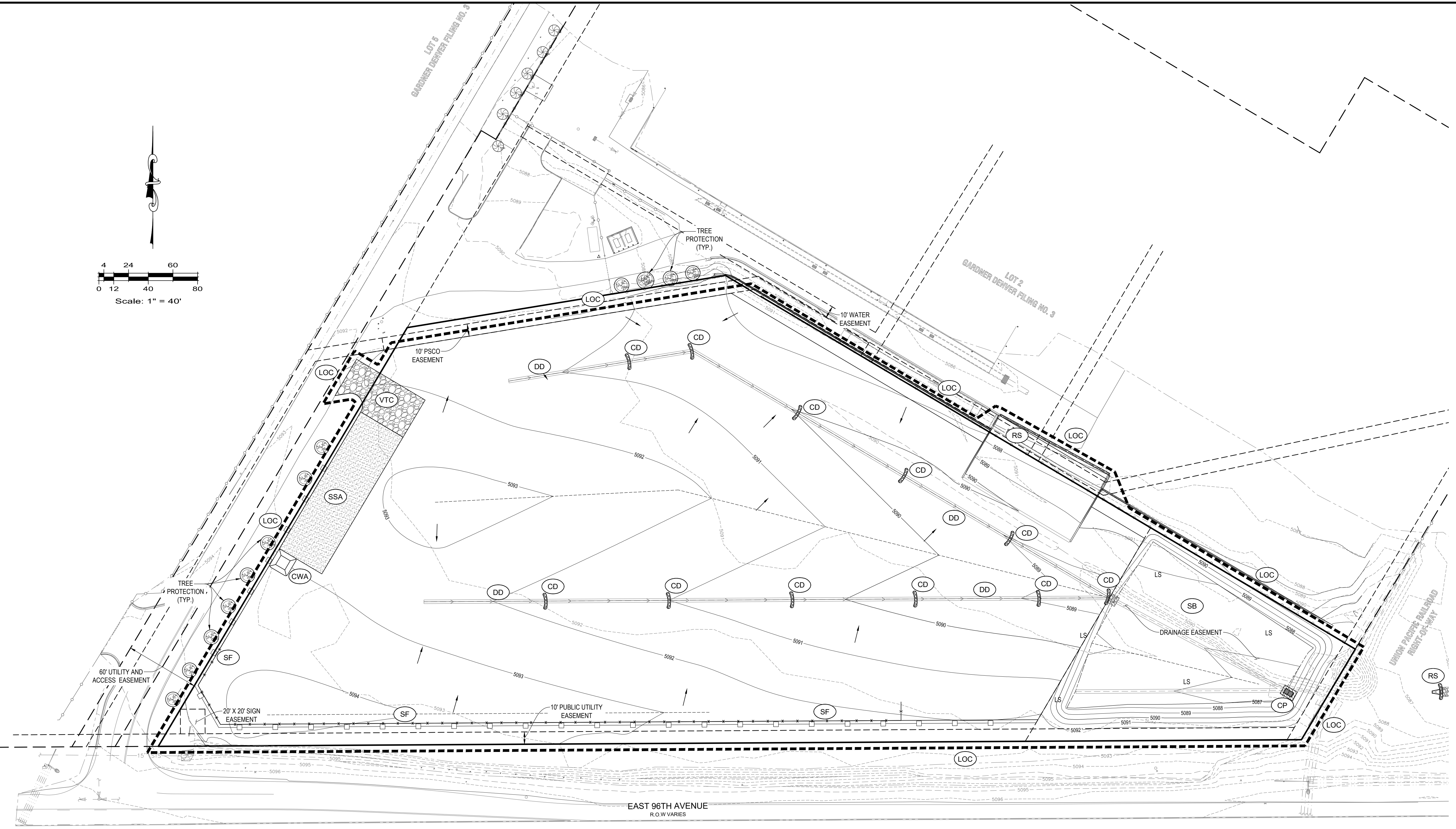
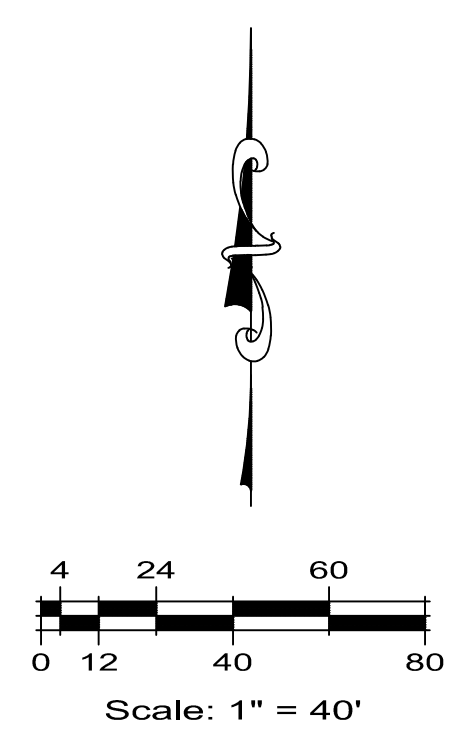
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engineering@esandco.com

DETAILS
RK STEEL STORAGE YARD - CIVIL CONSTRUCTION PLANS
LOT 1, BLOCK 1, GARDNER DENVER FILING NO. 3 - PLAT CORRECTION NO. 1
SITUA IN THE SOUTH 1/2 OF SECTION 16, T.2S., R.67W. OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

Client: **RK STEEL**
8221 E. 96TH AVE
HENDERSON, CO 80640
PHONE: (303) 785-6797
ATTN: DONNIE HIRSHFIELD

Designed by: Engineering No.:
CMA E-20-001
Drawn by: Date:
CMA, JWB 2020-05-30
Checked by: Scale:
CMA Horiz.: 1" = 40'
Vert.: N.A.
Sheet No.: **C350**

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LEGEND

	BOUNDARY		GRADEBREAK LINE
	FINISHED GRADE DRAINAGE FLOW ARROW		CONCRETE WASHOUT AREA
	INLET PROTECTION		LIMITS OF CONSTRUCTION / DISTURBANCE
	SILT FENCE		STABILIZED STAGING AREA
	VEHICLE TRACKING CONTROL		EROSION CONTROL BLANKET
	ROCK SOCK		SEDIMENT CONTROL LOG
	CHECK DAM		CULVERT PROTECTION
	DIVERSION DITCH		SEDIMENT BASIN
	STOCKPILE AREA		

CAUTION: NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION, SIZE, NUMBER, AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON MEASUREMENTS TAKEN IN THE FIELD AND RECORDS OF THE VARIOUS UTILITY COMPANIES. THIS INFORMATION IS NOT TO BE RELIED ON TO BE COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION TO REQUEST UTILITIES BE LOCATED AND MARKED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

LEGAL DESCRIPTION
 LOT 1, BLOCK 1, GARDNER DENVER FILING NO. 3 - PLAT CORRECTION NO. 1
 COUNTY OF ADAMS, STATE OF COLORADO

BASIS OF BEARINGS
 BEARINGS ARE BASED ON THE SOUTH LINE OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, MONUMENTED AT THE SOUTHEAST CORNER AND SOUTHWEST CORNER BY A 3-1/4" ALUMINUM CAP STAMPED LS 17488 BEING ASSUMED TO BEAR S89°53'00"W A DISTANCE OF 5282.77 FEET.

BENCHMARK
 ADAMS COUNTY BM #5090 - U.S.G.S. 3-3/4" BRASS CAP LOCATED EAST OF THE INTERSECTION OF INTERSTATE 76 AND EAST 96TH AVENUE, 0.6 MILE EAST OF INTERSTATE 76, 50 FEET NORTH OF THE CENTER OF EAST 96TH AVENUE AND 40.6 FEET NORTHWEST OF THE UNION PACIFIC RAILROAD TRACKS.
 ELEVATION = 5094.845 FEET (NAVD 1988 DATUM)

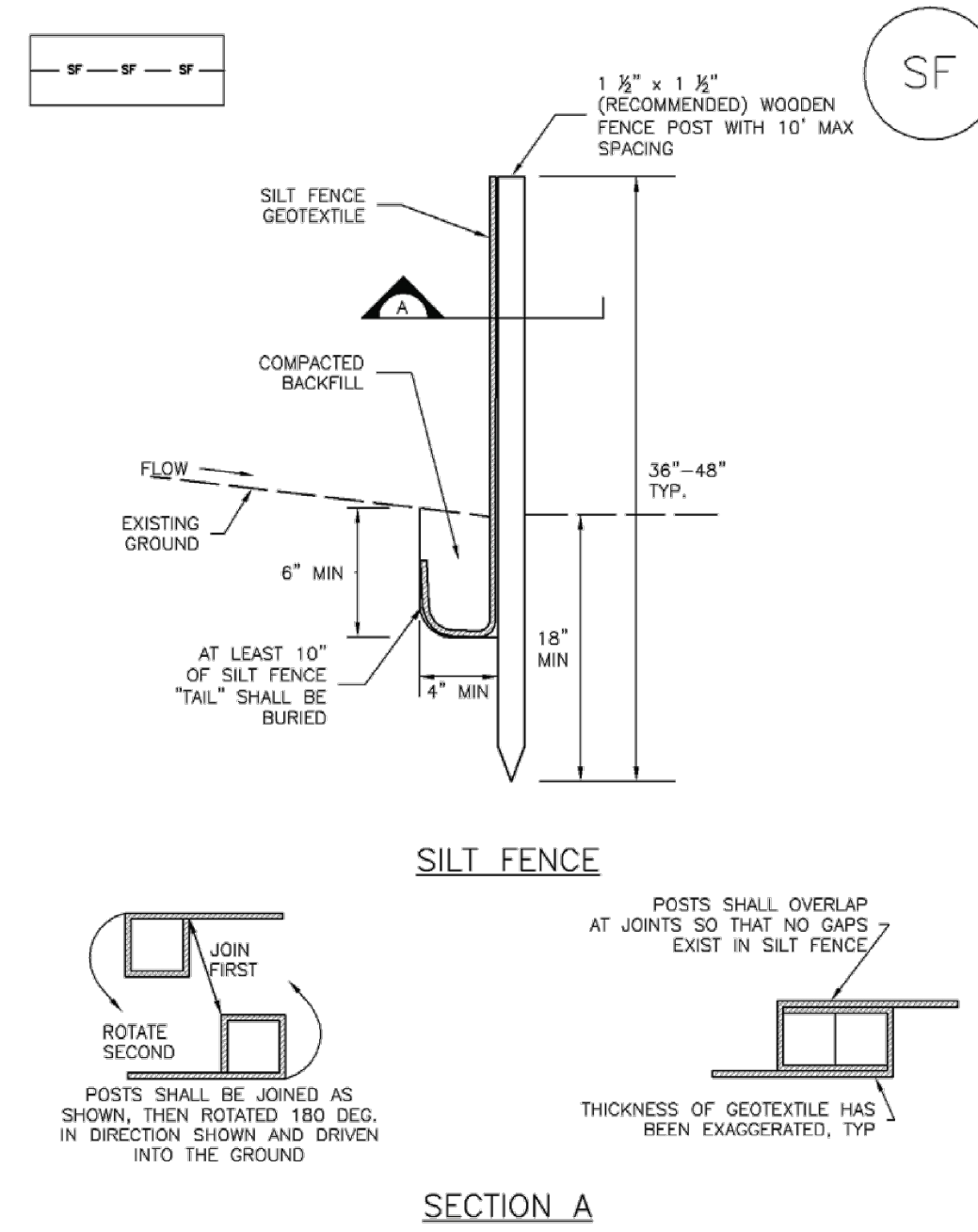
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<p>ES&C PLAN RK STEEL STORAGE YARD - CIVIL CONSTRUCTION PLANS LOT 1, BLOCK 1, GARDNER DENVER FILING NO. 3 - PLAT CORRECTION NO. 1 SITUATED IN THE SOUTH 1/2 OF SECTION 16, T2S, R67W, OF THE 6TH P.M. COUNTY OF ADAMS, STATE OF COLORADO</p>					
<p>CLIENT: RK STEEL 8221 E. 96TH AVE HENDERSON, CO 80640 PHONE: (303) 785-6797 ATTN: DONNIE HIRSHFIELD</p>					
<p>FOR REVIEW ONLY Not for construction</p>					
Designed by:		Engineering No.:		Date:	
CMA		E-20-001		Date:	
Drawn by:		Scale:		Sheet No.:	
CMA, JWB		2020-05-30		C400	
Created by:		Horiz.: 1" = 40'		Vert.: N.A.	
CMA					

Silt Fence (SF)

SC-1



SILT FENCE

SECTION A

SF-1. SILT FENCE

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SF-3

SC-1

Silt Fence (SF)

SILT FENCE INSTALLATION NOTES

1. SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
2. A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
3. COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
6. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "U-HOOK." THE "U-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

SILT FENCE MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE SILT FENCE.
5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
6. SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERMEABLE SEDIMENT CONTROL BMP.
7. WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

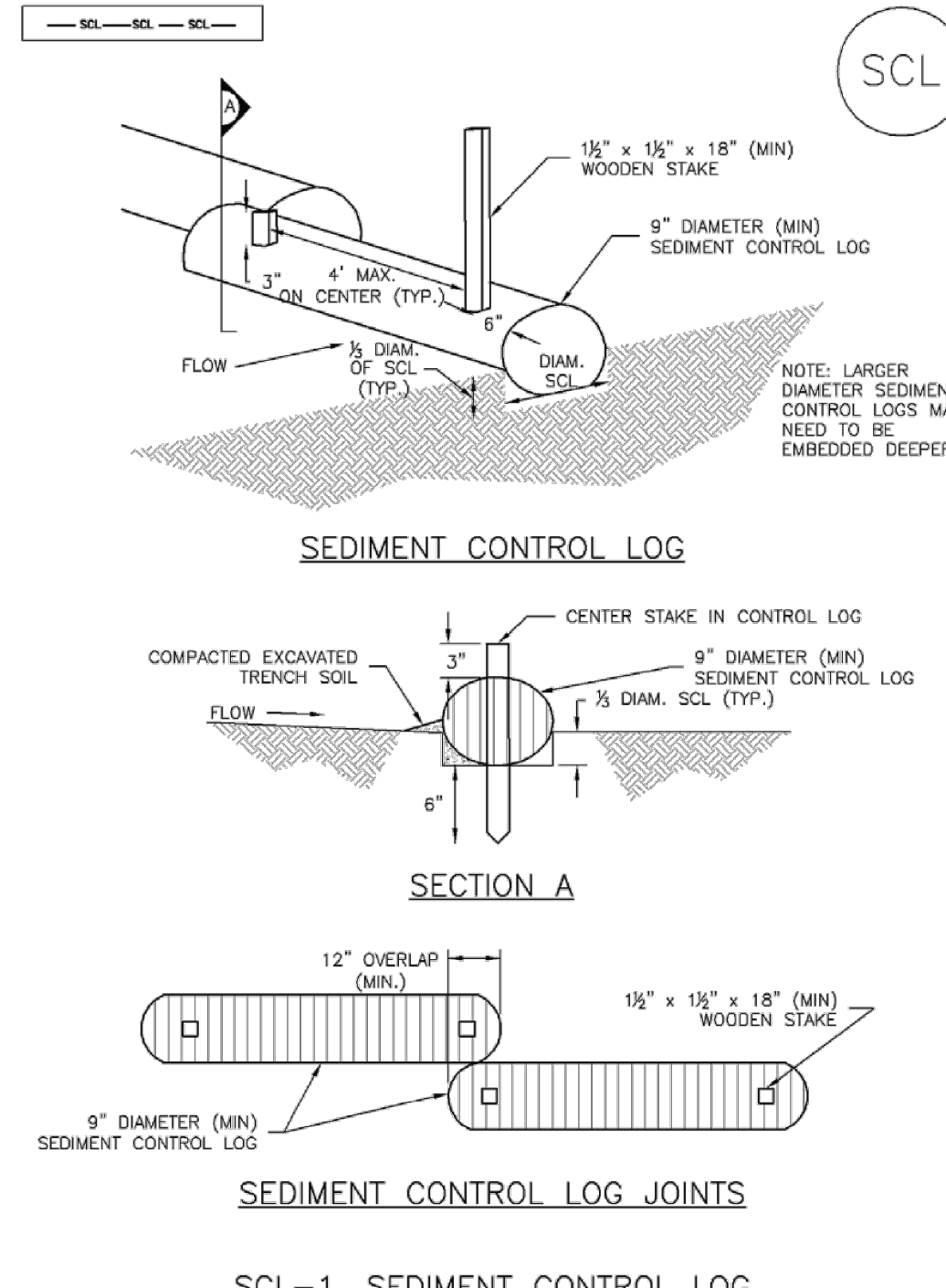
(DETAILS ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SF-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

Sediment Control Log (SCL)

SC-2



SEDIMENT CONTROL LOG

SECTION A

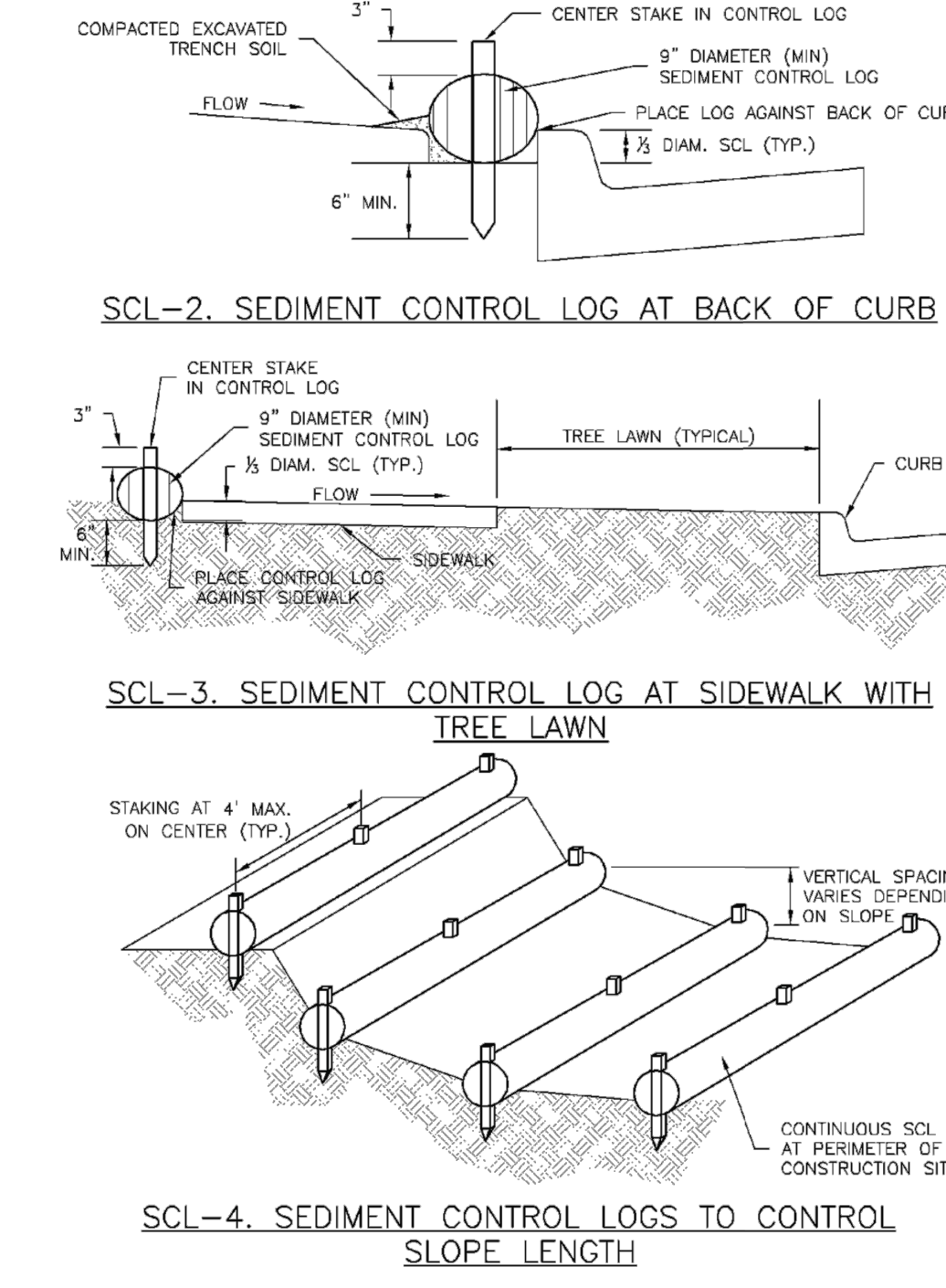
SEDIMENT CONTROL LOG JOINTS

SCL-1. SEDIMENT CONTROL LOG

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SCL-3

SC-2

Sediment Control Log (SCL)



SCL-2. SEDIMENT CONTROL LOG AT BACK OF CURB

SCL-3. SEDIMENT CONTROL LOG AT SIDEWALK WITH TREE LAWN

SCL-4. SEDIMENT CONTROL LOGS TO CONTROL SLOPE LENGTH

SCL-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

Sediment Control Log (SCL)

SC-2

SEDIMENT CONTROL LOG INSTALLATION NOTES

1. SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOGS.
2. SEDIMENT CONTROL LOGS THAT ACT AS A PERIMETER CONTROL SHALL BE INSTALLED PRIOR TO ANY UPGRADE/IMPACT-DISTURBING ACTIVITIES.
3. SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELISOR OR COCONUT FIBER, AND SHALL BE FREE OF ANY NOXIOUS WEED SEEDS OR DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
4. SEDIMENT CONTROL LOGS MAY BE USED AS SMALL CHECK DAMS IN DITCHES AND SWALES. HOWEVER, THEY SHOULD NOT BE USED IN PERENNIAL STREAMS OR HIGH VELOCITY DRAINAGE WAYS.
5. IT IS RECOMMENDED THAT SEDIMENT CONTROL LOGS BE TRENCHED INTO THE GROUND TO A DEPTH OF APPROXIMATELY 1/2 OF THE DIAMETER OF THE LOG. IF TRENCHING TO THIS DEPTH IS NOT FEASIBLE AND/OR DESIRABLE (SHORT TERM INSTALLATION WITH DESIRE NOT TO DAMAGE LANDSCAPE) A LESSER TRENCHING DEPTH MAY BE ACCEPTABLE WITH MORE ROBUST STAKING.
6. THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL THAT IS FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED INTO THE SHAPE OF A RIGHT TRIANGLE USING A SHOVEL OR WEIGHTED LAWN ROLLER.
7. FOLLOW MANUFACTURERS' GUIDANCE FOR STAKING. IF MANUFACTURERS' INSTRUCTIONS DO NOT SPECIFY SPACING, STAKES SHALL BE PLACED ON 4' CENTERS AND EMBEDDED A MINIMUM OF 6" INTO THE GROUND. 3" OF THE STAKE SHALL PROTRUDE FROM THE TOP OF THE LOG. STAKES THAT ARE BROKEN PRIOR TO INSTALLATION SHALL BE REPLACED.

SEDIMENT CONTROL LOG MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOG SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE SEDIMENT CONTROL LOG.
5. SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION. IF DISTURBED AREAS EXIST AFTER REMOVAL, THEY SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

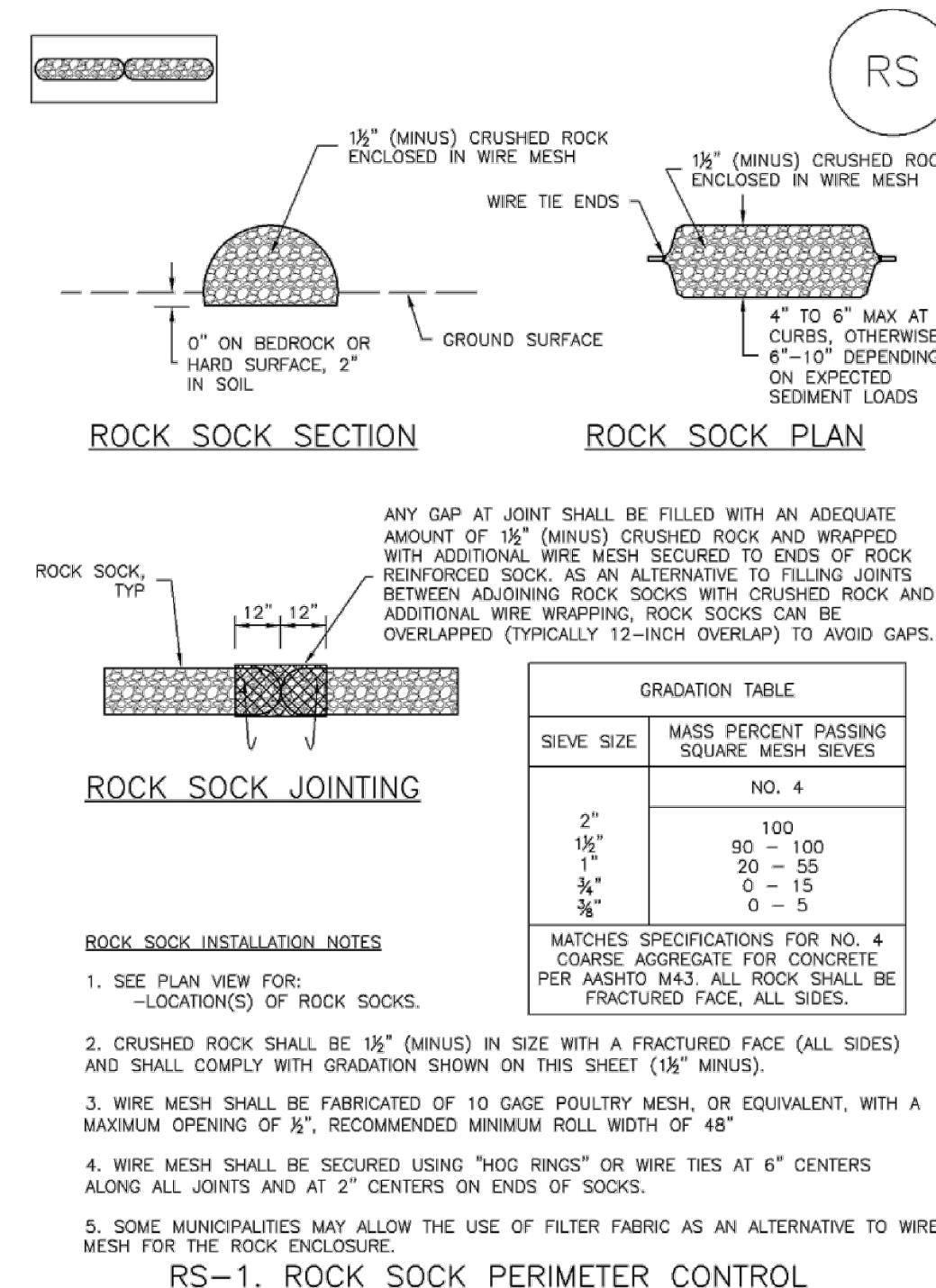
(DETAILS ADAPTED FROM TOWN OF PARKER, COLORADO, JEFFERSON COUNTY, COLORADO, DOUGLAS COUNTY, COLORADO, AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SCL-5

SC-5

Rock Sock (RS)



ROCK SOCK SECTION

ROCK SOCK PLAN

ROCK SOCK JOINTING

ROCK SOCK INSTALLATION NOTES

RS-2 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

Rock Sock (RS)

SC-5

ROCK SOCK MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
5. SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE ROCK SOCK.
6. ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
7. WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

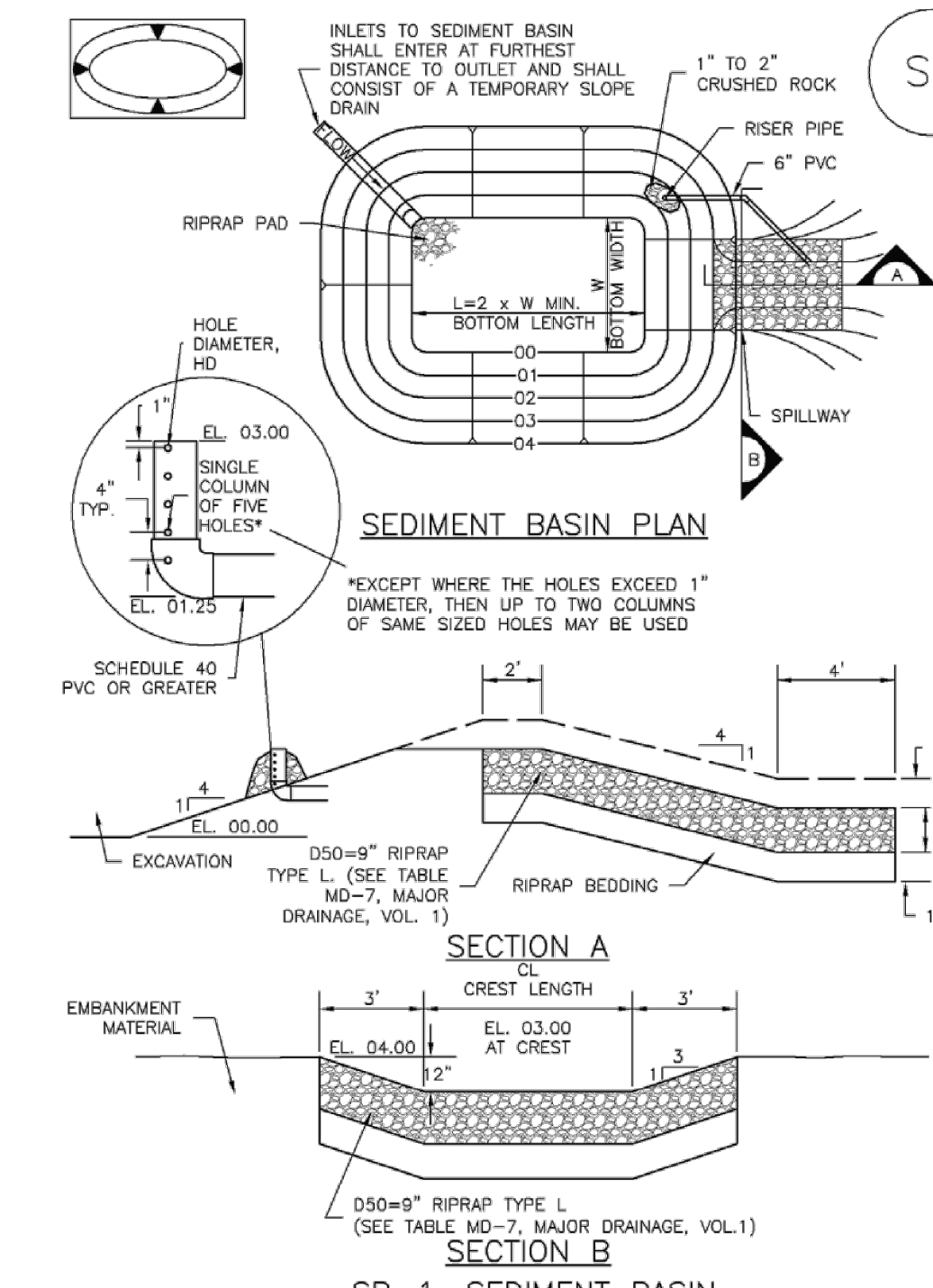
(DETAILS ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

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November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 RS-3

Sediment Basin (SB)

SC-7



SEDIMENT BASIN PLAN

SECTION A

SECTION B

SB-1. SEDIMENT BASIN

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SB-5

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ESC DETAILS RK STEEL STORAGE YARD - CIVIL CONSTRUCTION PLANS LOT 1, BLOCK 1, GARDNER DENVER FILING NO. 3 - PLAT CORRECTION NO. 1 SITUATED IN THE SOUTH 1/2 OF SECTION 16, T.2S., R.67W., OF THE 6TH P.M. COUNTY OF ADAMS, STATE OF COLORADO

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Designed by: Engineering No.: E-20-001 Drawn by: CMA, JWB Date: 2020-05-30 Checked by: CMA Scale: Horiz.: N.A. Vert.: N.A. Sheet No.: C450

Sediment Basin (SB)

SC-7

SEDIMENT BASIN MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED IN BASIN SHALL BE REMOVED AS NEEDED TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN SEDIMENT DEPTH REACHES ONE FOOT (1.0', TWO FEET BELOW THE SPILLWAY CREST).
5. SEDIMENT BASINS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND GRASS COVER IS ACCEPTED BY THE LOCAL JURISDICTION.
6. WHEN SEDIMENT BASINS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

TABLE SB-1. SIZING INFORMATION FOR STANDARD SEDIMENT BASIN. Table with 4 columns: Upstream Drainage Area (ac), Basin Bottom Width (ft), Spillway Crest Length (ft), Hole Diameter (in).

SEDIMENT BASIN INSTALLATION NOTES

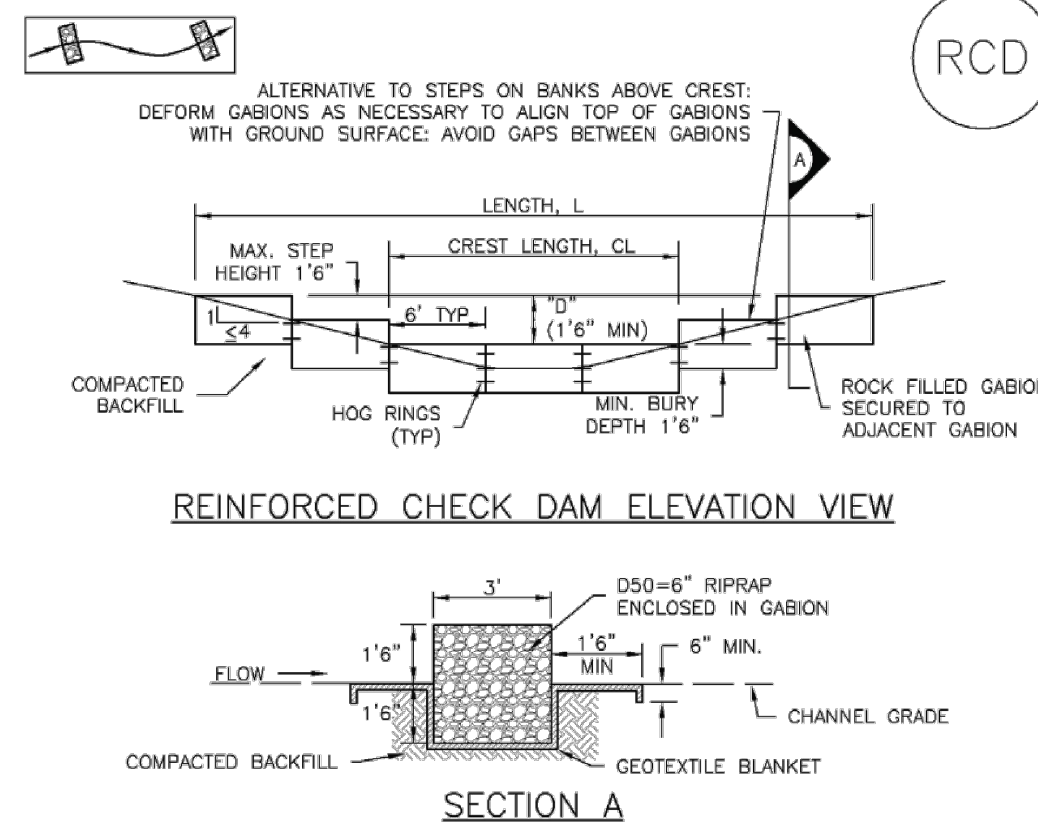
- 1. SEE PLAN VIEW FOR: -LOCATION OF SEDIMENT BASIN. -TYPE OF BASIN (STANDARD BASIN OR NONSTANDARD BASIN). -FOR STANDARD BASIN, BOTTOM WIDTH W, CREST LENGTH CL, AND HOLE DIAMETER, HD. -FOR NONSTANDARD BASIN, SEE CONSTRUCTION DRAWINGS FOR DESIGN OF BASIN INCLUDING RISER HEIGHT H, NUMBER OF COLUMNS N, HOLE DIAMETER HD AND PIPE DIAMETER D.
2. FOR STANDARD BASIN, BOTTOM DIMENSION MAY BE MODIFIED AS LONG AS BOTTOM AREA IS NOT REDUCED.
3. SEDIMENT BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER LAND-DISTURBING ACTIVITY THAT RELIES ON ON BASINS AS A STORMWATER CONTROL.
4. EMBANKMENT MATERIAL SHALL CONSIST OF SOIL FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3 INCHES AND SHALL HAVE A MINIMUM OF 15 PERCENT BY WEIGHT PASSING THE NO. 200 SIEVE.
5. EMBANKMENT MATERIAL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698.
6. PIPE SCH 40 OR GREATER SHALL BE USED.
7. THE DETAILS SHOWN ON THESE SHEETS PERTAIN TO STANDARD SEDIMENT BASIN(S) FOR DRAINAGE AREAS LESS THAN 15 ACRES. SEE CONSTRUCTION DRAWINGS FOR EMBANKMENT, STORAGE VOLUME, SPILLWAY, OUTLET, AND OUTLET PROTECTION DETAILS FOR ANY SEDIMENT BASIN(S) THAT HAVE BEEN INDIVIDUALLY DESIGNED FOR DRAINAGE AREAS LARGER THAN 15 ACRES.

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SB-7

Check Dams (CD)

EC-12



REINFORCED CHECK DAM INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR: -LOCATIONS OF CHECK DAMS. -CHECK DAM TYPE (CHECK DAM OR REINFORCED CHECK DAM). -LENGTH (L), CREST LENGTH (CL), AND DEPTH (D).
2. CHECK DAMS INDICATED ON THE SWMP SHALL BE INSTALLED PRIOR TO AN UPSTREAM LAND-DISTURBING ACTIVITIES.
3. REINFORCED CHECK DAMS, GABIONS SHALL HAVE GALVANIZED TWISTED WIRE NETTING WITH A MAXIMUM OPENING DIMENSION OF .40" AND A MINIMUM WIRE THICKNESS OF 0.10". WIRE "HOG RINGS" AT 4" SPACING OR OTHER APPROVED MEANS SHALL BE USED AT ALL GABION SEAMS AND TO SECURE THE GABION TO THE ADJACENT SECTION.
4. THE CHECK DAM SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1' 6".
5. GEOTEXTILE BLANKET SHALL BE PLACED IN THE REINFORCED CHECK DAM TRENCH EXTENDING A MINIMUM OF 1' 6" ON BOTH THE UPSTREAM AND DOWNSTREAM SIDES OF THE REINFORCED CHECK DAM.

CD-2. REINFORCED CHECK DAM

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CD-5

SC-7

Sediment Basin (SB)

SB-6 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3

November 2010

EC-12

Check Dams (CD)

REINFORCED CHECK DAM MAINTENANCE NOTES

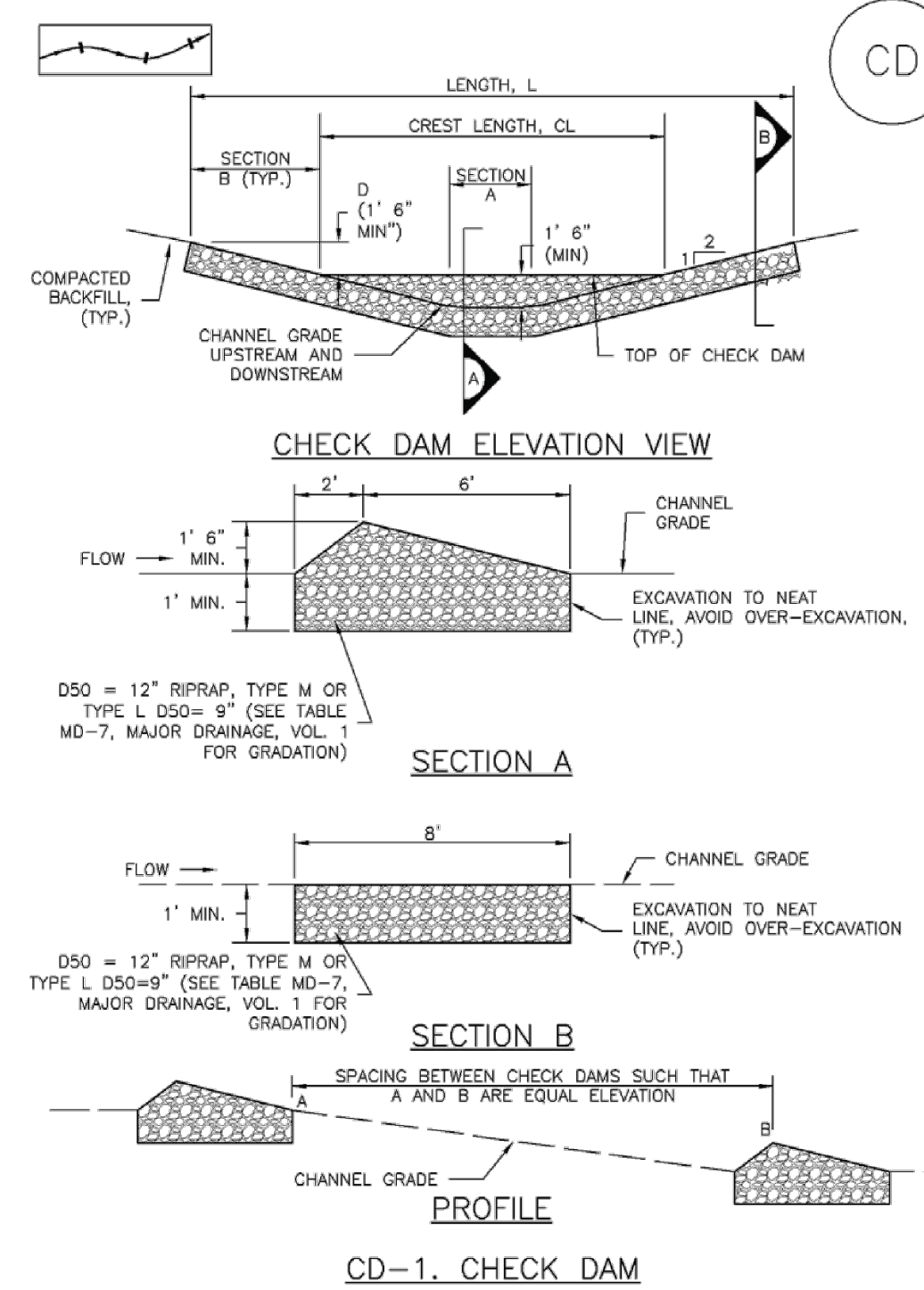
- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF REINFORCED CHECK DAMS SHALL BE REMOVED AS NEEDED TO MAINTAIN THE EFFECTIVENESS OF BMP, TYPICALLY WHEN THE UPSTREAM SEDIMENT DEPTH IS WITHIN 1/2 THE HEIGHT OF THE CREST.
5. REPAIR OR REPLACE REINFORCED CHECK DAMS WHEN THERE ARE SIGNS OF DAMAGE SUCH AS HOLES IN THE GABION OR UNDOCKING.
6. REINFORCED CHECK DAMS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
7. WHEN REINFORCED CHECK DAMS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED, AND COVERED WITH A GEOTEXTILE BLANKET, OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.
(Details adapted from Douglas County, Colorado and City of Aurora, Colorado, not available in Autocad)
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

CD-6 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3

November 2010

Check Dams (CD)

EC-12

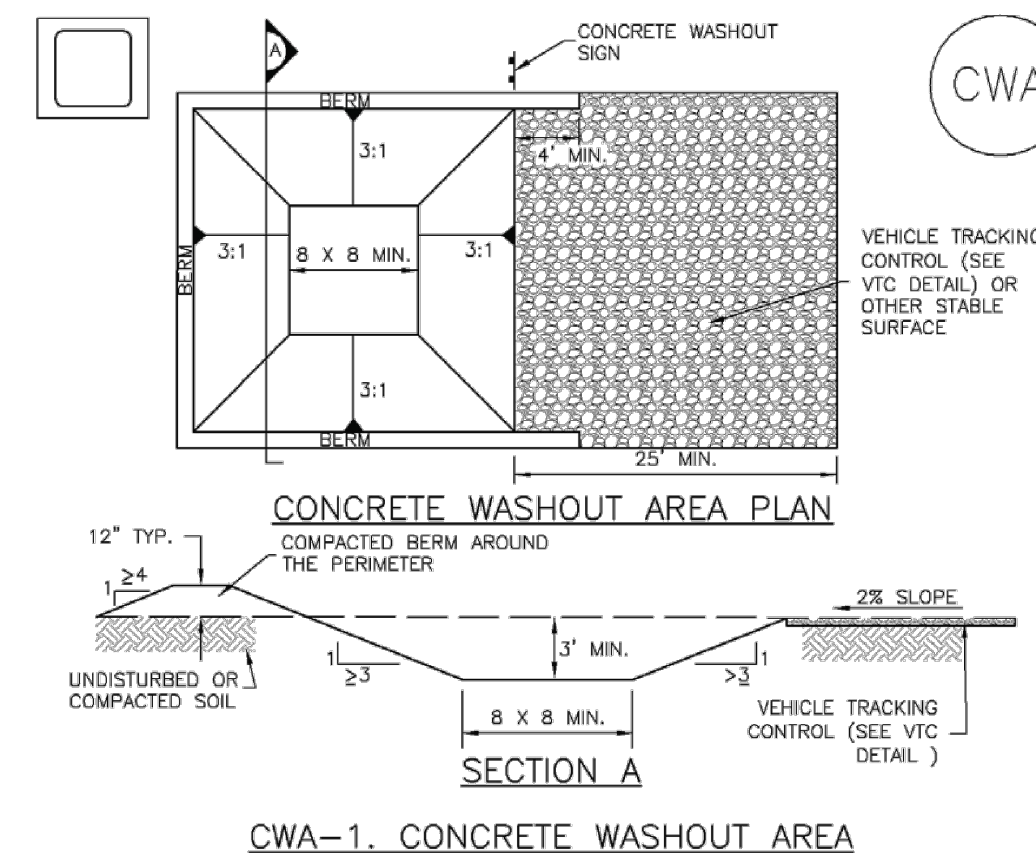


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CD-3

Concrete Washout Area (CWA)

MM-1



CWA INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR: -CWA INSTALLATION LOCATION.
2. DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINER ABOVE GROUND STORAGE ARE SHOULD BE USED.
3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
6. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
7. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRIGS.
8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

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CWA-3

EC-12

Check Dams (CD)

CHECK DAM INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR: -LOCATION OF CHECK DAMS. -CHECK DAM TYPE (CHECK DAM OR REINFORCED CHECK DAM). -LENGTH (L), CREST LENGTH (CL), AND DEPTH (D).
2. CHECK DAMS INDICATED ON INITIAL SWMP SHALL BE INSTALLED AFTER CONSTRUCTION FENCE, BUT PRIOR TO ANY UPSTREAM LAND DISTURBING ACTIVITIES.
3. RIPRAP UTILIZED FOR CHECK DAMS SHOULD BE OF APPROPRIATE SIZE FOR THE APPLICATION. TYPICAL TYPES OF RIPRAP USED FOR CHECK DAMS ARE TYPE M (D50 12") OR TYPE L (D50 9").
4. RIPRAP PAD SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1'.
5. THE ENDS OF THE CHECK DAM SHALL BE A MINIMUM OF 1' 6" HIGHER THAN THE CENTER OF THE CHECK DAM.

CHECK DAM MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF THE CHECK DAMS SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS WITHIN 1/2 OF THE HEIGHT OF THE CREST.
5. CHECK DAMS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
6. WHEN CHECK DAMS ARE REMOVED, EXCAVATIONS SHALL BE FILLED WITH SUITABLE COMPACTED BACKFILL. DISTURBED AREA SHALL BE SEEDED AND MULCHED AND COVERED WITH GEOTEXTILE OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
(Details adapted from Douglas County, Colorado, not available in Autocad)
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

CD-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3

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MM-1

Concrete Washout Area (CWA)

CWA MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE, CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
5. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
6. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
7. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
(Details adapted from Douglas County, Colorado and the City of Parker, Colorado, not available in Autocad)
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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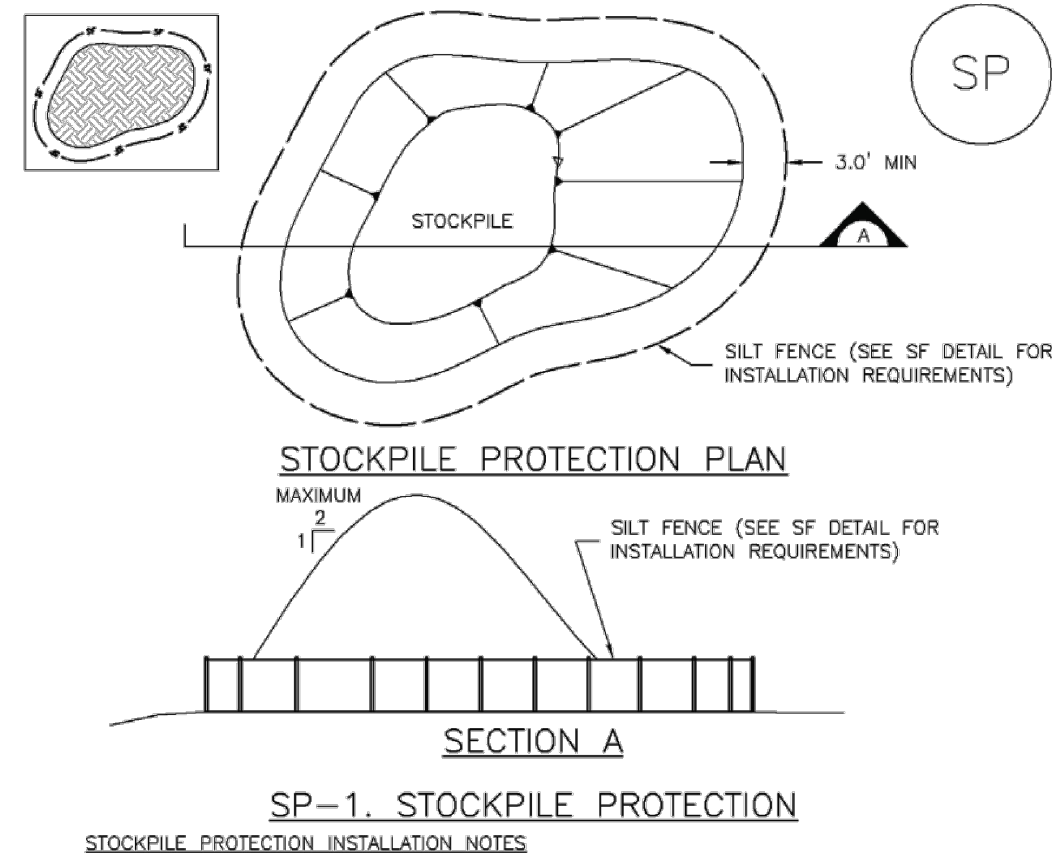
ESC DETAILS logo and project information: RK STEEL STORAGE YARD - CIVIL CONSTRUCTION PLANS. Project location: 10111 S. QUINN ST. IN THE SOUTH 1/2 OF SECTION 16, T.2S., R.17W., OF THE 6TH P.M. COUNTY OF ADAMS, STATE OF COLORADO. Date: 2020-05-30. Scale: As Shown. Project No: C451.

FOR REVIEW ONLY Not for Construction. Designated by: Engineering No.: E-20-001. Drawn by: CMA. Date: 2020-05-30. Checked by: CMA. Scale: Horz.: N.A. Vert.: N.A. Sheet No.: C451.

Vertical text on the left edge of the page: 14190 East Evans Avenue, Aurora, Colorado 80014. Phone: 303.337.1393, Fax: 303.337.7481. Website: www.esandc.com

Stockpile Management (SP)

MM-2



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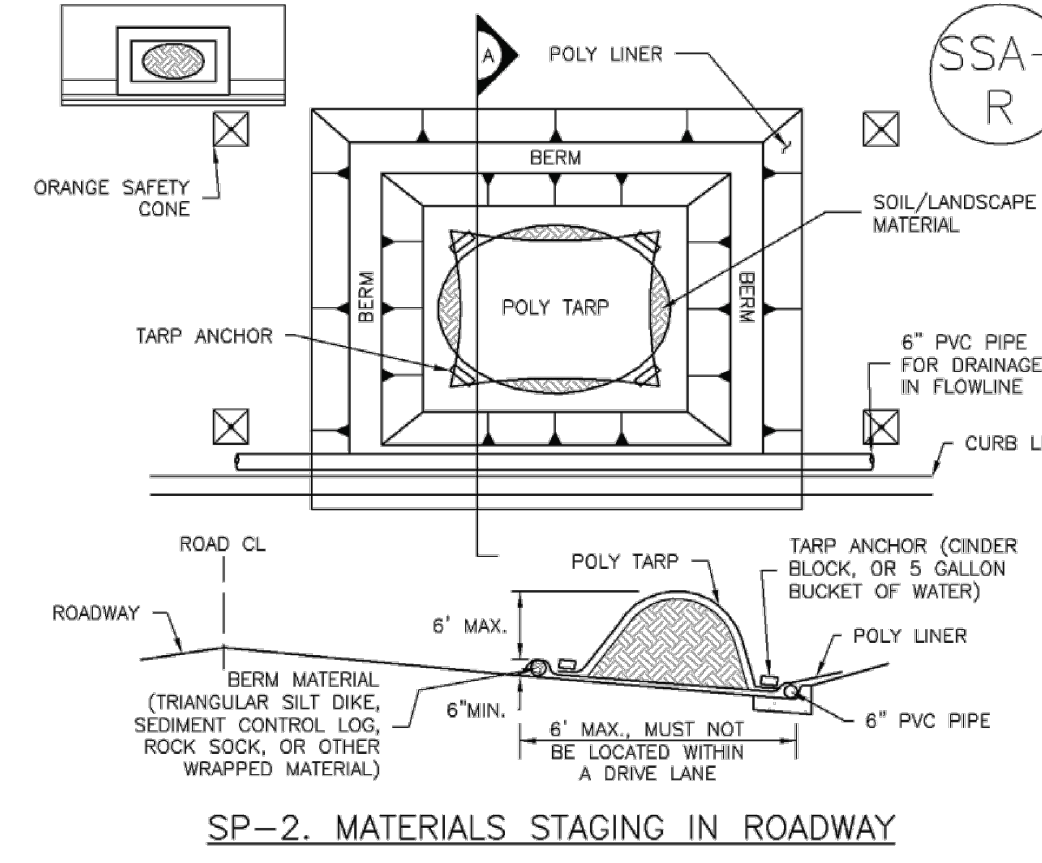
Stockpile Management (SM)

- STOCKPILE PROTECTION MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - IF PERIMETER PROTECTION MUST BE MOVED TO ACCESS SOIL STOCKPILE, REPLACE PERIMETER CONTROLS BY THE END OF THE WORKDAY.
 - STOCKPILE PERIMETER CONTROLS CAN BE REMOVED ONCE ALL THE MATERIAL FROM THE STOCKPILE HAS BEEN USED.
- (DETAILS ADAPTED FROM PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)
- NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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Stockpile Management (SP)

MM-2



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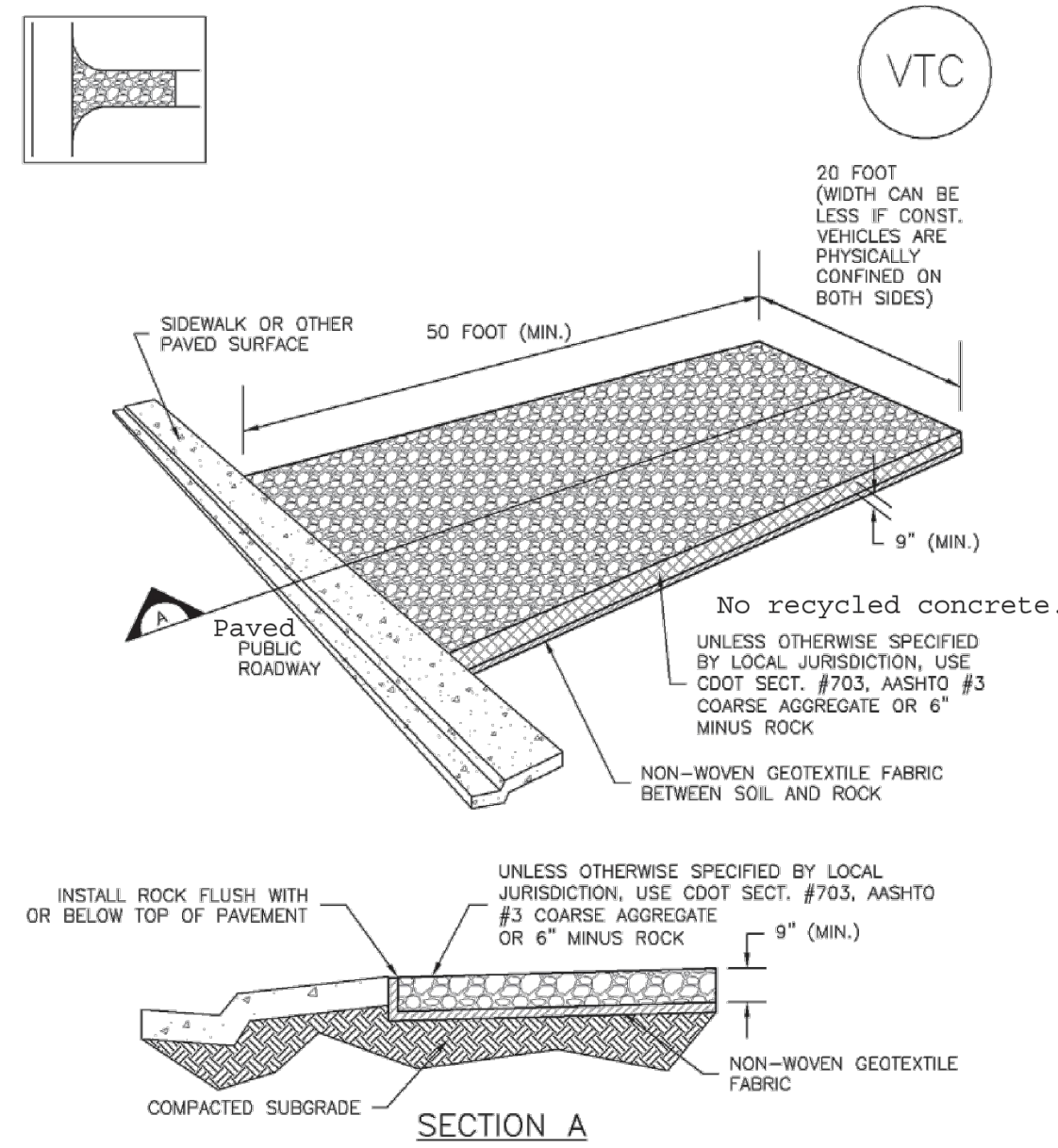
Stockpile Management (SM)

- MATERIALS STAGING IN ROADWAY MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - INSPECT PVC PIPE ALONG CURB LINE FOR CLOGGING AND DEBRIS. REMOVE OBSTRUCTIONS PROMPTLY.
 - CLEAN MATERIAL FROM PAVED SURFACES BY SWEEPING OR VACUUMING.
- NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
- (DETAILS ADAPTED FROM AURORA, COLORADO)

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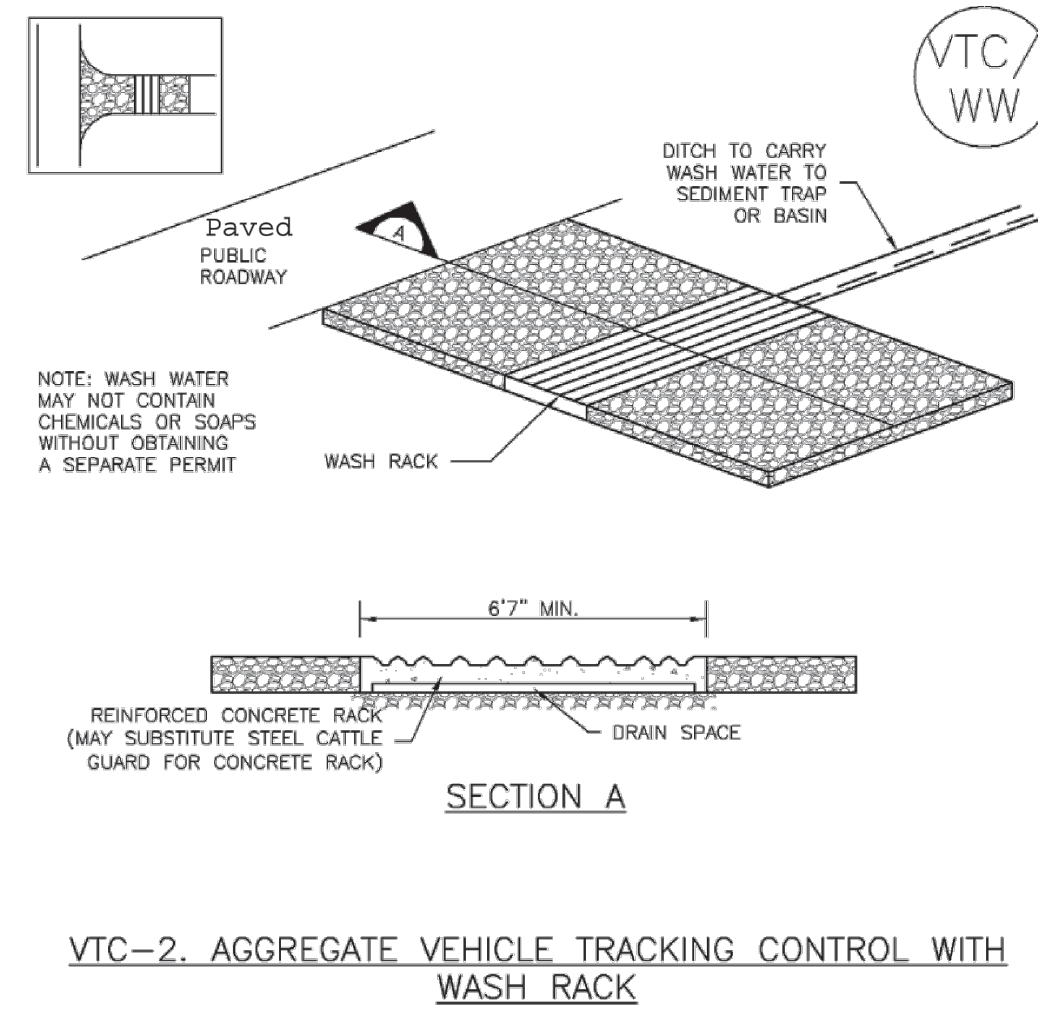
Vehicle Tracking Control (VTC)

SM-4



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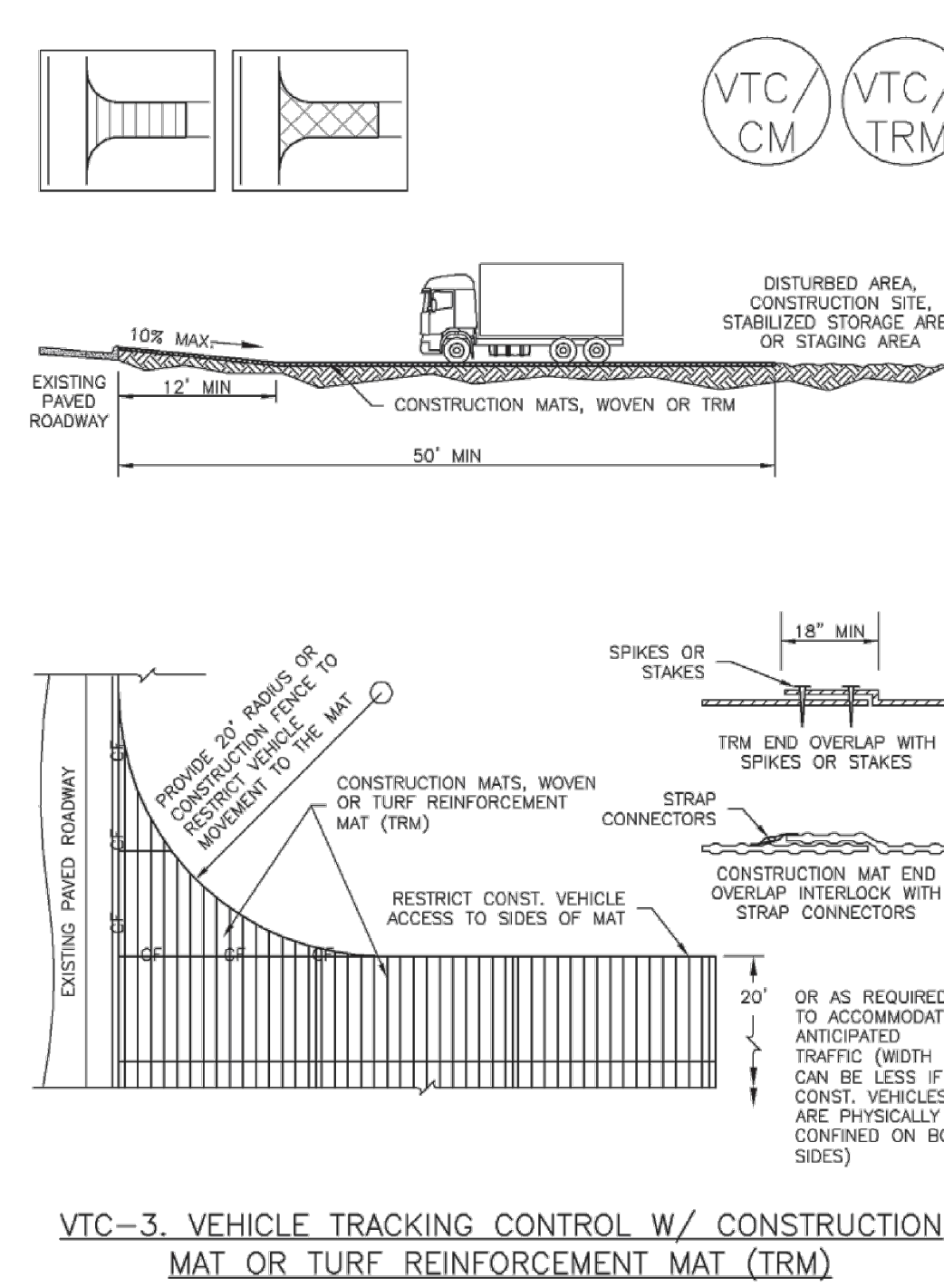
Vehicle Tracking Control (VTC)



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Vehicle Tracking Control (VTC)

SM-4



November 2010 Urban Drainage and Flood Control District VTC-5
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Vehicle Tracking Control (VTC)

- STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES**
- SEE PLAN VIEW FOR:
 - LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S)
 - TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM)
 - CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
 - A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
 - STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
 - A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
 - UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, ASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK. Recycled concrete is not allowed.
- STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
 - SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.
- NOTE:** MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
- (DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

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ESC DETAILS

ESC DETAILS - CIVIL CONSTRUCTION PLANS
LOT 1, BLOCK 1, GARDNER DENVER FILING NO. 3 - PLAT CORRECTION NO. 1
SITUATED IN THE SOUTH 1/2 OF SECTION 16, T.2S., R.67W. OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

Client: **RK STEEL**
8221 E. 96TH AVE
HENDERSON, CO 80640
PHONE: (303) 785-6797
ATTN: DONNIE HIRSHFIELD

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Designed by: Engineering No.:
CMA E-20-001

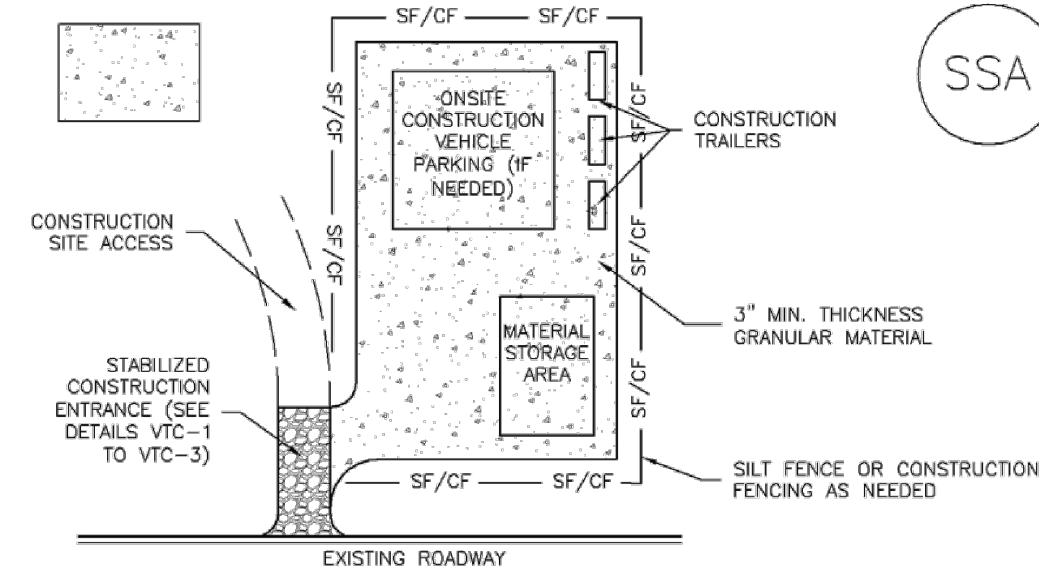
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Stabilized Staging Area (SSA)

SM-6



SSA-1. STABILIZED STAGING AREA

STABILIZED STAGING AREA INSTALLATION NOTES

- SEE PLAN VIEW FOR:
 - LOCATION OF STAGING AREA(S).
 - CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
- STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
- STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
- THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
- ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

STABILIZED STAGING AREA MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

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Stabilized Staging Area (SSA)

STABILIZED STAGING AREA MAINTENANCE NOTES

5. STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.

6. THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.

NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.

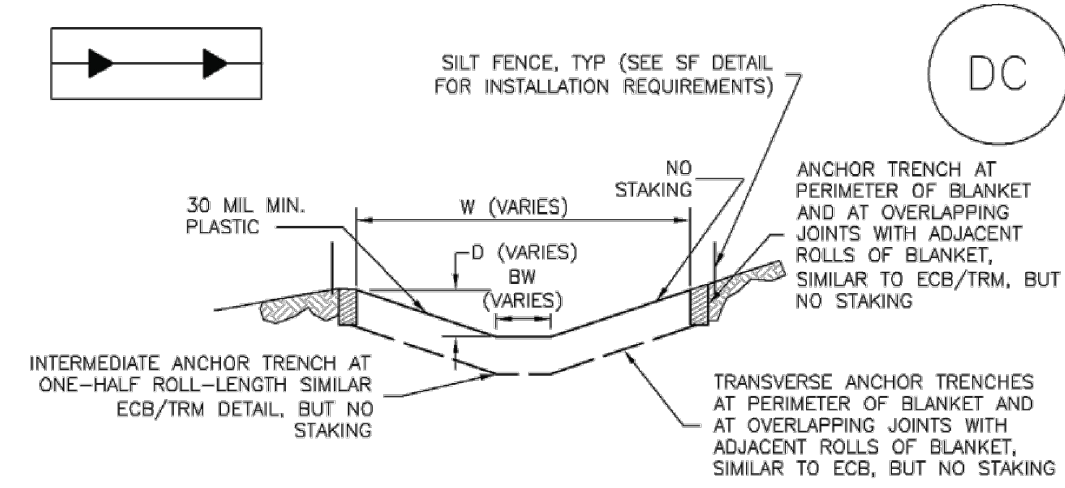
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(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)

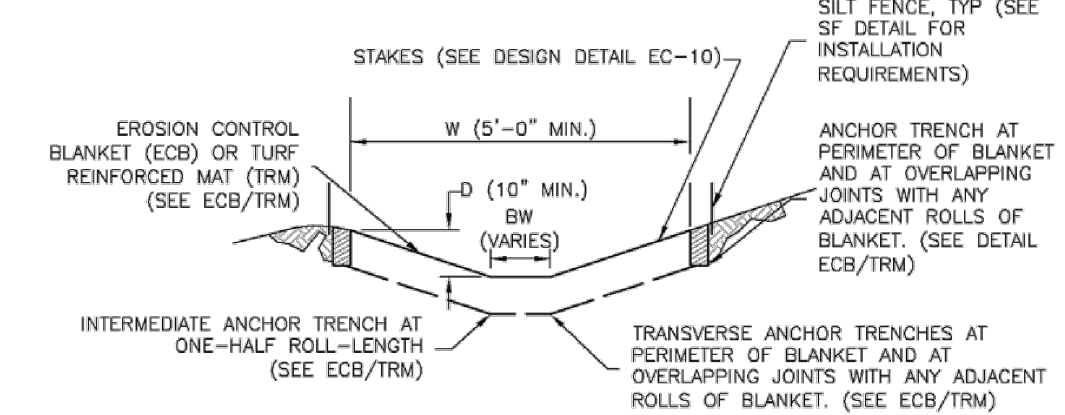
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SM-8

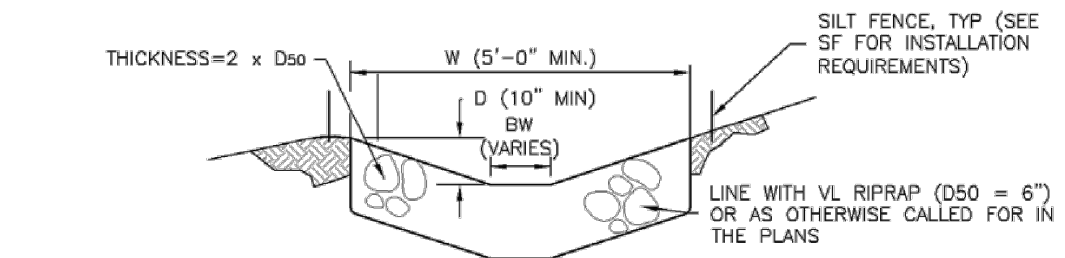
Temporary Diversion Channel (TDC)



DC-1. PLASTIC LINED DIVERSION CHANNEL



DC-2. GEOTEXTILE OR MAT LINED DIVERSION CHANNEL



DC-3. RIPRAP LINED DIVERSION CHANNEL

TDC-6 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 November 2010

Temporary Diversion Channel (TDC)

SM-8

CHANNEL DIVERSION INSTALLATION NOTES

- SEE PLAN VIEW FOR:
 - LOCATION OF DIVERSION CHANNEL.
 - TYPE OF CHANNEL (UNLINED, GEOTEXTILE OR MAT LINED, PLASTIC LINED, OR RIPRAP LINED).
 - LENGTH OF EACH TYPE OF CHANNEL.
 - DEPTH, D, WIDTH, W, AND BOTTOM WIDTH, BW.
 - FOR RIPRAP LINED CHANNEL, SIZE OF RIPRAP, D50, SHALL BE SHOWN ON PLANS.
- SEE DRAINAGE PLANS FOR DETAILS OF PERMANENT CONVEYANCE FACILITIES.
- DIVERSION CHANNELS INDICATED ON THE SWMP PLAN SHALL BE INSTALLED PRIOR TO WORK IN DOWNGRADIENT AREAS OR NATURAL CHANNELS.
- FOR GEOTEXTILE OR MAT LINED CHANNELS, INSTALLATION OF GEOTEXTILE OR MAT SHALL CONFORM TO THE REQUIREMENTS OF DETAIL ECB. FOR PLASTIC LINED CHANNELS, INSTALLATION OF ANCHOR TRENCHES SHALL CONFORM TO THE REQUIREMENTS OF DETAIL ECB.
- WHERE CONSTRUCTION TRAFFIC MUST CROSS A DIVERSION CHANNEL, THE PERMITTEE SHALL INSTALL A TEMPORARY STREAM CROSSING CONFORMING TO THE REQUIREMENTS OF DETAIL TSC.

DIVERSION CHANNEL MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- DIVERSION CHANNELS ARE TO REMAIN IN PLACE UNTIL WORK IN THE DOWNGRADIENT AREA OR NATURAL CHANNEL IS NO LONGER REQUIRED. IF APPROVED BY LOCAL JURISDICTION DIVERSION CHANNEL MAY BE LEFT IN PLACE.
- IF DIVERSION CHANNELS ARE REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

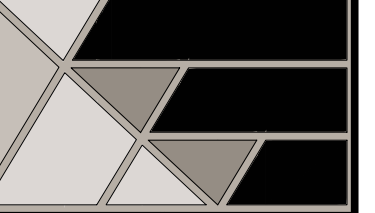
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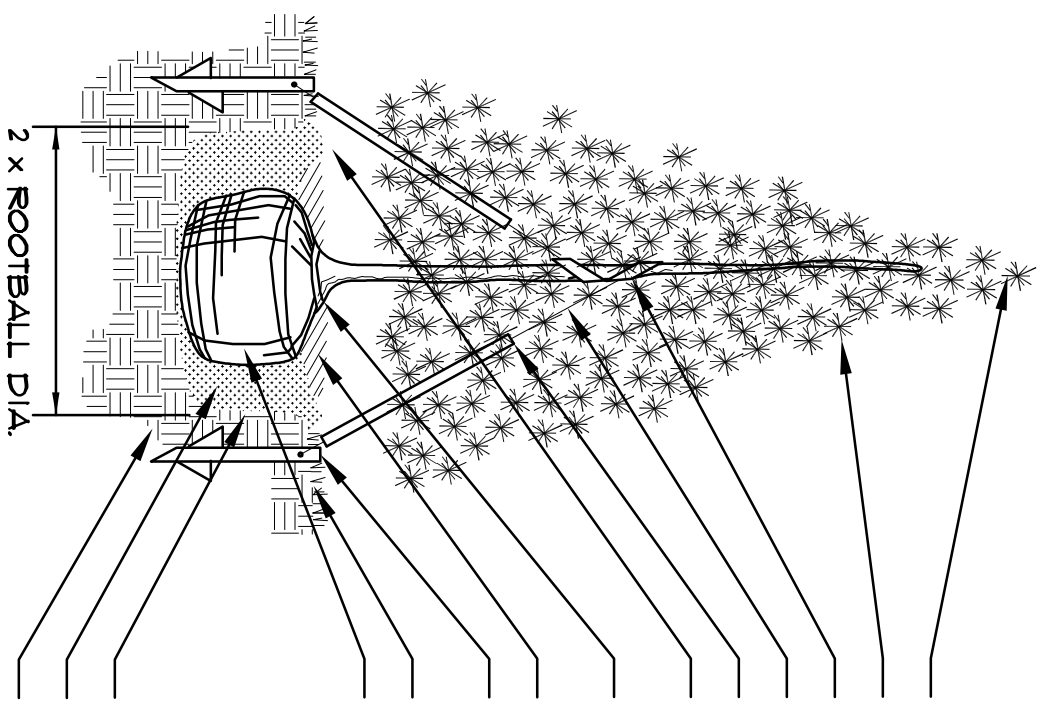


ESC DETAILS
RK STEEL STORAGE YARD - CIVIL CONSTRUCTION PLANS
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COUNTY OF ADAMS, STATE OF COLORADO
Client: **RK STEEL**
8221 E. 86TH AVE
HENDERSON, CO 80640
PHONE: (303) 785-6797
ATTN: DONNIE HIRSHFIELD

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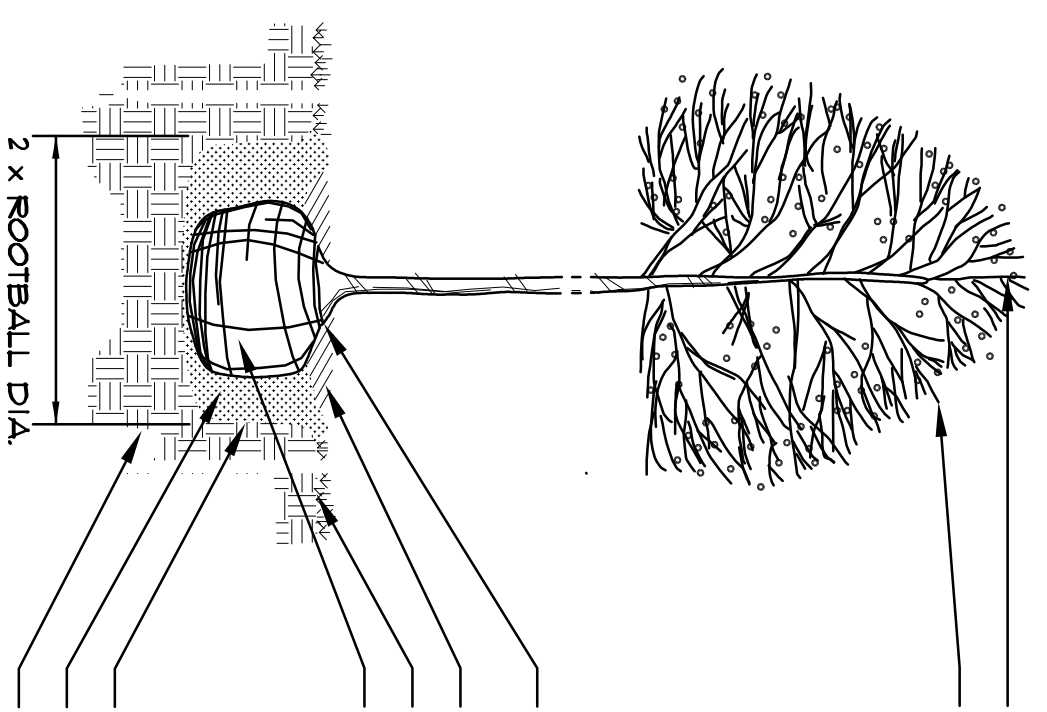
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EVERGREEN TREE PLANTING ((W/ GUY WIRES))

NOT TO SCALE

A



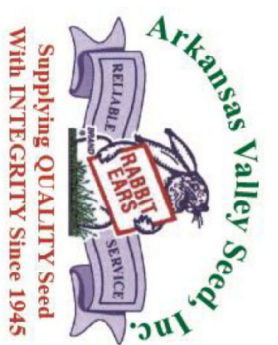
DECIDUOUS TREE PLANTING

NOT TO SCALE

B

- DO NOT CUT OR DAMAGE LEADER.
- PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING.**
- ATTACH GUY WIRE TO TRUNK WITH SPECIFIED TREE COLLAR.
- DOUBLE STRAND OF 1/2 GA. GALVANIZED STEEL WIRE TWISTED
- 1/2" DIA., WHITE PVC PIPE OVER WIRE, 24" LONG MIN.
- 4" DEEP WATER RETENTION BASIN
- NOT REQUIRED IN IRRIGATED TURF AREAS
- SET ROOT CROWN LEVEL WITH TOP OF SOIL IN BEDS, IN IRRIGATED TURF AREAS PLANT 3" ABOVE FINISHED GRADE
- APPLY SPECIFIED MULCH TO REMAIN PERMANENTLY.
- 30" STEEL (POST 1/3 MIN.) DRIVEN VERTICALLY INTO UNDISTURBED SOIL FLUSH WITH GRADE
- FINISHED GRADE
- REMOVE ALL CONTAMINANT MATERIAL FROM THE TRUNK & SIDES OF ROOTBALL THAT IS NOT 100% HEALY.**
- REMOVE BURLAP & TWINE FROM THE TOP 1/3 OF ROOTBALL.**
- REMOVE FIBER OR PLASTIC POT AFTER PLACING IN THE PIT**
- ROOTBALLS THAT ARE BROKEN APART AFTER CONTAMINANT IS REMOVED ARE DAMAGED AND SHALL BE REJECTED.
- HOLE SHOULD HAVE ROUGHENED SIDES
- SPECIFIED BACKFILL MIXTURE AND FERTILIZER APPLICATION
- UNDISTURBED SUBGRADE

- DO NOT CUT OR DAMAGE LEADER.
- PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING.**
- SET ROOT CROWN LEVEL WITH TOP OF SOIL IN BEDS, IN IRRIGATED TURF AREAS PLANT 3" ABOVE FINISHED GRADE
- APPLY SPECIFIED MULCH TO REMAIN PERMANENTLY.
- FINISHED GRADE
- REMOVE ALL CONTAMINANT MATERIAL FROM THE TRUNK & SIDES OF ROOTBALL THAT IS NOT 100% HEALY.**
- REMOVE BURLAP & TWINE FROM THE TOP 1/3 OF ROOTBALL.**
- REMOVE FIBER OR PLASTIC POT AFTER PLACING IN THE PIT**
- ROOTBALLS THAT ARE BROKEN APART AFTER CONTAMINANT IS REMOVED ARE DAMAGED AND SHALL BE REJECTED.
- HOLE SHOULD HAVE ROUGHENED SIDES
- BACKFILL MIXTURE
- UNDISTURBED SUBGRADE



LOW GROW MIX

A mixture of perennial, cool season, drought tolerant, grasses suitable for areas where mowing is difficult or not desirable. It grows an average of 8-12 inches a year with normal rain fall in the Inhermountain region and the Desert Southwest. This mix is a great soil stabilizer. Our wildflower mixes are very compatible with this mix.

- Requires little to no maintenance
- Grows well in elevations up to 10,000 ft

Seeding Rate:

- New Seeding: Dryland: 20-25 lbs/acre
- Ingated: 40 lbs/acre
- Overseeding: Dryland: 10-15 lbs/acre
- Ingated: 20 lbs/acre

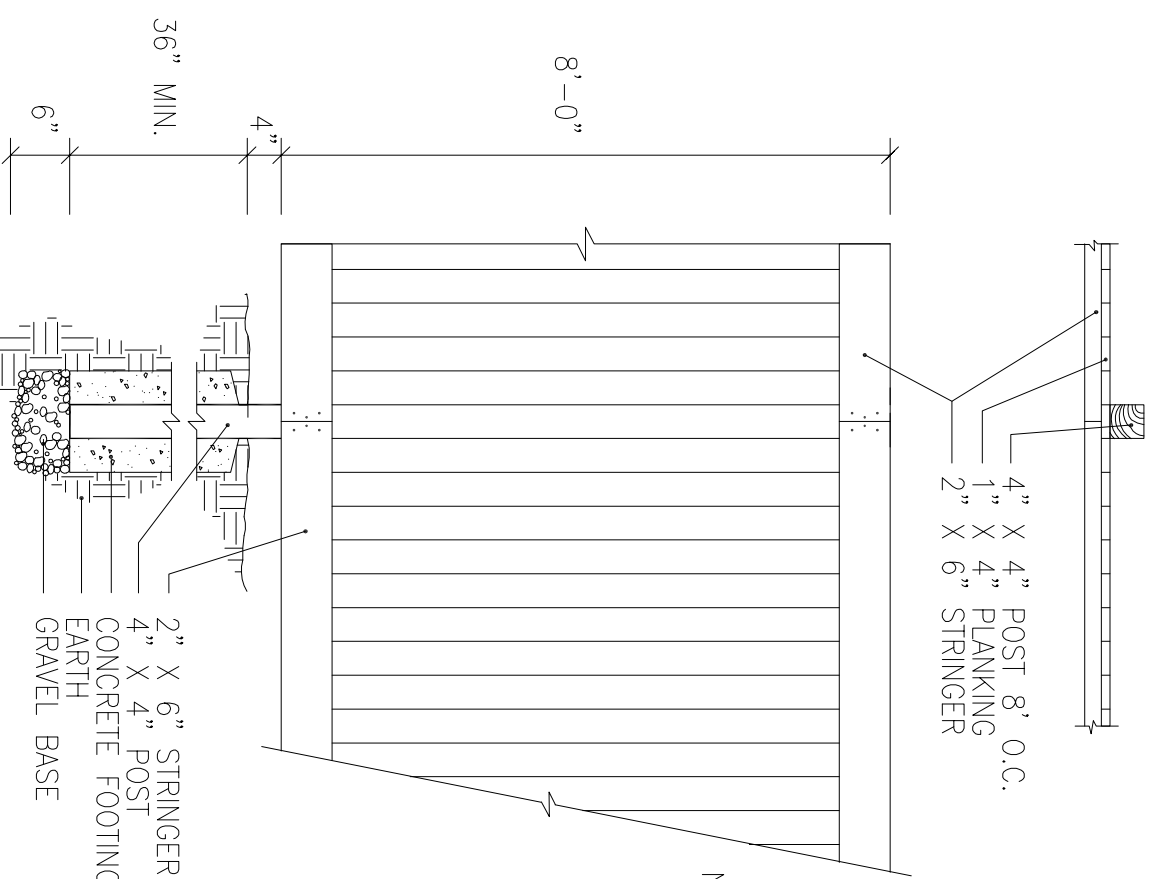


Characteristics:
• Grows 8-12 inches tall

- Mix contains:**
- 35% **Ephraim Crested Wheatgrass**
Perennial grass with germination in 14-21 days. Drought resistant and winter hardy with a deep root system making it an excellent soil binder. Crested wheatgrass is well adapted to stabilization of disturbed soils and does well on a variety of soil types.
- 25% **Sheep Fescue**
Bunchgrass with germination in 14-21 days. Well adapted to most soil conditions and is great for soil erosion control and low maintenance mixtures.
- 20% **Pine**
Bunchgrass with germination in 5-10 days. One of the most widely used grasses and is adaptable to a wide variety of soils and climate conditions. It has a leaty head and fine stem.
- 15% **Chewings Fescue**
Fine fescue that is shade tolerant and requires little water. Persists in dry soils and infertile soils.
- 10% **Canada Bluegrass**
Sociating grass with germination in 14-21 days. Excellent grass for revegetation and stabilization of cut roads, roadsides, and mines.

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- NOTES:
- ALL NAILS AND HARDWARE TO BE HOT DIPPED GALVANIZED
- STRINGERS AND POSTS TO BE WOODMANIZED PINE GRADE C OR BETTER
- PLANKING TO BE WESTERN RED CEDAR
- STAIN/SEAL AS NEEDED

- NOTES:
- 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- 2. DO NOT SCALE DRAWING.
- 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION.

WOOD FENCE DETAIL

NOT TO SCALE

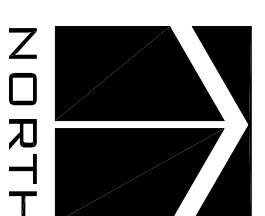
C

LANDSCAPE NOTES:

1. THIS LANDSCAPE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, MECHANICAL, ELECTRICAL, AND ARCHITECTURAL SITE PLANS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
2. LANDSCAPE CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND SPECIFICATIONS.
3. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE OWNER OR GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
4. BEFORE COMMENCING WORK, CONTACT APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS, AND COORDINATE WITH GENERAL CONTRACTOR IN REGARD TO LOCATION OF PROPOSED UTILITIES, IRRIGATION SLEEVES, CONDUTITS, ETC.
5. ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE IN SCHEDULES. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED FOR THE PROJECT PER SPECIFICATIONS. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS, ALL EVERGREENS SHALL BE UNSHARED AND FULL TO THE GROUND.
6. TREES TO BE STAKED OR GUYED AS NEEDED.
7. ALL SHRUB BEDS AND MULCH AREAS ARE TO BE SPADE EDGED.
8. INSTALL 3-INCHES OF SHREDDED HARDWOOD MULCH IN ALL SHRUB BEDS AND TREE SAUCERS. TREES IN TURF AREAS SHALL BE MULCHED WITH 3 INCHES OF SHREDDED HARDWOOD MULCH.
9. ALL B&B PLANT MATERIAL SHALL HAVE ALL WIRE, TWINE OR OTHER CONTAMINANT MATERIAL EXCEPT FOR THE BURLAP, REMOVED FROM THE TRUNK AND ROOT BALL OF THE PLANT PRIOR TO PLANTING. REMOVE THE TOP 2/3 OF THE BURLAP AFTER PLACING THE PLANT IN THE PIT.
10. CONTRACTOR RESPONSIBLE FOR OWN QUANTITY TAKE-OFF. IF A DISCREPANCY EXISTS BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL PREVAIL.
11. AREAS OF DISTURBANCE TO BE SEEDED OR SODDED.

DATE	DESCRIPTION
06/28/19	ORIGINAL PREPARATION

DETAILS & NOTES



SCALE: NTS

PROJECT #	18-0209
DESIGNED BY	KCV
CHECKED BY	KCV

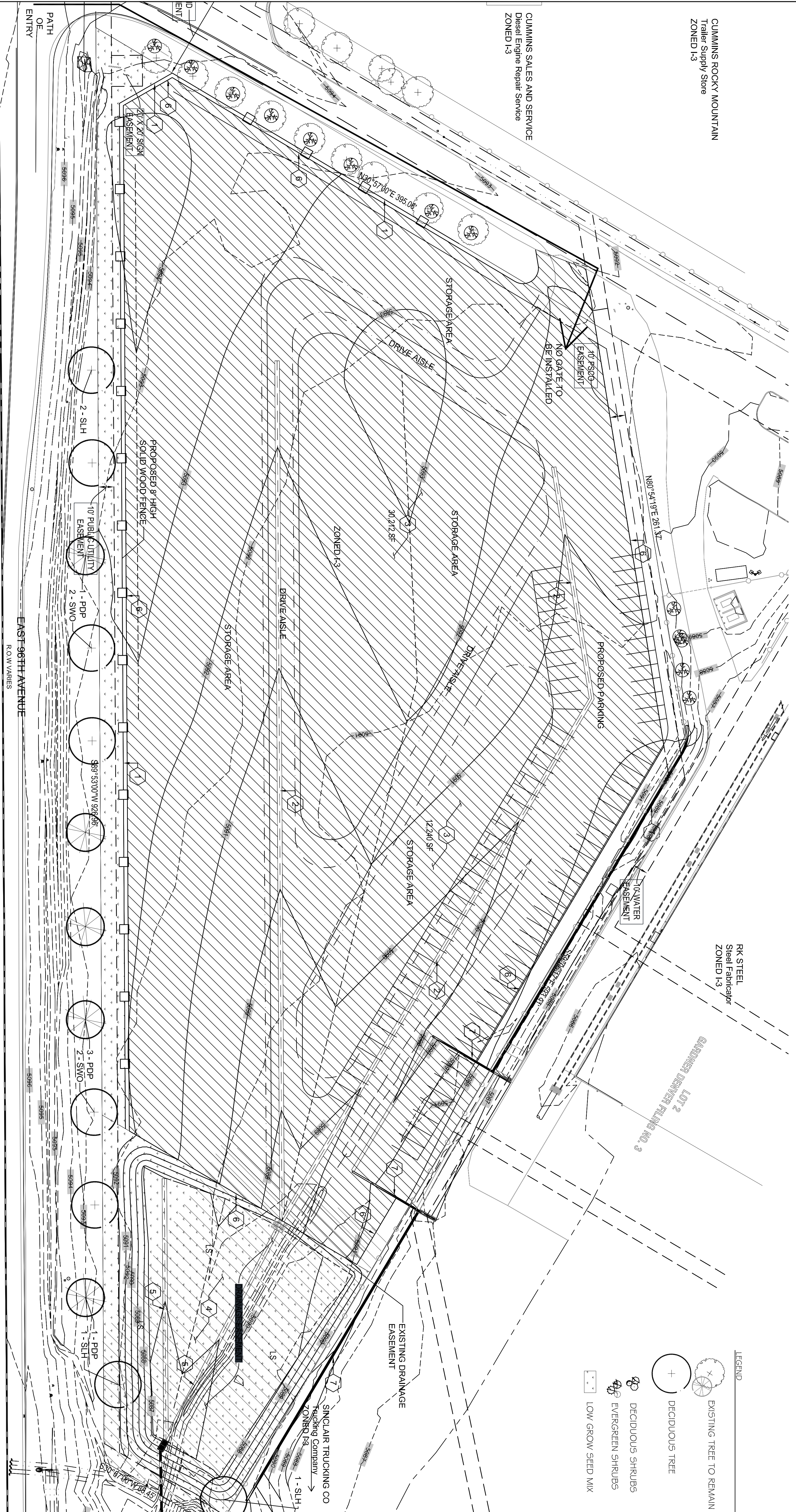
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P 303.669.8922
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Henderson, CO

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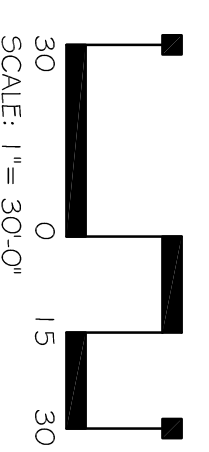
COMMERCIAL RESINS, INC.
Commercial Real Estate Agency
ZONED I-3

KELLY PIPE
Pipe Supplier
ZONED I-3

PLANT LIST

QTY	ID	Common Name	Scientific Name	Size	Notes
5	PDP	Ponderosa Pine	Pinus ponderosa	6' Ht.	B88
4	SLH	Skyline Honeylocust	Gleditsia tricanthos 'Inermis Skyline'	2.5' Cal.	B88
4	SWO	Swamp White Oak	Quercus bicolor	2.5' Cal.	B88

- LEGEND
- EXISTING TREE TO REMAIN
 - DECIDUOUS TREE
 - DECIDUOUS SHRUBS
 - EVERGREEN SHRUBS
 - LOW GROW SEED MIX



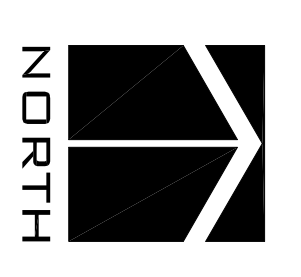
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RK Mechanical Outdoor Storage
8221 E 96th Ave.
Henderson, CO

DATE: 06/28/2019
DESCRIPTION: ORIGINAL PREPARATION

LANDSCAPE PLAN

SCALE: 1" = 30'
PROJECT #: 180709
DESIGNED BY: KCV
CHECKED BY: KCV





LOT 1, BLOCK 1, GARDNER DENVER FILING NO. 3 – PLAT CORRECTION NO. 1

A PARCEL OF LAND LOCATED IN THE SOUTH HALF (S 1/2) OF SECTION 16, TOWNSHIP
2 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
ADAMS COUNTY, STATE OF COLORADO

LEVEL 3 STORM DRAINAGE STUDY REPORT

ESC JN: 1435.1

Original Report Date: **May 29, 2020**

Revised:

Owner/Developer:

RK Steel
8221 E. 96th Ave.
Henderson, CO 80640
Contact: Donnie Hirshfield
Phone: 303-785-6797

Prepared by:

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HELP SAVE PAPER!
THIS DOCUMENT WAS PRINTED TWO-SIDED.

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- A. FIRM Map, Web Soil Survey, and DCM excerpts
- B. Hydrology and Hydraulics Calculations and Analyses
- C. Drainage Basin Maps

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A. GENERAL LOCATION AND DESCRIPTION

1. Site Location

a. ADJACENT STREETS, SUBDIVISION NAME, LOT AND BLOCK, SITE PLAN NAME (IF ANY)

Lot 1, Block 1, Gardner Denver Filing No. 3 – Plat Correction No. 1 is a lot in unincorporated Adams County, Colorado. The property is situated within the south half of Section 16, Township 2 South, Range 67 West of the 6th Principal Meridian. It is located on the north side of East 96th Avenue and approximately 2,000 feet east of Interstate 76 in unincorporated Adams County, Colorado.

b. VICINITY MAP



c. SURROUNDING DEVELOPMENTS

The site is bounded on the south by East 96th Avenue. To the west is a Cummins Sales and Service center. Directly to the north is the existing RK Steel manufacturing facility. To the east is a railroad right of way. Across East 96th Avenue to the south is Kelly Pipe.

2. Description of Property

a. AREA AND ZONING

The lot was previously platted as Lot 1, Block 1, Gardner Denver Filing No. 3. A plat correction is being filed with this application to reconfigure the drainage easement. The zoning is Adams County Industrial 3 (I-3).

b. EXISTING PARCEL CONDITION

The site is currently being used as a storage lot. Existing cover consists mostly of gravel. The parcel generally slopes from southwest to northeast at 0.5 to 2 percent. Substrate consists of Satanta Loam as demonstrated on the NRCS soil survey. This is a Hydrologic Soil Group C. The soil survey is included in Appendix A of this report. No irrigation facilities currently exist on the site.

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c. MAJOR AND MINOR DRAINAGEWAYS

Burlington Ditch lies approximately 5,000 feet east of the site. The South Platte River lies approximately 5,000 feet west of the site. No major swales, ditches, or waters of the U.S. exist on or immediately adjacent to the parcel.

d. EXISTING FLOODPLAIN

According to the FEMA Flood Insurance Rate Map (FIRM) Panel 08001C0607H, effective 03/05/2007, the site lies within unshaded Zone X. Unshaded Zone X represents the area of minimal flood hazard. This area is outside the 0.2% chance of flooding.

e. CANALS OR DITCHES

There are no canals on or immediately adjacent to the site. There is roadside ditch adjacent to the south of the site. A 15-inch culvert that conveys water into it from the west, across the access road. This ditch and the water that flows on site from it is discussed below.

f. SIGNIFICANT GEOLOGIC FEATURES

There are no known significant geologic features on the site.

g. GROUNDWATER INVESTIGATIONS

Although no groundwater investigations were conducted, it is not anticipated that groundwater will adversely impact any construction or improvements.

h. PROPOSED DEVELOPMENT

Proposed development includes re-grading and installation of recycled asphalt pavement as well as the construction of an extended detention basin on the eastern portion of the site. Two three-foot wide valley pans will be constructed to divert water into the detention basin.

Total Site Area: 5.52 acres

Total Disturbed Area: 5.52 Acres

Total Improvement Area: 5.52 acres

Detention and Water Quality Capture Areas: 4.70 acres

Total Existing Impervious Area: 0.00 Acres

Total Proposed Impervious Area: 1.87 Acres

Total Change in Impervious Area: 1.87 Acres

B. DRAINAGE BASINS AND SUB-BASINS

1. Major Drainage Basins

There are no known drainage studies or drainage reports for this site.

2. Existing Off-Site Drainage Characteristics

Water currently flows in a general pattern of southwest to northeast and ultimately to the Union Pacific railroad right-of-way. The proposed condition follows a similar flow path and outfalls in the right-of-way. In the southwest portion of the site, water currently flows under the access road through a 15-inch culvert and east through a roadside ditch to the right-of-way.

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3. Minor Drainage Basins

Basin A includes the majority of the storage yard and contributes to the pond. Basin B is the small basin in the northeast portion of the site and flows off site. Basin C is a small basin in the west and southwest portion of the site and flows off site. Basin P is the pond.

Please see the tables below for runoff coefficient values, times of concentration, and flows for the four basins: A, B, C, and P.

Runoff Coefficients:

Imperviousness and "C" Values

	I	C ₂	C ₅	C ₁₀₀
Landscape	2%	0.01	0.05	0.49
Packed Gravel	40%	0.30	0.36	0.65
Drives & Walks	90%	0.74	0.77	0.85
Roof	100%	0.83	0.85	0.89

Ref. Urban Drainage and Flood Control District Table 6-3 and Table 6-5 (HSG "C")

Basin	Roof	Landscape	Drives & Walks	Gravel	Total	I	C ₂	C ₅	C ₁₀₀
Existing	0.00	1.73	0.00	3.79	5.52	28.08%	0.21	0.26	0.60
A	0.00	0.10	0.00	3.96	4.06	39.06%	0.29	0.35	0.65
B	0.00	0.00	0.00	0.10	0.10	40.00%	0.30	0.36	0.65
C	0.00	0.21	0.00	0.51	0.73	28.90%	0.22	0.27	0.60
P	0.00	0.61	0.02	0.00	0.63	5.34%	0.04	0.08	0.50
Developed	0.00	0.92	0.02	4.58	5.52	33.88%	0.25	0.31	0.62

5-Year Runoff:

Design Point	Direct Runoff						
	Basin ID	Area (Ac)	Runoff Coeff	Tc (min)	CA	I ¹ (in/hr)	Q (cfs)
1	A	4.06	0.35	19.36	1.431	2.84	4.07
3	B	0.10	0.36	5.00	0.037	4.82	0.18
2	C	0.73	0.27	20.44	0.196	2.76	0.54
4	P	0.63	0.08	12.82	0.049	3.46	0.17

100-Year Runoff:

Design Point	Direct Runoff						
	Basin ID	Area (Ac)	Runoff Coeff	Tc (min)	CA	I ¹ (in/hr)	Q (cfs)
1	A	4.06	0.65	19.36	2.625	5.42	14.23
3	B	0.10	0.65	5.00	0.066	9.19	0.61
2	C	0.73	0.60	20.44	0.439	5.27	2.31
4	P	0.63	0.50	12.82	0.319	6.61	2.11



EXISTING STORMWATER CONVEYANCE OR STORAGE FACILITIES

4. Existing Stormwater Conveyance Facilities

There is a ditch in the northeast part of the site. The ditch runs to a 29-foot long, 15-inch culvert that conveys water to the east. There is also a 15-inch culvert near the southwest corner of the site which conveys water into a roadside ditch. The ditch runs from west to east and then outfalls into the Union Pacific railroad right-of-way on the east side of the site.

5. Existing Stormwater Storage Facilities

No stormwater storage facilities exist on or in the immediate vicinity of the site.

C. DESIGN CRITERIA

1. Regulations

All hydrologic and hydraulic source data and methodology is as directed by Adams County Colorado Stormwater Utility Policy Manual or Volumes I and II of the Urban Drainage & Flood Control District Drainage Criteria Manual (DCM).

2. Drainage Studies, Outfall Systems Plans, and Site Constraints

There are no drainage studies or outfall system plans available for this site.
There are no extraordinary site constraints related to drainage and stormwater management.

3. Hydrology

The Adams County Storm Drainage and Stormwater Quality Regulations allows for a Rational Method determination of site runoff rates on relatively small sites. The 1-hour rainfall intensities are provided in Table 9-3 of this manual and major storms for commercial development are the 5-year and 100-year return period events, respectively. Correspondingly, one-hour point rainfall intensities are 1.42 inches for the 5-year event and 2.71 inches for the 100-year event from Table 9-3 of the Adams County Storm Drainage and Stormwater Quality Regulations.

4. Hydraulics

The on-site detention and water quality pond is designed per the procedures presented in Volume II of the DCM for Full Spectrum Detention. Volumes and outlet control structures are sized using the MHFD-Detention v4.03 spreadsheet. A copy of the spreadsheet is included in Appendix B.

5. Water Quality Enhancement

Water Quality enhancement is provided by an Extended Detention Basin featuring a water quality capture volume. This is further discussed in section F. Discharge through the railroad right-of-way will be naturally treated to a certain extent via a grass buffer in that right-of-way.

D. PROPOSED STORMWATER CONVEYANCE AND STORAGE FACILITIES

1. Stormwater Conveyance Facilities

a. PROPOSED DRAINAGE PLAN

Please see the drainage plan sheets included in Appendix C of this report. Most of the water on site will sheet flow to the valley pans and be conveyed to the detention basin. The valley pans are further explained below. A Type L riprap rundown will dissipate the energy of the water as it enters the pond.

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b. PROPOSED DESIGN POINTS

Design Point 1 is the point at which water enters the proposed pond. Design Point 2 represents the point at which water flows off site to the west-southwest. Design Point 3 is the point at which water flows to the northeast from Basin B. Design Point 4 represents the outfall from the pond.

c. PROPOSED OPEN CHANNEL AND SWALE DESIGNS

North Valley Pan – The north valley pan has a 152-foot-long section with a slope of 0.50% and a 393-foot-long section with a slope of 0.50%. This valley pan is 3 feet wide and conveys a portion of the 100-year storm (14.23 cfs).

South Valley Pan – The south valley pan is 556 feet long with a slope of 0.70%. This valley pan is 3 feet wide and conveys a portion of the 100-year storm (14.23 cfs).

North Trickle Channel – The north trickle channel in the pond is 3-feet wide and 155 feet long and set at a 0.61% slope.

South Trickle Channel – The south trickle channel in the pond is 3-feet wide and 170 feet long and set at a 0.50% slope.

The roadside ditch along East 96th Avenue will remain unchanged.
See the Drainage plan for the configuration of these open channels.

d. PROPOSED STORM SEWER

An 18-inch diameter HDPE storm sewer is proposed which acts as the outfall from the detention pond. The storm sewer is 116.5 feet long and is set at 0.28% slope. This storm sewer outfalls onto the Union Pacific Railroad right-of-way.

e. OFF-SITE DISCHARGE

Controlled discharge from the detention pond outlet will flow to the northeast through the Union Pacific Railroad right-of-way and continue northeast to Burlington Ditch. In the west and southwest portions of the site is Basin C. Basin C is 0.73 acres and flows off site to the west and south. The 100-year storm flow from this basin is 2.31 cfs. In the northeast there is a ramp connecting to the existing adjacent RK Steel site. This ramp area is 0.10 acres and flows off site to the north. The 100-year storm flow from this basin (Basin B) is 0.61 cfs. This flow is expected to be negligible and is unavoidable.

f. OFF-SITE FLOWS

The off site flows enter the site via sheet flow in the north portion of the site. In the southwest corner of the site, water crosses the private drive via a 15-inch culvert and runs into a small roadside ditch and outfalls at the Union Pacific railroad right-of-way.

RIPRAP OUTFALLS

Type "L" Riprap is proposed at the convergence of the valley pans to dissipate the energy of the water as it enters the detention pond. The proposed pad is 8 feet wide and 7 feet long.

g. MAINTENANCE OF CONVEYANCE FACILITIES

Regular maintenance of the detention pond and outlet control structure is required. The detention pond area should be mowed regularly. The outlet control structure should be cleaned out as necessary. The pond bottom may need to be periodically excavated as it collects sediment.

h. ALLOWABLE STREET CAPACITIES

Street capacity will not be required for conveyance on this project.

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2. Stormwater Storage Facilities

A full-spectrum storm water detention and water quality pond is proposed as part of the development. The required 100-year detention volume per the UD-Detention spreadsheet is 0.418 acre-feet (18,202 cf). The water surface elevation for that volume is 5,088.49 feet. The flowline at the outlet is 5,086.55 feet. The emergency spillway is 5 feet wide and set at an elevation of 5,088.76. The berm elevation is 5,089.76. The tributary area to the pond includes Basin A.

The water quality capture volume (WQCV) required for this development is 0.075 acre-feet per the MHFD-Detention spreadsheet. The excess urban runoff volume (EURV) for the site is 0.172 acre-feet. These volumes are included in the full-spectrum pond design.

The pond outlet control structure provides for full spectrum detention per the recommendation of the UD&FCD Drainage Criteria Manual - Volume II. As such, peak release rates are provided at or below 90% of rate for the same return period from the existing condition site for all storms that discharge above the EURV. Rates for storms with total runoff equal to or less than the Excess Urban Runoff Volume are set based on time to drain requirements typical to that specification.

The outlet control structure discharges to an 18-inch RCP storm sewer running to the northeast. The proposed storm sewer is 119 feet long at a 0.28% slope. Water discharges into the Union Pacific Railroad right-of-way. Water then runs northeast to Burlington Ditch.

E. WATER QUALITY ENHANCEMENT BEST MANAGEMENT PRACTICES

a. NON-STRUCTURAL CONTROL MEASURES

The Union Pacific Railroad right-of-way has some native grasses that work as a grass buffer to improve water quality. A 7.5-foot by 8-foot riprap section is proposed. This will decrease outflow velocities as well as protect the bank.

b. STRUCTURAL CONTROL MEASURES

Water quality treatment will be provided for the detained portion of the site by the Extended Detention Basin. This basin slowly releases the water quality capture volume (WQCV) over a period of approximately 40 hours. This allows heavy particulates to settle out of the water prior to the water flowing downslope and eventually to Burlington Ditch.

c. SOURCE CONTROLS

Activities and operations that have potential to impact water quality include vehicle access and parking, storage of materials on-site, general waste, and landscaping.

Oil leaking from vehicles on site must be treated with a spill kit. Materials that would adversely impact water quality must not be stored outdoors. General waste will be collected in garbage cans that will be emptied regularly.

d. EXCLUSIONS

No exclusions from Water Quality requirements are required for this project.

LEVEL 3 STORM DRAINAGE STUDY REPORT

May 29, 2020

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F. ADDITIONAL PERMITTING REQUIREMENTS

It is not anticipated that any wetlands or Waters of the U.S. will be adversely affected by the properly functioning improvements discussed in this report. No threatened or endangered species habitat exists within the development footprint. There are no Habitat Protection Areas or Stream Restoration Areas within the project boundaries.

G. LIST OF REFERENCES

1. Adams County Colorado Stormwater Utility Policy Manual Revised September 10, 2019.
2. Custom Soil Resource Report—Adams County, Colorado, as available on the NRCS Web Soil Survey website.
3. Flood Insurance Rate Map 08001C0607H with an effective date of March 5, 2007.
4. Volume I & II Drainage Criteria Manual (DCM) Urban Drainage & Flood Control District, Updated January 2016.
5. Volume III Drainage Criteria Manual (DCM) Urban Drainage & Flood Control District, November 2010 with some sections updated April 2018.

H. CONCLUSIONS

1. COMPLIANCE WITH STANDARDS

The drainage design presented herein for RK Steel improvements complies with the provisions of the Adams County Stormwater Utility Policy Manual, and where referenced, the MHFD Drainage Criteria Manual. Improvements, constructed as demonstrated on the accompanying Administrative Site Plan, will not impact receiving structures or downstream properties to any greater extents than allowed by regulation.

2. VARIANCES

No variances are requested for this project.

3. DRAINAGE CONCEPT

The stormwater management for this project is designed to properly convey, store, and treat stormwater runoff from the site.

I. APPENDICES

- A. FIRM Map, Web Soil Survey, SMM and DCM Excerpts
- B. Hydrology and Hydraulics Calculations and Analysis
- C. Drainage Basin Maps

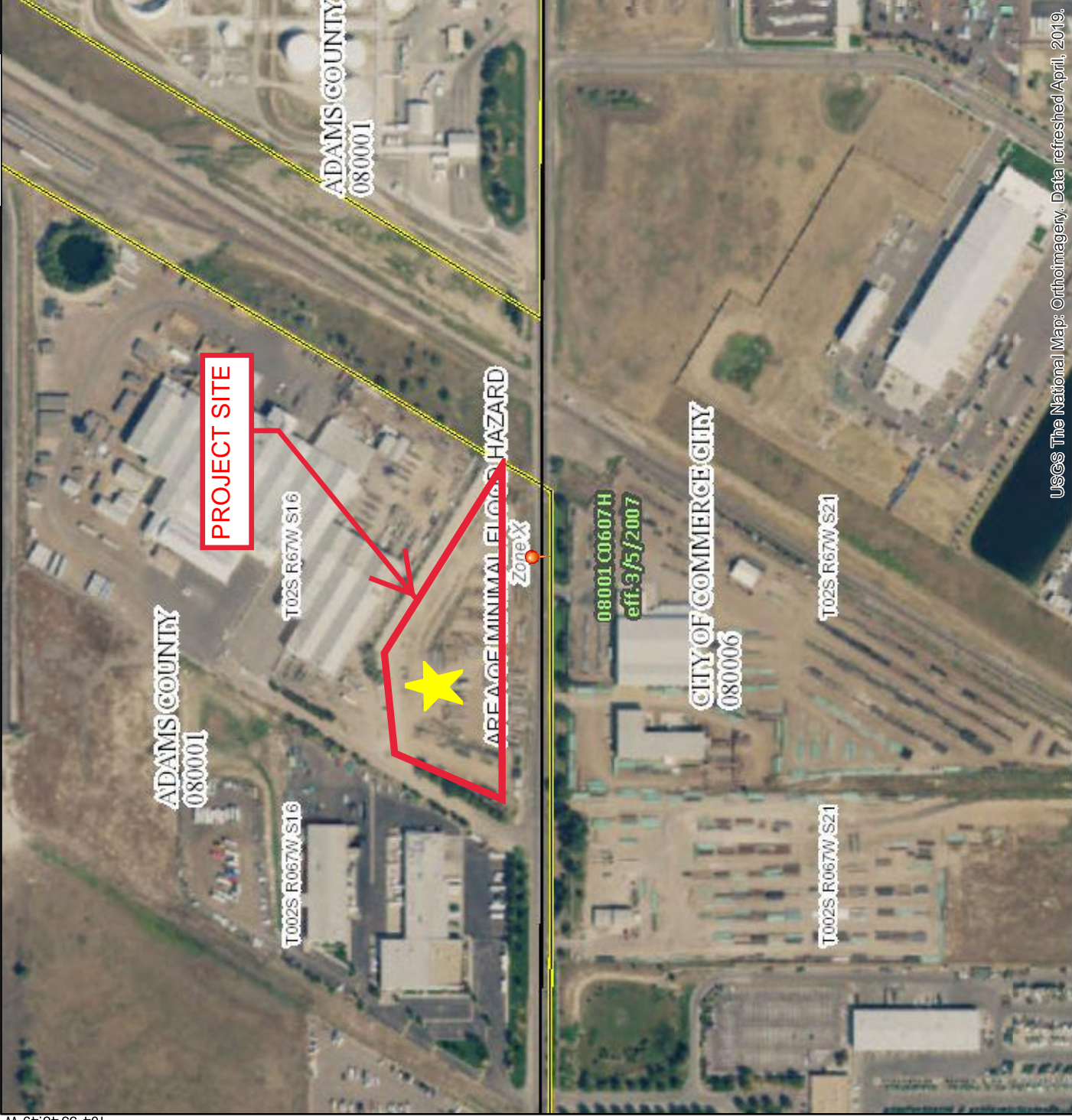
APPENDIX A

- A. FIRM
- B. Web Soil Survey
- C. SWMM and DCM Excerpts

National Flood Hazard Layer FIRMette



39°52'28.64"N



USGS The National Map: Orthoimagery. Data refreshed April, 2019.



104°53'11.03"W

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
Zone A, V, A99
- With BFE or Depth *Zone AE, AO, AH, VE, AR*
- Regulatory Floodway

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile *Zone X*
- Future Conditions 1% Annual Chance Flood Hazard *Zone X*
- Area with Reduced Flood Risk due to Levee. See Notes. *Zone X*
- Area with Flood Risk due to Levee *Zone D*

OTHER AREAS OF FLOOD HAZARD

- NO SCREEN
- Area of Minimal Flood Hazard *Zone X*
- Effective LOMRs
- Area of Undetermined Flood Hazard *Zone D*

OTHER AREAS

- Channel, Culvert, or Storm Sewer Levee, Dike, or Floodwall

GENERAL STRUCTURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

OTHER FEATURES

- Digital Data Available
- No Digital Data Available
- Unmapped

MAP PANELS

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **5/11/2020 at 1:20:26 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



United States
Department of
Agriculture

NRCS

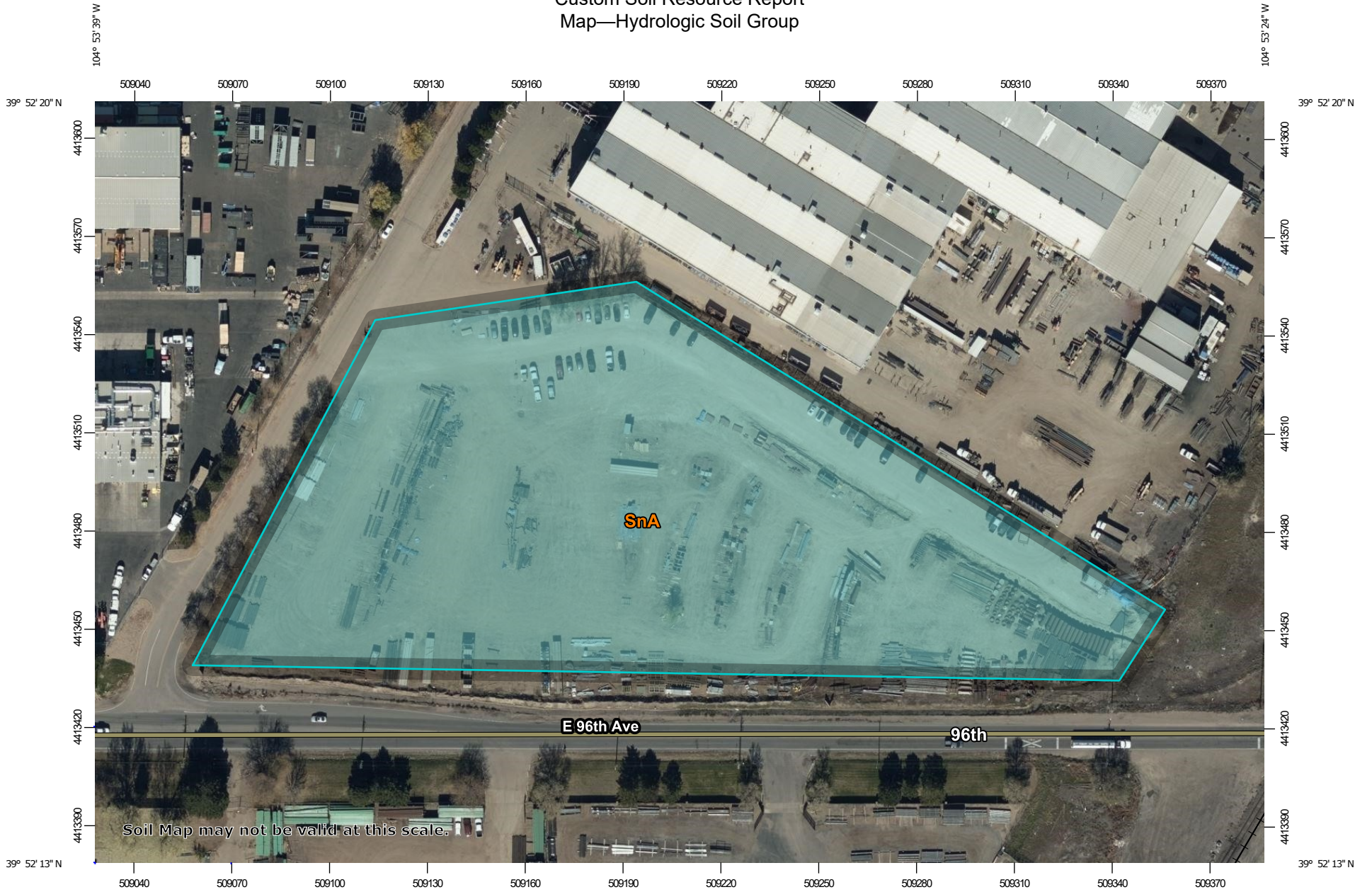
Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for Adams County Area, Parts of Adams and Denver Counties, Colorado



Custom Soil Resource Report Map—Hydrologic Soil Group



Map Scale: 1:1,640 if printed on A landscape (11" x 8.5") sheet.

0 20 40 80 120 Meters

0 50 100 200 300 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 13N WGS84

Table—Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
SnA	Satanta loam, 0 to 1 percent slopes	C	5.8	100.0%
Totals for Area of Interest			5.8	100.0%

Rating Options—Hydrologic Soil Group

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

The rainfall intensity information published by the National Oceanic and Atmospheric Administration (NOAA) in the “Precipitation-Frequency Atlas of the Western United States” was used to develop incremental rainfall distributions presented in Table 9.5. The incremental rainfall distributions presented in this table are based on procedures developed by the UDFCD. However, refinements have been made to closely match conditions within the County.

9-01-04-04 TIME-INTENSITY-FREQUENCY CURVES

A time-intensity-frequency curve was developed for the County by using one-hour point rainfall values (see Table 9.3) and factors for durations of less than one hour (see Table 9.4); both obtained from the NOAA Atlas. The outcomes of this distribution are point values that were then converted to intensities and plotted as Figure 9.1. Rainfall data from the Urban Drainage and Flood Control District (UDFCD) may be used as an alternative (see UDFCD Criteria Manual).

Table 9.3—One-Hour Point Rainfall (inches)

2-Year	5-Year	10-Year	50-Year	100-Year
1.00	1.42	1.68	2.35	2.71

Table 9.4—Factors for Durations of Less than One Hour

Duration (minutes)	5	10	15	30
Ratio to 1-hour depth	0.29	0.45	0.57	0.79

Table 6-3. Recommended percentage imperviousness values

Land Use or Surface Characteristics	Percentage Imperviousness (%)
Business:	
Downtown Areas	95
Suburban Areas	75
Residential lots (lot area only):	
Single-family	
2.5 acres or larger	12
0.75 – 2.5 acres	20
0.25 – 0.75 acres	30
0.25 acres or less	45
Apartments	75
Industrial:	
Light areas	80
Heavy areas	90
Parks, cemeteries	10
Playgrounds	25
Schools	55
Railroad yard areas	50
Undeveloped Areas:	
Historic flow analysis	2
Greenbelts, agricultural	2
Off-site flow analysis (when land use not defined)	45
Streets:	
Paved	100
Gravel (packed)	40
Drive and walks	90
Roofs	90
Lawns, sandy soil	2
Lawns, clayey soil	2

Table 6-5. Runoff coefficients, *c* (continued)

Total or Effective % Impervious	NRCS Hydrologic Soil Group C						
	2-Year	5-Year	10-Year	25-Year	50-Year	100-Year	500-Year
2%	0.01	0.05	0.15	0.33	0.40	0.49	0.59
5%	0.03	0.08	0.17	0.35	0.42	0.5	0.6
10%	0.06	0.12	0.21	0.37	0.44	0.52	0.62
15%	0.1	0.16	0.24	0.4	0.47	0.55	0.64
20%	0.14	0.2	0.28	0.43	0.49	0.57	0.65
25%	0.18	0.24	0.32	0.46	0.52	0.59	0.67
30%	0.22	0.28	0.35	0.49	0.54	0.61	0.68
35%	0.26	0.32	0.39	0.51	0.57	0.63	0.7
40%	0.3	0.36	0.43	0.54	0.59	0.65	0.71
45%	0.34	0.4	0.46	0.57	0.62	0.67	0.73
50%	0.38	0.44	0.5	0.6	0.64	0.69	0.75
55%	0.43	0.48	0.54	0.63	0.66	0.71	0.76
60%	0.47	0.52	0.57	0.65	0.69	0.73	0.78
65%	0.51	0.56	0.61	0.68	0.71	0.75	0.79
70%	0.56	0.61	0.65	0.71	0.74	0.77	0.81
75%	0.6	0.65	0.68	0.74	0.76	0.79	0.82
80%	0.65	0.69	0.72	0.77	0.79	0.81	0.84
85%	0.7	0.73	0.76	0.79	0.81	0.83	0.86
90%	0.74	0.77	0.79	0.82	0.84	0.85	0.87
95%	0.79	0.81	0.83	0.85	0.86	0.87	0.89
100%	0.83	0.85	0.87	0.88	0.89	0.89	0.9

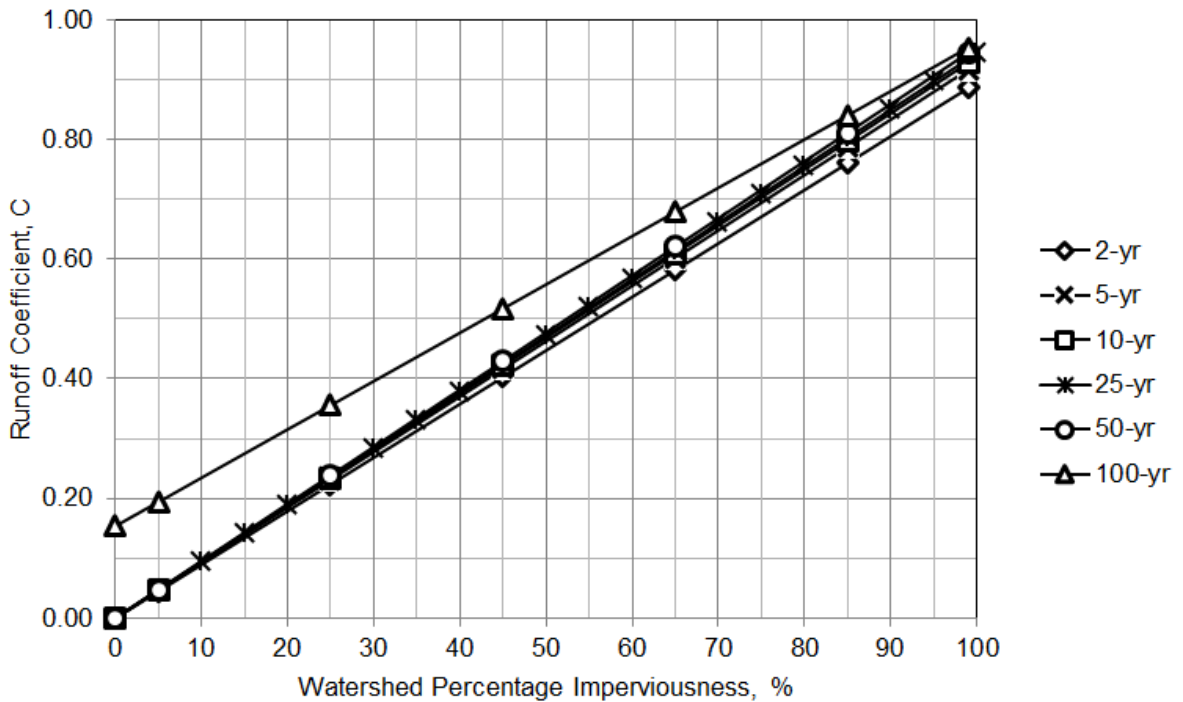


Figure 6-1. Runoff coefficient vs. watershed imperviousness NRCS HSG A

APPENDIX B

- A. Developed Condition Hydrologic Conditions
- B. Detention Pond Analysis and Design

Proposed Condition

Job Name: RK Steel Storage Yard
Coefficients Analysis

Date: 2020-07-24

By: CMA

Imperviousness and "C" Values

	I	C ₂	C ₅	C ₁₀₀
Landscape	2%	0.01	0.05	0.49
Packed Gravel	40%	0.30	0.36	0.65
Drives & Walks	90%	0.74	0.77	0.85
Roof	100%	0.83	0.85	0.89

Ref. Urban Drainage and Flood Control District Table 6-3 and Table 6-5 (HSG "C")

Basin	Roof	Landscape	Drives & Walks	Gravel	Total	I	C ₂	C ₅	C ₁₀₀
Existing	0.00	1.73	0.00	3.79	5.52	28.08%	0.21	0.26	0.60
A	0.00	0.10	0.00	3.96	4.06	39.06%	0.29	0.35	0.65
B	0.00	0.00	0.00	0.10	0.10	40.00%	0.30	0.36	0.65
C	0.00	0.21	0.00	0.51	0.73	28.90%	0.22	0.27	0.60
P	0.00	0.61	0.02	0.00	0.63	5.34%	0.04	0.08	0.50
Developed	0.00	0.92	0.02	4.58	5.52	33.88%	0.25	0.31	0.62

Proposed Condition

Job Name: RK Steel Storage Yard
Time of Concentration

Date: 2020-07-24

By: CMA

Basin Data			*Initial/Overland Flow Time (Ti)			Travel Time (Tt)				**Tc Check Urbanized Basin		Final Tc	Remarks
Desig	C ₅	Area Ac	Length Ft	Slope %	Ti Min	Length Ft	Slope %	***Vel FPS	Tt Min	Ti+Tt	Tc Max	Min	
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)	
A	0.35	4.06	185	3.00	12.78	560	0.70	1.25	7.44	20.21	19.36	19.36	
B	0.36	0.10	5	5.80	1.67			0.00	0.00	1.67	19.20	5.00	
C	0.27	0.73	340	2.50	20.44			0.00	0.00	20.44	21.09	20.44	
P	0.08	0.63	75	2.50	11.82	140	0.61	1.56	1.00	12.82	25.09	12.82	

*Ti calculated from UD&FCD - DCM, Vol. I, Chapter 6, Section 2.4.1, Equation 6-3

**Tt calculated from UD&FCD - DCM, Vol. I, Chapter 6, Section 2.4.2, Equation 6-4

***Tc calculated from UD&FCD - DCM, Vol. I, Chapter 6, Section 2.4.3, Equation 6-5

Proposed Condition

Job Name: RK Steel Storage Yard

Runoff Calculations

Date: 2020-07-24

Calculated by: CMA

Project:

Design Storm: 5-yr

²One Hour Point Rainfall: 1.42 in

Design Point	Direct Runoff							Total Runoff				Remarks
	Basin ID	Area (Ac)	Runoff Coeff	Tc (min)	CA	I ¹ (in/hr)	Q (cfs)	Tc (min)	Total CA	I ¹ (in/hr)	Q (cfs)	
1	A	4.06	0.35	19.36	1.431	2.84	4.07					
3	B	0.10	0.36	5.00	0.037	4.82	0.18					
2	C	0.73	0.27	20.44	0.196	2.76	0.54					
4	P	0.63	0.08	12.82	0.049	3.46	0.17					

¹Urban Drainage Criteria Manual Volume 1, Equation 5-1

²Adams County Storm Drainage Design and Stormwater Quality Regulations - Chapter 9

Proposed Condition

Job Name: RK Steel Storage Yard

Runoff Calculations

Date: 2020-06-03

Calculated by: CMA

Project:

Design Storm: 100-yr

²One Hour Point Rainfall: 2.71 in

Design Point	Direct Runoff							Total Runoff				Remarks
	Basin ID	Area (Ac)	Runoff Coeff	Tc (min)	CA	I ¹ (in/hr)	Q (cfs)	Tc (min)	Total CA	I ¹ (in/hr)	Q (cfs)	
1	A	4.06	0.65	19.36	2.625	5.42	14.23					
3	B	0.10	0.65	5.00	0.066	9.19	0.61					
2	C	0.73	0.60	20.44	0.439	5.27	2.31					
4	P	0.63	0.50	12.82	0.319	6.61	2.11					

¹Urban Drainage Criteria Manual Volume 1, Equation 5-1

²Adams County Storm Drainage Design and Stormwater Quality Regulations - Chapter 9

Channel Report

North Valley Pan

Triangular

Side Slopes (z:1) = 50.00, 25.00
Total Depth (ft) = 1.00

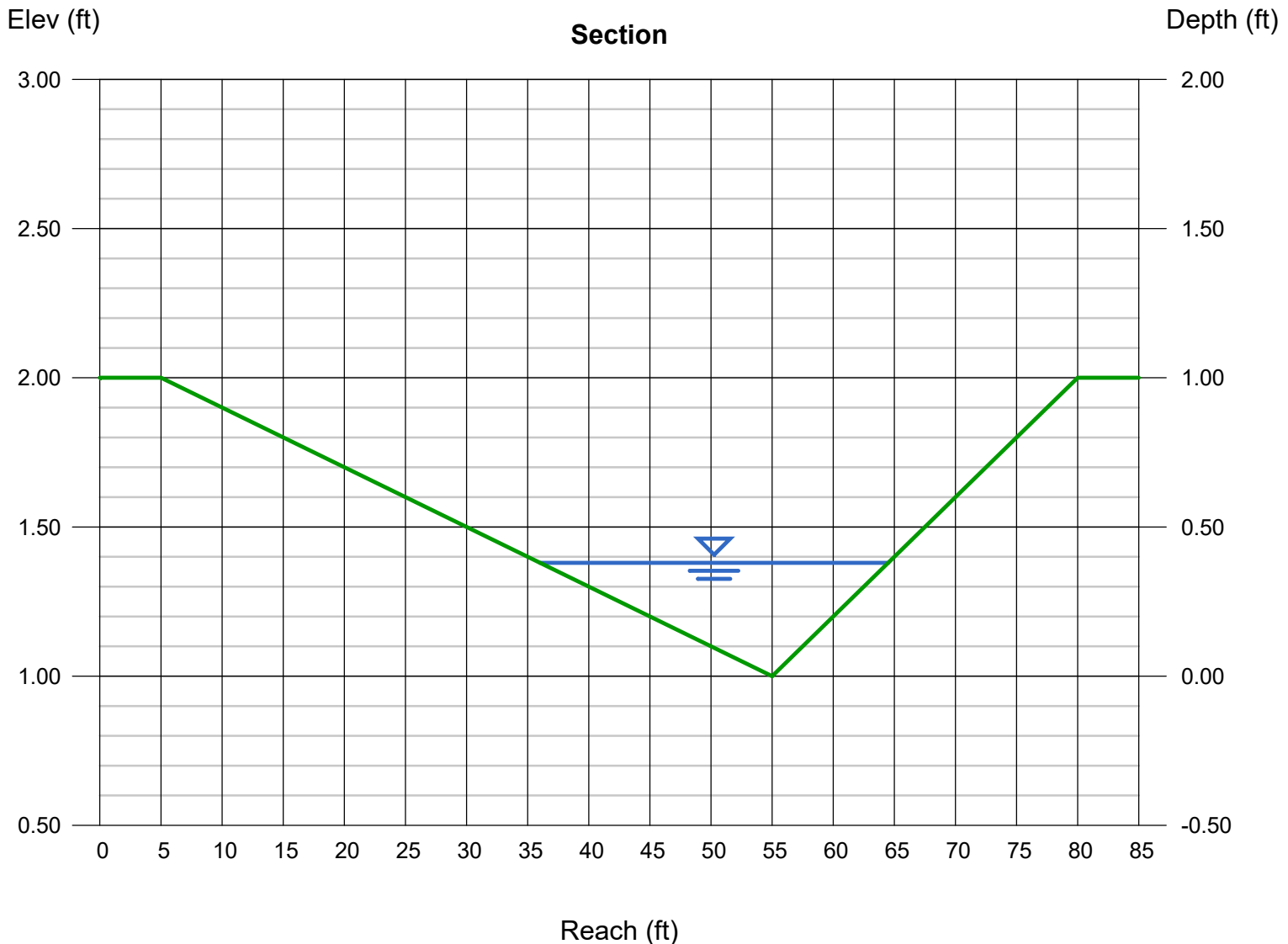
Invert Elev (ft) = 1.00
Slope (%) = 0.50
N-Value = 0.013

Calculations

Compute by: Known Q
Known Q (cfs) = 14.23

Highlighted

Depth (ft) = 0.38
Q (cfs) = 14.23
Area (sqft) = 5.41
Velocity (ft/s) = 2.63
Wetted Perim (ft) = 28.51
Crit Depth, Yc (ft) = 0.39
Top Width (ft) = 28.50
EGL (ft) = 0.49

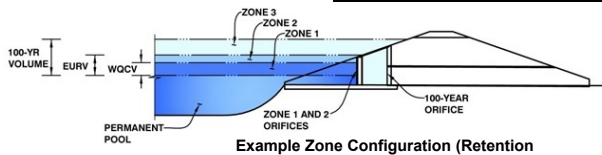


DETENTION BASIN OUTLET STRUCTURE DESIGN

MHFD-Detention, Version 4.03 (May 2020)

Project: RK Steel

Basin ID: _____



	Estimated Stage (ft)	Estimated Volume (ac-ft)	Outlet Type
Zone 1 (WQCV)	0.95	0.075	Orifice Plate
Zone 2 (EURV)	1.29	0.097	Orifice Plate
Zone 3 (100-year)	1.94	0.246	Weir&Pipe (Circular)
Total (all zones)		0.418	

User Input: Orifice at Underdrain Outlet (typically used to drain WQCV in a Filtration BMP)

Underdrain Orifice Invert Depth =	N/A	ft (distance below the filtration media surface)
Underdrain Orifice Diameter =	N/A	inches

Calculated Parameters for Underdrain

Underdrain Orifice Area =	N/A	ft ²
Underdrain Orifice Centroid =	N/A	feet

User Input: Orifice Plate with one or more orifices or Elliptical Slot Weir (typically used to drain WQCV and/or EURV in a sedimentation BMP)

Invert of Lowest Orifice =	0.00	ft (relative to basin bottom at Stage = 0 ft)
Depth at top of Zone using Orifice Plate =	1.94	ft (relative to basin bottom at Stage = 0 ft)
Orifice Plate: Orifice Vertical Spacing =	N/A	inches
Orifice Plate: Orifice Area per Row =	N/A	inches

Calculated Parameters for Plate

WQ Orifice Area per Row =	N/A	ft ²
Elliptical Half-Width =	N/A	feet
Elliptical Slot Centroid =	N/A	feet
Elliptical Slot Area =	N/A	ft ²

User Input: Stage and Total Area of Each Orifice Row (numbered from lowest to highest)

	Row 1 (required)	Row 2 (optional)	Row 3 (optional)	Row 4 (optional)	Row 5 (optional)	Row 6 (optional)	Row 7 (optional)	Row 8 (optional)
Stage of Orifice Centroid (ft)	0.00	0.50	1.00	1.25	1.50			
Orifice Area (sq. inches)	0.60	0.60	0.60	4.91	4.91			

	Row 9 (optional)	Row 10 (optional)	Row 11 (optional)	Row 12 (optional)	Row 13 (optional)	Row 14 (optional)	Row 15 (optional)	Row 16 (optional)
Stage of Orifice Centroid (ft)								
Orifice Area (sq. inches)								

User Input: Vertical Orifice (Circular or Rectangular)

	Not Selected	Not Selected	
Invert of Vertical Orifice =	N/A	N/A	ft (relative to basin bottom at Stage = 0 ft)
Depth at top of Zone using Vertical Orifice =	N/A	N/A	ft (relative to basin bottom at Stage = 0 ft)
Vertical Orifice Diameter =	N/A	N/A	inches

Calculated Parameters for Vertical Orifice

	Not Selected	Not Selected	
Vertical Orifice Area =	N/A	N/A	ft ²
Vertical Orifice Centroid =	N/A	N/A	feet

User Input: Overflow Weir (Dropbox with Flat or Sloped Grate and Outlet Pipe OR Rectangular/Trapezoidal Weir (and No Outlet Pipe))

	Zone 3 Weir	Not Selected	
Overflow Weir Front Edge Height, Ho =	1.79	N/A	ft (relative to basin bottom at Stage = 0 ft)
Overflow Weir Front Edge Length =	3.35	N/A	feet
Overflow Weir Grate Slope =	0.00	N/A	H:V
Horiz. Length of Weir Sides =	2.96	N/A	feet
Overflow Grate Open Area % =	70%	N/A	% , grate open area/total area
Debris Clogging % =	50%	N/A	%

Calculated Parameters for Overflow Weir

	Zone 3 Weir	Not Selected	
Height of Grate Upper Edge, H _g =	1.79	N/A	feet
Overflow Weir Slope Length =	2.96	N/A	feet
Grate Open Area / 100-yr Orifice Area =	3.93	N/A	
Overflow Grate Open Area w/o Debris =	6.94	N/A	ft ²
Overflow Grate Open Area w/ Debris =	3.47	N/A	ft ²

User Input: Outlet Pipe w/ Flow Restriction Plate (Circular Orifice, Restrictor Plate, or Rectangular Orifice)

	Zone 3 Circular	Not Selected	
Depth to Invert of Outlet Pipe =	0.00	N/A	ft (distance below basin bottom at Stage = 0 ft)
Circular Orifice Diameter =	18.00	N/A	inches

Calculated Parameters for Outlet Pipe w/ Flow Restriction Plate

	Zone 3 Circular	Not Selected	
Outlet Orifice Area =	1.77	N/A	ft ²
Outlet Orifice Centroid =	0.75	N/A	feet
Half-Central Angle of Restrictor Plate on Pipe =	N/A	N/A	radians

User Input: Emergency Spillway (Rectangular or Trapezoidal)

Spillway Invert Stage =	2.21	ft (relative to basin bottom at Stage = 0 ft)
Spillway Crest Length =	5.00	feet
Spillway End Slopes =	4.00	H:V
Freeboard above Max Water Surface =	1.00	feet

Calculated Parameters for Spillway

Spillway Design Flow Depth =	0.77	feet
Stage at Top of Freeboard =	3.98	feet
Basin Area at Top of Freeboard =	1.63	acres
Basin Volume at Top of Freeboard =	2.12	acre-ft

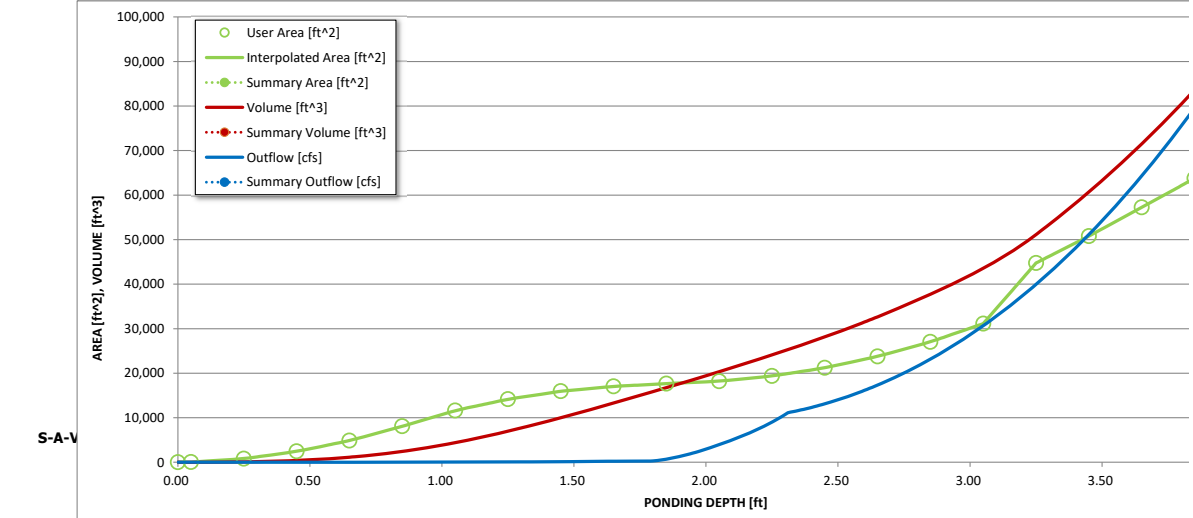
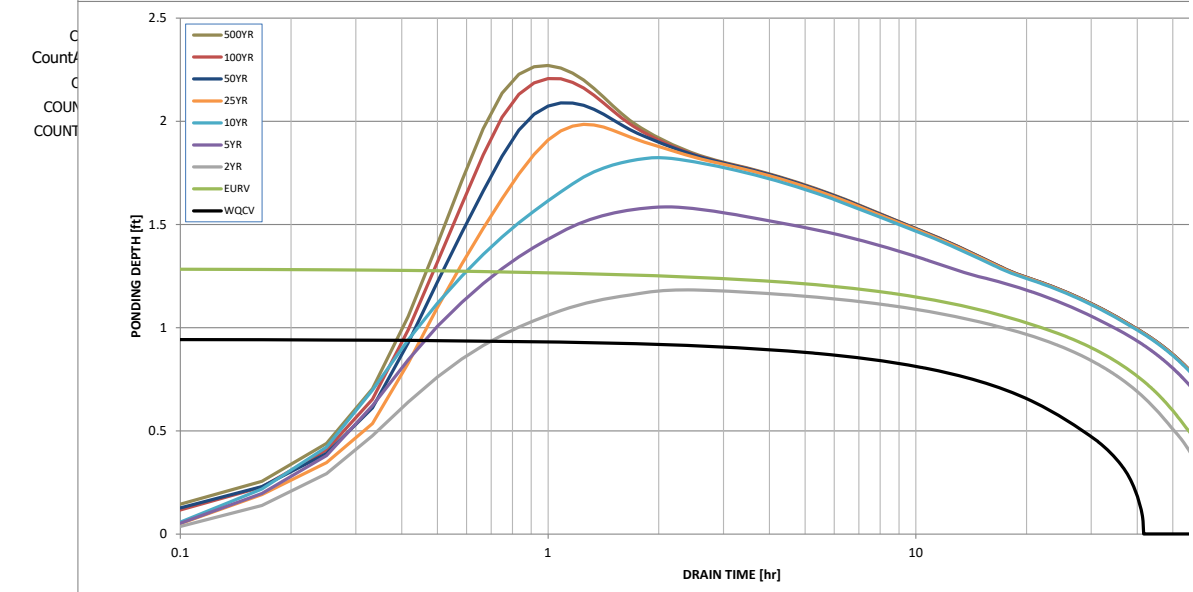
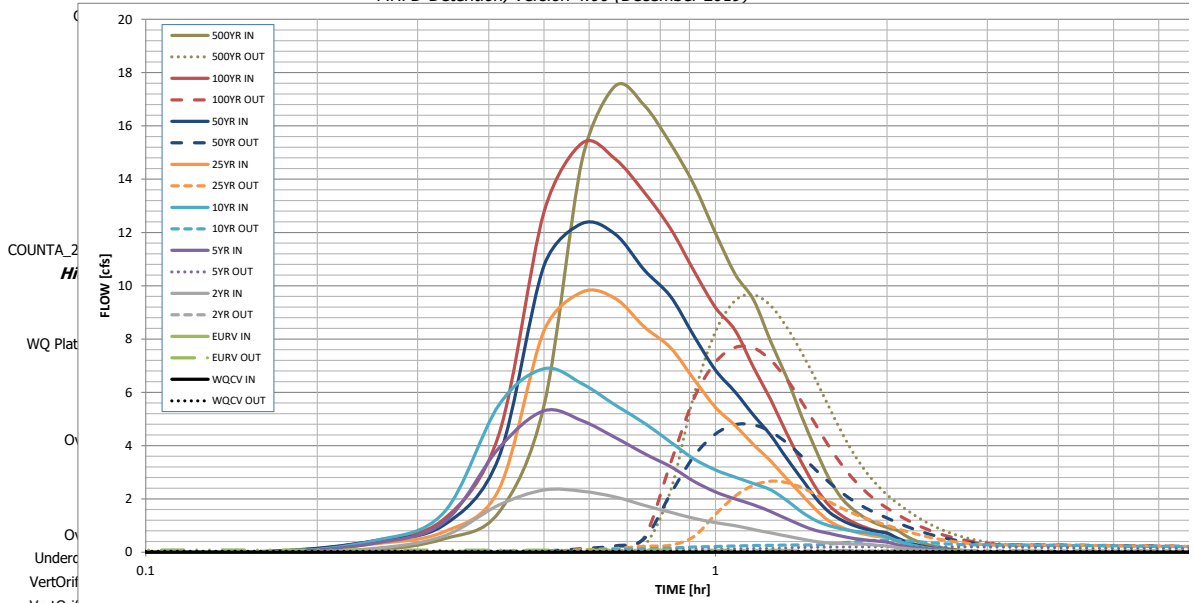
Routed Hydrograph Results

The user can override the default CUHP hydrographs and runoff volumes by entering new values in the Inflow Hydrographs table (Columns W through A)

	WQCV	EURV	2 Year	5 Year	10 Year	25 Year	50 Year	100 Year	500 Year
Design Storm Return Period =	N/A	N/A	1.00	1.42	1.68	2.00	2.35	2.71	3.00
One-Hour Rainfall Depth (in) =	N/A	N/A	1.00	1.42	1.68	2.00	2.35	2.71	3.00
CUHP Runoff Volume (acre-ft) =	0.075	0.172	0.147	0.304	0.415	0.578	0.737	0.923	1.057
Inflow Hydrograph Volume (acre-ft) =	N/A	N/A	0.147	0.304	0.415	0.578	0.737	0.923	1.057
CUHP Predevelopment Peak Q (cfs) =	N/A	N/A	0.4	2.6	3.7	6.3	8.4	10.7	12.4
OPTIONAL Override Predevelopment Peak Q (cfs) =	N/A	N/A							
Predevelopment Unit Peak Flow, q (cfs/acre) =	N/A	N/A	0.07	0.46	0.67	1.15	1.52	1.93	2.24
Peak Inflow Q (cfs) =	N/A	N/A	2.3	5.3	6.9	9.8	12.3	15.4	17.5
Peak Outflow Q (cfs) =	0.0	0.1	0.0	0.2	0.5	2.7	4.8	7.7	9.7
Ratio Peak Outflow to Predevelopment Q =	N/A	N/A	N/A	0.1	0.1	0.4	0.6	0.7	0.8
Structure Controlling Flow =	Plate	Plate	Plate	Plate	Overflow Weir 1	Overflow Weir 1	Overflow Weir 1	Spillway	Spillway
Max Velocity through Gate 1 (fps) =	N/A	N/A	N/A	N/A	0.0	0.3	0.6	1.1	1.3
Max Velocity through Gate 2 (fps) =	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Time to Drain 97% of Inflow Volume (hours) =	38	62	58	71	72	69	67	64	62
Time to Drain 99% of Inflow Volume (hours) =	40	66	61	77	80	79	77	76	75
Maximum Ponding Depth (ft) =	0.95	1.29	1.18	1.58	1.82	1.98	2.09	2.21	2.27
Area at Maximum Ponding Depth (acres) =	0.23	0.33	0.30	0.38	0.40	0.41	0.42	0.44	0.45
Maximum Volume Stored (acre-ft) =	0.076	0.173	0.138	0.278	0.373	0.438	0.480	0.531	0.558

DETENTION BASIN OUTLET STRUCTURE DESIGN

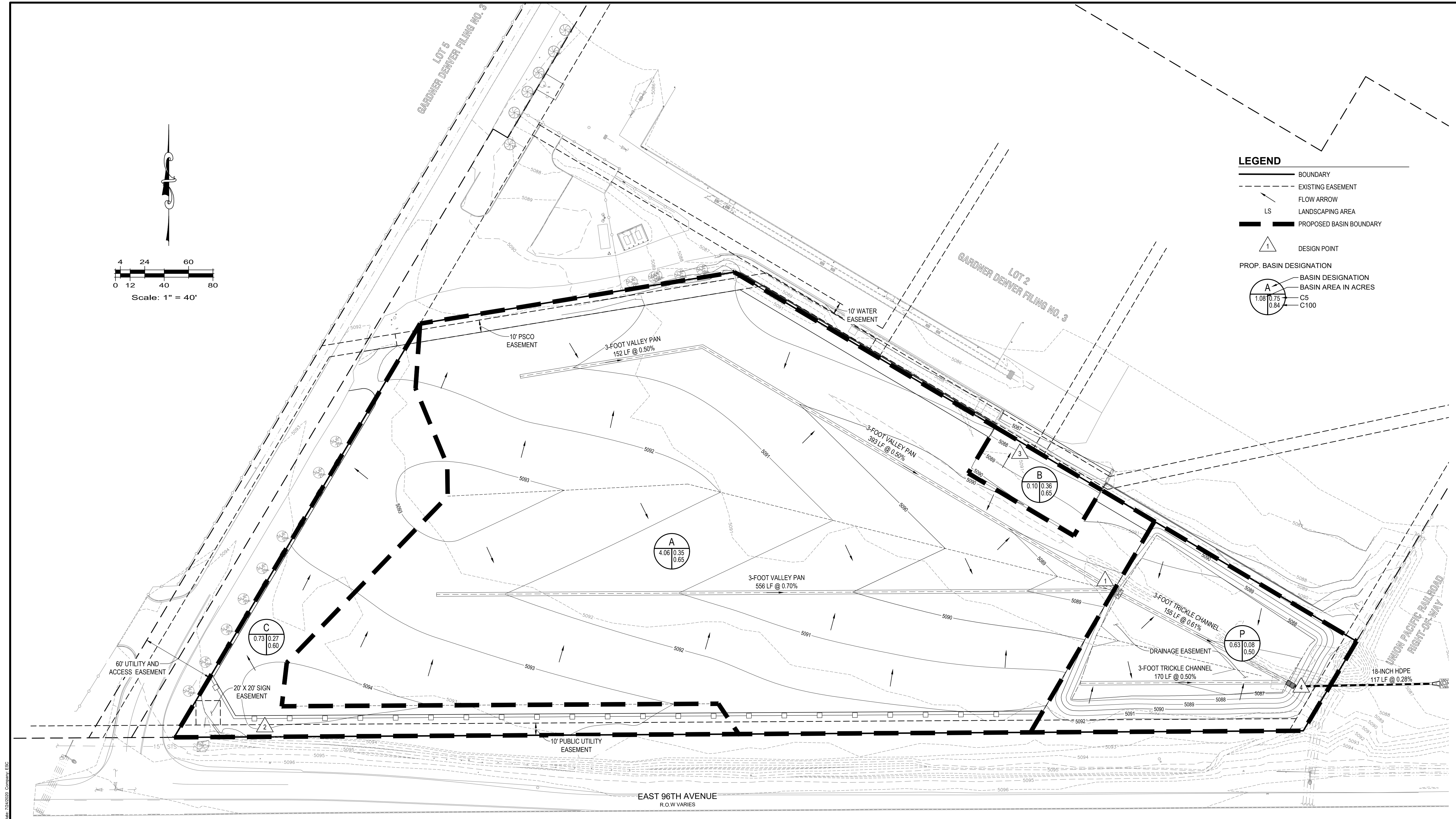
MHFD-Detention, Version 4.00 (December 2019)



S-A-V Chart Axis Override	X-axis	Left Y-Axis	Right Y-Axis
minimum bound			
maximum bound			

APPENDIX C

A. On-Site Drainage Basin Map



LEGEND

- BOUNDARY
- - - EXISTING EASEMENT
- FLOW ARROW
- LS LANDSCAPING AREA
- PROPOSED BASIN BOUNDARY
- △ DESIGN POINT

PROP. BASIN DESIGNATION

A	BASIN DESIGNATION
1.08	BASIN AREA IN ACRES
0.75	C5
0.84	C100

CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION, SIZE, NUMBER, AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON MEASUREMENTS TAKEN IN THE FIELD AND RECORDS OF THE VARIOUS UTILITY COMPANIES. THIS INFORMATION IS NOT TO BE RELIED ON TO BE COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION TO REQUEST UTILITIES BE LOCATED AND MARKED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

LEGAL DESCRIPTION
 LOT 1, BLOCK 1, GARDNER DENVER FILING NO. 3 - PLAT CORRECTION NO. 1
 COUNTY OF ADAMS, STATE OF COLORADO

BASIS OF BEARINGS
 BEARINGS ARE BASED ON THE SOUTH LINE OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, MONUMENTED AT THE SOUTHEAST CORNER AND SOUTHWEST CORNER BY A 3-1/4" ALUMINUM CAP STAMPED LS 17488 BEING ASSUMED TO BEAR S89°53'00"W A DISTANCE OF 5282.77 FEET.

BENCHMARK
 ADAMS COUNTY BM #5090 - U.S.G.S. 3-3/4" BRASS CAP LOCATED EAST OF THE INTERSECTION OF INTERSTATE 76 AND EAST 96TH AVENUE, 0.6 MILE EAST OF INTERSTATE 76, 50 FEET NORTH OF THE CENTER OF EAST 96TH AVENUE AND 40.6 FEET NORTHWEST OF THE UNION PACIFIC RAILROAD TRACKS.
 ELEVATION = 5094.845 FEET (NAVD 1988 DATUM)

811
 Know what's below.
 Call before you dig.
 WWW.CALL811.COM
 1-800-922-1987

Date: 2020-05-30

No.: INITIAL SUBMITTAL

Description: DRAINAGE PLAN

Client: RK STEEL
 8221 E. 96TH AVE
 HENDERSON, CO 80640
 PHONE: (303) 785-6797
 ATTN: DONNIE HIRSHFIELD

ENGINEERING SERVICE COMPANY
 14190 East Evans Avenue
 Aurora, Colorado 80014
 P 303.337.1393
 F 303.337.7481
 T/F 1.877.273.0659
 creative-solutions.com
 engineering@creative.com

DESIGNED BY: CMA
 DRAWN BY: CMA
 CHECKED BY: CMA
 SHEET NO.: 1

ENGINEERING NO.: E-20-001
 DATE: 2020-05-30
 SCALE: HORIZ. 1" = 40'
 VERT. N.A.

FOR REVIEW ONLY
 NOT FOR CONSTRUCTION



Tuesday - November 17, 2020

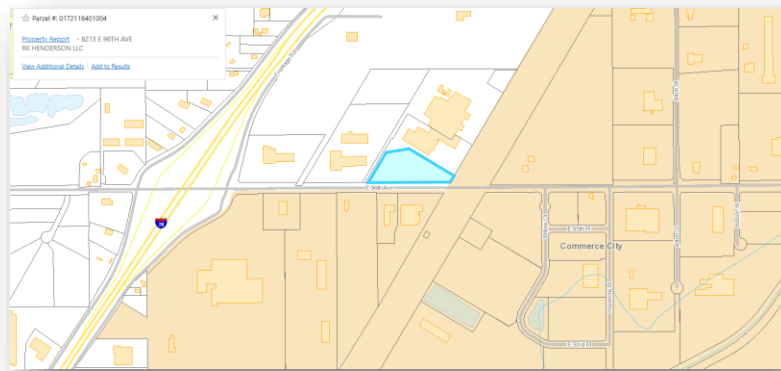
ADAMS COUNTY

Attn: Mr. Holden Pederson, Planner II, Community and Economic Development
4430 S Adams County Pkwy, W2410
Brighton, CO 80601

RE: **Application for Conditional Use – Utility Letter**
8221 E. 96th St., Henderson, CO– Unincorporated Adams County, Colorado
Utility Letter

Greetings Mr. Pederson:

Our Client, RK Steel is the project applicant and owner of a 5.52-acre lot located on the north side of 96th Avenue. The lot is currently known as Lot 1, Gardner Denver Subdivision. The address is 8213 E 96th Ave. They wish to use the lot as a storage yard for the adjacent RK Steel manufacturing facility.



No water or sewer is required by this project. The landscape will be irrigated manually by using a water truck or by similar means. In previous discussions with the county and Commerce City, it was determined that if the development (including underground irrigation) were to demand more than 4 equivalent residential units of water then the site would be annexed into Commerce City. Our client has previously demonstrated to Commerce City that the irrigation would not require that amount of water. Commerce City provided a letter stating that they will not annex this lot for this development. That letter is included in our submittal.

Please feel free to call or email me if you have any questions or comments, or if I may be of assistance in any way.

Thank you.

Sincerely,

ENGINEERING SERVICE COMPANY

A handwritten signature in blue ink, appearing to read "Chad M. Anderson".

Chad M. Anderson, PE

Project Manager

Phone: 303.337.1393, x-116

Email: CAnderson@engineeringserviceco.com

14190 East Evans Avenue

Aurora, Colorado 80014-1431

P 303.337.1393 | F 303.337.7481 | T/F 1.877.273.0659

engineeringserviceco.com



Wednesday - August 05, 2020

ADAMS COUNTY

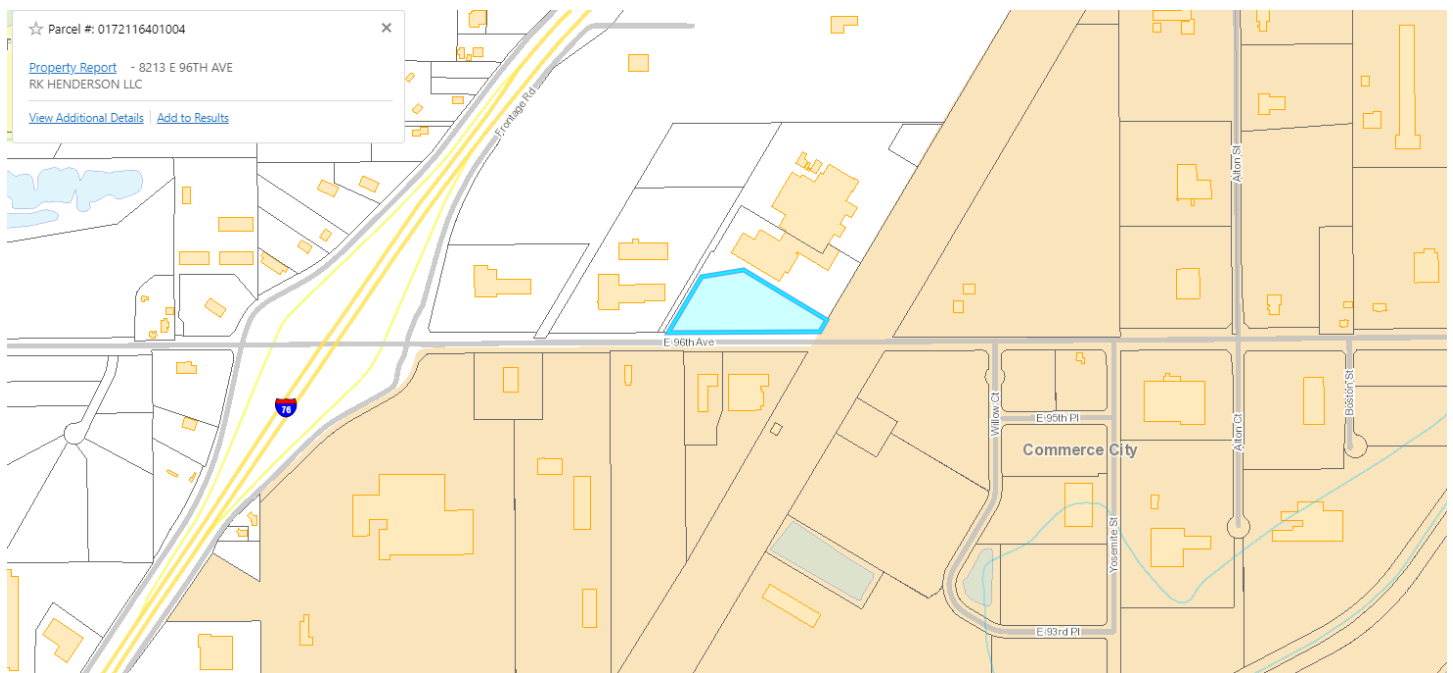
Attn: Mr. Holden Pederson, Planner II, Community and Economic Development
4430 S Adams County Pkwy, W2410
Brighton, CO 80601

RE: Application for Plat Correction

8221 E. 96th St., Henderson, CO– Unincorporated Adams County, Colorado
Letter of Introduction

Greetings Mr. Pederson:

Our Client, RK Steel is the project applicant and owner of a 5.52-acre lot located on the north side of 96th Avenue. The lot is currently known as Lot 1, Gardner Denver Subdivision. The address is 8213 E 96th Ave. They wish to use the lot as a storage yard for the adjacent RK Steel manufacturing facility.



This lot is currently zoned I-3 which is appropriate for the storage use.

No water or sewer is required by this project. The landscape will be irrigated manually by using a water truck or by similar means. In previous discussions with the county and Commerce City, it was determined that if the development (including underground irrigation) were to demand more than 4 equivalent residential units of water then the site would be annexed into Commerce City. Our client has previously demonstrated to Commerce City that the irrigation would not require that amount of water. Commerce City provided a letter stating that they will not annex this lot for this development. That letter is included in our submittal.

Most of this lot will be paved with recycled asphalt pavement. A drainage easement exists on the southeast corner of the site. A detention pond is proposed in that location but will require some reconfiguration of the drainage easement. That reconfiguration is the reason for the plat correction.

14190 East Evans Avenue

Aurora, Colorado 80014-1431

P 303.337.1393 | F 303.337.7481 | T/F 1.877.273.0659
engineeringserviceco.com



Additional landscaping will be provided along E. 96th Avenue and elsewhere on the site. The owner also wishes to add a fence around the property.

Grading and utility plans and a Drainage Report are currently in review with Adams County Engineering.

Please feel free to call or email me if you have any questions or comments, or if I may be of assistance in any way.

Thank you.

Sincerely,

ENGINEERING SERVICE COMPANY

A handwritten signature in blue ink, appearing to read "Chad M. Anderson". The signature is fluid and cursive, with a long, sweeping tail that extends to the right.

Chad M. Anderson, PE

Project Manager

Phone: 303.337.1393, x-116

Email: CAAnderson@engineeringserviceco.com



ADAMS COUNTY TREASURER

Certificate Of Taxes Due

Account Number R0194338
 Parcel 0172116401004
 Assessed To
 RK HENDERSON LLC
 3800 XANTHIA ST
 DENVER, CO 80238-3306

Certificate Number 2020-156372
 Order Number
 Vendor ID Counter

Legal Description	Situs Address				
GARDNER DENVER SUBD FLG NO 3 LOT 1	8213 E 96TH AVE				
Year	Tax	Interest	Fees	Payments	Balance
Tax Charge					
2019	\$28,773.00	\$287.73	\$0.00	(\$29,060.73)	\$0.00
Total Tax Charge					\$0.00
Grand Total Due as of 07/07/2020					\$0.00

Tax Billed at 2019 Rates for Tax Area 215 - 215

Authority	Mill Levy	Amount	Values	Actual	Assessed
RANGEVIEW LIBRARY DISTRICT	3.6770000	\$1,218.89	INDUS UNIMPROVED	\$1,143,064	\$331,490
FIRE DISTRICT 4	14.7500000	\$4,889.48	LND		
ADAMS COUNTY	26.9170000	\$8,922.72	Total	\$1,143,064	\$331,490
SD 14	38.0090000	\$12,599.60			
SOUTH ADAMS WATER & SANITAT	2.4490000*	\$811.82			
URBAN DRAINAGE SOUTH PLATTE	0.0970000*	\$32.15			
URBAN DRAINAGE & FLOOD CONT	0.9000000	\$298.34			
Taxes Billed 2019	86.7990000	\$28,773.00			
* Credit Levy					

ALL TAX SALE AMOUNTS ARE SUBJECT TO CHANGE DUE TO ENDORSEMENT OF CURRENT TAXES BY THE LIENHOLDER OR TO ADVERTISING AND DISTRAINT WARRANT FEES. CHANGES MAY OCCUR; PLEASE CONTACT THE TREASURY PRIOR TO MAKING A PAYMENT AFTER AUGUST 1. TAX LIEN SALE REDEMPTION AMOUNTS MUST BE PAID BY CASH OR CASHIER'S CHECK.

SPECIAL TAXING DISTRICTS AND THE BOUNDARIES OF SUCH DISTRICTS MAY BE ON FILE WITH THE BOARD OF COUNTY COMMISSIONERS, THE COUNTY CLERK, OR, THE COUNTY ASSESSOR.

This certificate does not include land or improvements assessed under a separate account number, personal property taxes, transfer tax, or, miscellaneous tax collected on behalf of other entities, special or local improvement district assessments, or mobile homes, unless specifically mentioned.

I, the undersigned, do hereby certify that the entire amount of taxes due upon the above described parcels of real property and all outstanding sales for unpaid taxes as shown by the records in my office from which the same may still be redeemed with the amount required for redemption are as noted herein.

In witness whereof, I have hereunto set my hand and seal.

TREASURER, ADAMS COUNTY, Lisa L. Culpepper, J.D.

Treasurer, Adams County, Lisa L. Culpepper J.D.



4430 S. Adams County Parkway
 Brighton, CO 80601

Gardner Denver Filing No. 3 – Plat Correction

Legal Description:

Lot 1, Gardner Denver Filing No. 3 as on August 6, 2015 at Reception Number 2015000064556 in the Adams County Clerk and Recorder's Office, County of Adams, State of Colorado.

Parcel Contains (240,645 Square Feet) 5.5244 Acres, more or less.

Date Prepared: November 4, 2020

Date of Last Revision:

Prepared By: Brett L. Miller, PLS No. 27609

For and on behalf of

Engineering Service Company

14190 East Evans Avenue

Aurora, Colorado 80014

Phone: 303-337-1393

Fidelity National Title



NATIONAL COMMERCIAL SERVICES

1401 17th St, #480
Denver, CO 80202
Phone: (303) 942-2200

DATE: **June 12, 2020**
FILE NUMBER: **100-N0027869-030-ME1**
PROPERTY ADDRESS: **8213 East 96th Avenue, Henderson, CO 80640**
BUYER/BORROWER:
OWNER(S): **RK Henderson LLC, a Colorado limited liability company**
YOUR REFERENCE NUMBER:
ASSESSOR PARCEL NUMBER: **0172116401004**

PLEASE TAKE NOTE OF THE FOLLOWING REVISED TERMS CONTAINED HEREIN:

None.

WIRED FUNDS ARE REQUIRED ON ALL CASH PURCHASE TRANSACTIONS. FOR WIRING INSTRUCTIONS, PLEASE CONTACT YOUR ESCROW OFFICE AS NOTED ON THE TRANSMITTAL PAGE OF THIS COMMITMENT.

TO: Escrow Officer

ATTN: Mej Ellsworth
PHONE: (303) 942-2204
FAX: (303) 474-7397
E-MAIL: mej.ellsworth@fnf.com

E-MAIL:

END OF TRANSMITTAL



COMMITMENT FOR TITLE INSURANCE

Issued by

Fidelity National Title Insurance Company

NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRA CONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY’S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, **Fidelity National Title Insurance Company**, a Florida Corporation (the “Company”), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I—Requirements have not been met within 6 Months after the Commitment Date, this Commitment terminates and the Company’s liability and obligation end.

Countersigned

By: 
Darren Hone
Authorized Signature

Fidelity National Title Insurance Company

By: 

ATTEST

President



Secretary

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.



COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements;
- (f) Schedule B, Part II—Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - (i) comply with the Schedule B, Part I—Requirements;
 - (ii) eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
 - (iii) acquire the Title or create the Mortgage covered by this Commitment.

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- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

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Transaction Identification Data for reference only:

Issuing Agent: Fidelity National Title, National Commercial Services
Issuing Office: 1401 17th St., Suite 480, Denver, CO 80202
Loan ID Number:
Issuing Office File Number: **100-N0027869-030-ME1**
Property Address: 8213 East 96th Avenue, Henderson, CO 80640
Revision Number:

SCHEDULE A

AMERICAN LAND TITLE ASSOCIATION COMMITMENT

1. **Commitment Date: June 3, 2020**
2. Policy to be issued:
 - (a) ALTA Owners Policy 6-17-06
Proposed Insured: **Purchaser with contractual rights under a purchase agreement with the vested Owner at Item 4 below**
Proposed Policy Amount: \$1,000.00
 - (b) None
Proposed Insured:
Proposed Policy Amount: \$0.00
 - (c) None
Proposed Insured:
Proposed Policy Amount: \$0.00
3. The estate or interest in the Land described or referred to in this Commitment is:
Fee simple
4. The Title is, at the Commitment Date, [vested in:](#)
RK Henderson LLC, a Colorado limited liability company
5. The Land is described as follows:
See Exhibit A attached hereto and made a part hereof.

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SCHEDULE A
(Continued)

PREMIUMS:

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27C165 Commitment for Title Insurance (Adopted 6-17-06 Revised 08-01-2016)

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Page 2



EXHIBIT A
LEGAL DESCRIPTION

Lot 1,
Gardner Denver Filing No. 3,
County of Adams,
State of Colorado

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27C165 Commitment for Title Insurance (Adopted 6-17-06 Revised 08-01-2016)

Page 3

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SCHEDULE B

PART I – REQUIREMENTS

All of the following Requirements must be met:

- a. Pay the agreed amounts for the interest in the land and/or for the mortgage to be insured.
- b. Pay us the premiums, fees and charges for the policy.
- c. Obtain a certificate of taxes due from the county treasurer or the county treasurer's authorized agent.

Note: Any documents being executed in conjunction with this transaction must be signed in the presence of an authorized Company employee, an authorized employee of an agent, an authorized employee of the insured lender, or by using Bancserv or other approved third-party service. If the above requirement cannot be met, please call the Company at the number provided in this report.

- d. Deed sufficient to convey the fee simple estate or interest in the Land described or referred to herein, to the Proposed Insured Purchaser.
- e. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance from the entity named below:

Limited Liability Company: RK Henderson LLC, a Colorado limited liability company

- a) A copy of its operating agreement, if any, and any and all amendments, supplements and/or modifications thereto, certified by the appropriate manager or member
- b) A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created
- c) Recordation of Statement of Authority for RK Henderson LLC, a Colorado limited liability company pursuant to Colorado Revised Statutes evidencing the existence of the entity and authority of the person(s) authorized to execute and deliver instruments affecting title to real property on behalf of the entity and containing other information required by Colorado Revised Statutes.
- f. The Company will require that an Owner's Affidavit be completed by the party(s) named below before the issuance of any policy of title insurance.

Party(s): RK Henderson LLC, a Colorado limited liability company

The Company reserves the right to add additional items or make further requirements after review of the requested Affidavit.

- g. For each policy to be issued as identified in Schedule A, Item 2; the Company shall not be liable under this commitment until it receives a designation for a Proposed Insured, acceptable to the Company. The Company may amend this commitment to add, among other things, additional exceptions or requirements after the designation of the Proposed Insured.
- h. The Company will require a survey of the subject Land, which is in compliance with minimum technical standards, prepared by a duly registered and licensed surveyor. If the owner of the Land the subject of

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SCHEDULE B
PART I – Requirements
(Continued)

this transaction is in possession of a survey, the Company will require that said survey be submitted for review and approval; otherwise, a new survey, satisfactory to the Company, must be submitted to the Company for examination. In order to prevent delays, please furnish the survey at least 10 days prior to the close of this transaction.

If an existing survey is to be relied upon, an affidavit from the seller(s)/mortgagor(s) must be furnished to the Company stating that no improvements have been made on the Land the subject of this transaction or adjacent thereto subsequent to the survey presented to the Company.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

Note: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.

END OF REQUIREMENTS

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SCHEDULE B
PART II – EXCEPTIONS

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any facts, rights, interests or claims that are not shown by the Public Records but which could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
3. Any encroachments, encumbrances, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by Public Records.
4. Any lien or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the Public Records or attaching subsequent to the effective date hereof but prior to the date the proposed Insured acquires of record for the value the estate or interest or mortgage thereon covered by this Commitment.

NOTE: The above exception will not appear on policies where closing and settlement has been performed by the Company.

6. All taxes and assessments, now or heretofore assessed, due or payable.

NOTE: This tax exception will be amended at policy upon satisfaction and evidence of payment of taxes.

7. Any existing leases or tenancies, and any and all parties claiming by, through or under said lessees.
8. Terms, conditions, provisions, agreements and obligations contained in the Zoning Resolution as set forth below:

NA
ANP

Recording Date: August 21, 1957
Recording No.: [Book 670, Page 518](#)

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SCHEDULE B
PART II – Exceptions
 (Continued)

- 9. **ANP** Any tax, lien, fee or assessment by reason of inclusion of subject property in the South Adams County Water and Sanitation District, as evidenced by instrument

Recording Date: September 22, 1970
 Recording No.: [Book 1630, Page 267](#)

- 10. **ANP** Reservation of all irrigation water and ditch rights, and easement 8 feet in width along the Northerly line of property as reserved in Deed

Recording Date: August 19, 1957
 Recording No.: [Book 670, Page 336](#)

- 11. **AP** Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Public Service Company of Colorado
 Purpose: Utilities
 Recording Date: July 13, 1995
 Recording No.: [Book 4546, Page 915](#) and Book [4546 at Page 911](#)

- 12. **ANP** Terms, conditions, provisions, agreements and obligations contained in the Resolution No. 2015-332 as set forth below:

Recording Date: July 29, 2015
 Recording No.: [Reception No. 2015000061774](#)

- 13. **AP** Easements, notes, covenants, restrictions and rights-of-way as shown on the plat of Gardner Denver Filing No. 3,

Recording Date: August 06, 2015
 Recording No.: [Reception No. 2015000064556](#)

- 14. **ANP** Terms, conditions, provisions, agreements and obligations contained in the Subdivision Improvement Agreement in Resolution 2015-333 as set forth below:

Recording Date: August 13, 2015
 Recording No.: [Reception No. 2015000067233](#)

- 15. **ANP** **Deed of Trust:**

Amount:	\$4,194,934.55
Trustor/Grantor:	RK Henderson LLC, a Colorado limited liability company
Trustee:	Public Trustee of Adams County
Beneficiary:	UMB Bank, n.a.,
Loan No.	None shown
Recording Date:	March 20, 2018

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SCHEDULE B
PART II – Exceptions
(Continued)

Recording No: Reception No. 2018000022648

Assignment of Leases and Rents

Recording Date: March 20, 2018

Recording No: Reception No. 2018000022649

END OF EXCEPTIONS

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27C165 Commitment for Title Insurance (Adopted 6-17-06 Revised 08-01-2016)

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Page 3



Wire Fraud Alert

This Notice is not intended to provide legal or professional advice. If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. **If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.**

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- **ALWAYS VERIFY** wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. DO NOT use the phone number provided in the email containing the instructions, use phone numbers you have called before or can otherwise verify. **Obtain the phone number of relevant parties to the transaction as soon as an escrow account is opened.** DO NOT send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do NOT reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

Federal Bureau of Investigation:
<http://www.fbi.gov>

Internet Crime Complaint Center:
<http://www.ic3.gov>

FIDELITY NATIONAL FINANCIAL, INC. PRIVACY NOTICE

Effective April 9, 2020

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, “FNF,” “our,” or “we”) respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary’s website and this Privacy Notice does not apply.

Collection of Personal Information

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver’s license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information); and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- information we receive from you or your agent;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

Collection of Browsing Information

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an “FNF Website”) from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

Other Online Specifics

Cookies. When you visit an FNF Website, a “cookie” may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer’s hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

Web Beacons. We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

Do Not Track. Currently our FNF Websites do not respond to “Do Not Track” features enabled through your browser.

Links to Other Sites. FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

Use of Personal Information

FNF uses Personal Information for three main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To communicate with you about our, our affiliates’, and others’ products and services, jointly or independently.

When Information Is Disclosed

We may disclose your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;

- to nonaffiliated third party service providers with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law. We may share your Personal Information with affiliates (other companies owned by FNF) to directly market to you. Please see "Choices with Your Information" to learn how to restrict that sharing.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

Security of Your Information

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

Choices With Your Information

If you do not want FNF to share your information among our affiliates to directly market to you, you may send an "opt out" request by email, phone, or physical mail as directed at the end of this Privacy Notice. We do not share your Personal Information with nonaffiliates for their use to direct market to you without your consent.

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

For California Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the "California Privacy" link on our website (<https://fnf.com/pages/californiaprivacy.aspx>) or call (888) 413-1748.

For Nevada Residents: You may be placed on our internal Do Not Call List by calling (888) 934-3354 or by contacting us via the information set forth at the end of this Privacy Notice. Nevada law requires that we also provide you with the following contact information: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: BCPINFO@ag.state.nv.us.

For Oregon Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes.

For Vermont Residents: We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

Information From Children

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do not collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

International Users

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

FNF Website Services for Mortgage Loans

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

Your Consent To This Privacy Notice; Notice Changes; Use of Comments or Feedback

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice. We may use comments or feedback that you submit to us in any manner without notice or compensation to you.

Accessing and Correcting Information; Contact Us

If you have questions, would like to correct your Personal Information, or want to opt-out of information sharing for affiliate marketing, send your requests to privacy@fnf.com, by phone to (888) 934-3354, or by mail to:

Fidelity National Financial, Inc.
601 Riverside Avenue
Jacksonville, Florida 32204
Attn: Chief Privacy Officer

APPLICANT'S CERTIFICATION CONCERNING QUALIFYING SURFACE DEVELOPMENT,
PURSUANT TO C.R.S. §24-65.5-103.3 (1)(b)

I/We, RK HENDERSON LLC
_____, (the "Applicant") by signing below, hereby declare and certify as follows:

Concerning the property located at:

Physical Address: 8213 E 96TH AVE
Legal Description: GARDNER DENVER SUBD FLG NO 3 LOT 1
Parcel #(s): 0172116401004

With respect to qualifying surface developments, that (PLEASE CHECK ONE):

No mineral estate owner has entered an appearance or filed an objection to the proposed application for development within thirty days after the initial public hearing on the application; or

The Applicant and any mineral estate owners who have filed an objection to the proposed application for development or have otherwise filed an entry of appearance in the initial public hearing regarding such application no later than thirty days following the initial public hearing on the application have executed a surface use agreement related to the property included in the application for development, the provisions of which have been incorporated into the application for development or are evidenced by a memorandum or otherwise recorded in the records of the clerk and recorder of the county in which the property is located so as to provide notice to transferees of the Applicant, who shall be bound by such surface use agreements; or

The application for development provides:

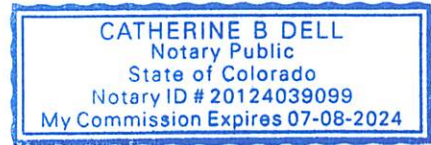
- (i) Access to mineral operations, surface facilities, flowlines, and pipelines in support of such operations existing when the final public hearing on the application for development is held by means of public roads sufficient to withstand trucks and drilling equipment or thirty-foot-wide access easements;
- (ii) An oil and gas operations area and existing well site locations in accordance with section 24-65.5-103.5 of the Colorado Revised Statutes; and
- (iii) That the deposit for incremental drilling costs described in section 24-65.5-103.7 of the Colorado Revised Statutes has been made.

Date: 11/11/20 Applicant: RK Henderson, LLC

After Recording Return To:

By: [Signature]
Print Name: Tom Kinnias
Address: 3800 KANTANA ST.
DENVER, CO 80238

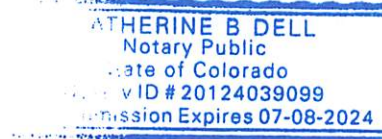
STATE OF COLORADO)
)
COUNTY OF ADAMS)



Subscribed and sworn to before me this 11 day of November, 2020, by
Jon L. Kenning.

Witness my hand and official seal.

My Commission expires: 7-8-2024 Catherine B Dell
Notary Public



Name and Address of Person Preparing Legal Description:

A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department within thirty days after the initial public hearing on all applicable land use applications.

CERTIFICATION OF NOTICE TO MINERAL ESTATE OWNERS

I/We, RK HENDERSON LLC
(the "Applicant") by signing below, hereby declare and certify as follows:

With respect to the property located at:

Physical Address: 8213 E 96TH AVE

Legal Description: GARDNER DENVER SUBD FLG NO 3 LOT 1

Parcel #(s): 0172116401004

(PLEASE CHECK ONE):

 On the day of , 20 , which is not less than thirty days before the initial public hearing, notice of application for surface development was provided to mineral estate owners pursuant to section 24-65.5-103 of the Colorado Revised Statutes;

or

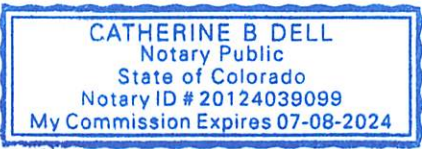
 x I/We have searched the records of the Adams County Tax Assessor and the Adams County Clerk and Recorder for the above identified parcel and have found that no mineral estate owner is identified therein.

Date: 11/11/20 Applicant: RK Henderson, LLC.

By: [Signature]
Print Name: Jon L. Kinning

Address: 3800 XANTHUS ST.
DENVER, CO 80238

STATE OF COLORADO)
)
COUNTY OF ADAMS)



Subscribed and sworn to before me this 11 day of November, 2020, by Jon L. Kinning.

Witness my hand and official seal.

My Commission expires: 7-8-2024

Catherine B Dell
Notary Public

After Recording Return To:

Name and Address of Person Preparing Legal Description:

A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department with all applicable land use applications.

GARDNER DENVER FILING NO. 3 - PLAT CORRECTION NO. 1

A REPLAT OF LOT 1, GARDNER DENVER FILING NO. 3
SITUATED IN THE S 1/2 OF SECTION 16, T.2S., R.67W. OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 2

CASE NO.: _____

OWNERSHIP & DEDICATION CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS THAT RK HENDERSON LLC, A COLORADO LIMITED LIABILITY COMPANY WARRANT THEY ARE OWNERS OF A PARCEL BEING LOT 1, GARDNER DENVER FILING NO. 3, SITUATED IN THE S 1/2 OF SECTION 16, T.2S., R.67W. OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 1, GARDNER DENVER FILING NO. 3; THENCE AROUND THE PERIMETER OF SAID LOT 1 THE FOLLOW FIVE (5) COURSES;

1. THENCE N30°43'55"E A DISTANCE OF 395.06 FEET;
2. THENCE N80°41'14"E A DISTANCE OF 261.37 FEET;
3. THENCE S59°19'22"E A DISTANCE OF 593.91 FEET TO A POINT ON THE NORTHWESTERLY R.O.W. LINE OF THE UNION PACIFIC RAILROAD;
4. THENCE S30°43'55"W ALONG SAID NORTHWESTERLY LINE, A DISTANCE OF 85.45 FEET TO A POINT ON THE NORTH R.O.W. LINE OF EAST 96TH AVENUE;
5. THENCE S89°39'55"W ALONG SAID NORTH LINE, A DISTANCE OF 926.96 FEET TO THE **POINT OF BEGINNING**.

CONTAINS (240,643 SQUARE FEET) 5.5244 ACRES, MORE OR LESS.

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, STREETS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF **GARDNER DENVER FILING NO. 3 - PLAT CORRECTION NO. 1**, AND HEREBY DEDICATES, AS INDICATED HEREIN, THE REAL PROPERTY AND/OR EASEMENTS SHOWN HEREON AND/OR DESCRIBED HEREIN AND NOT PREVIOUSLY DEDICATED.

OWNER:

RK HENDERSON LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____
JON KINNING, MEMBER

NOTARIAL:

STATE OF _____)
COUNTY OF _____) §

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ A.D., BY JON KINNING.

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC

MY COMMISSION EXPIRES

LIENHOLDER CERTIFICATE:

THE UNDERSIGNED AS MORTGAGE HOLDER ON PART OR ALL OF THE HEREON SHOWN REAL PROPERTY, DO HEREBY AGREE AND CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON.

UMB BANK, N.A.

BY: _____
SIGNATURE

PRINT NAME & TITLE

NOTARIAL:

STATE OF _____)
COUNTY OF _____) §

THE FOREGOING LIENHOLDER CERTIFICATE WAS SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 20____ A.D., BY _____.

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC

MY COMMISSION EXPIRES

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY I WAS IN RESPONSIBLE CHARGE OF THE SURVEY WORK USED IN THE PREPARATION OF THIS PLAT; THE POSITIONS OF THE PLATTED POINTS SHOWN HEREON HAVE AN ACCURACY OF NOT LESS THAN ONE (1) FOOT IN TEN THOUSAND (10,000) FEET PRIOR TO ADJUSTMENTS; AND ALL BOUNDARY MONUMENTS AND CONTROL CORNERS SHOWN HEREON WERE IN PLACE AS DESCRIBED ON JULY 9, 2020.

CHARLES N. BECKSTROM
PROFESSIONAL L.S. NO. 33202
FOR AND ON BEHALF OF
ENGINEERING SERVICE COMPANY



GENERAL NOTES:

1. THIS PLAT WAS BASED ON TITLE COMMITMENT NUMBER 100-N0027869-030-ME1 PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, WITH A COMMITMENT DATE OF JUNE 3, 2020, AND DOES NOT CONSTITUTE A TITLE SEARCH BY THIS SURVEYOR FOR OTHER EASEMENTS AND/OR EXCEPTIONS OF RECORD.
2. BEARINGS ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN BEARING N89°39'55"E BASED NAD 83 STATE PLANE COORDINATES, COLORADO CENTRAL ZONE AND BOUNDED BY THE MONUMENTS SHOWN HEREON. ALL BEARINGS ROTATED CLOCKWISE 00°13'05" WILL REACH RECORD BEARINGS.
3. DISTANCES ON THIS SURVEY ARE EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
4. REFER TO THE OPERATION AND MAINTENANCE MANUAL RECORDED _____ AT RECEPTION NO. _____ FOR ADDITIONAL DRAINAGE GUIDELINES.
5. BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08001C0607H WITH AN EFFECTIVE DATE OF MARCH 5, 2007. NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.
6. ACCESS TO LOT 1 WILL BE LIMITED TO THE ACCESS EASEMENTS AS SHOWN ON THIS PLAT. NO DIRECT ACCESS FROM LOT 1 TO EAST 96TH AVENUE.

NOTICE:

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

ANY PERSON WHO KNOWINGLY REMOVES, ALTERS, OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT, LAND BOUNDARY MONUMENT, OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR, PURSUANT TO STATE STATUTE 18-4-508 OF THE COLORADO REVISED STATUTES.

COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT APPROVAL:

APPROVED BY THE ADAMS COUNTY COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT THIS _____ DAY OF _____, 20____ A.D..

DEVELOPMENT SERVICES MANAGER

DATE

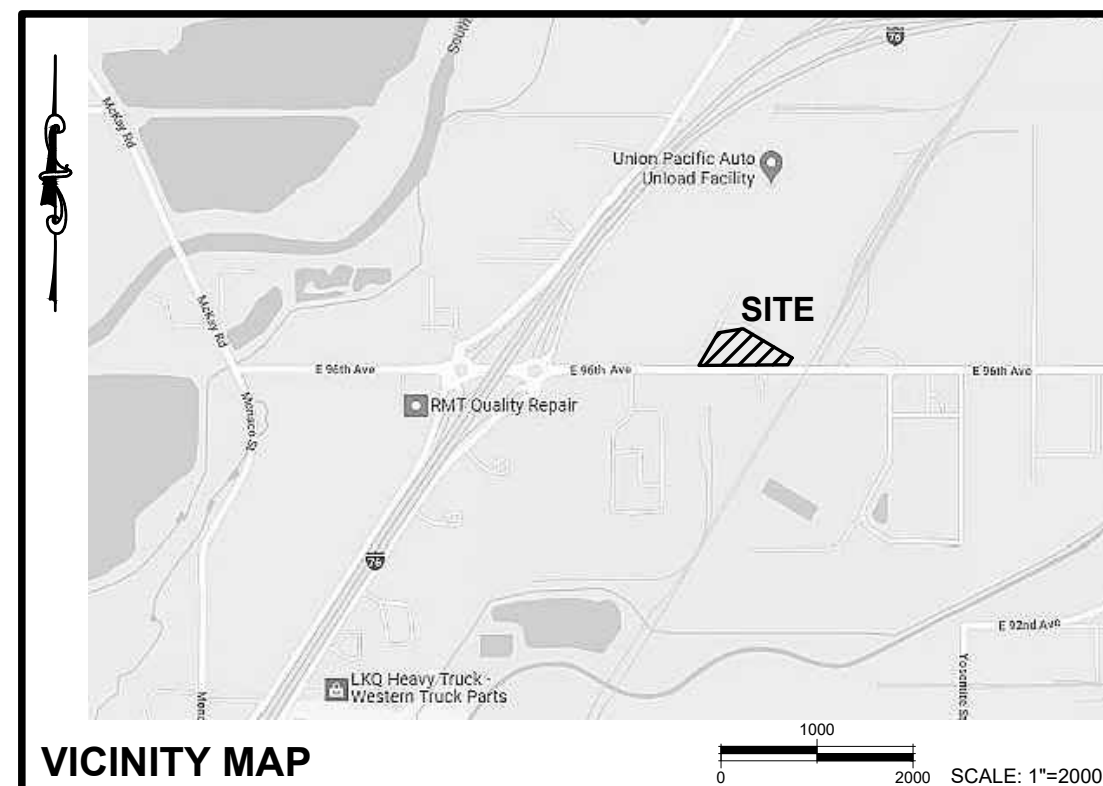
ADAMS COUNTY CLERK AND RECORDER'S CERTIFICATE:

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO, AT _____ O'CLOCK _____ M. ON THE _____ DAY OF _____, 20____ AD.

COUNTY CLERK AND RECORDER

BY: _____
DEPUTY COUNTY CLERK AND RECORDER

RECEPTION NO.: _____



VICINITY MAP

	ESC ENGINEERING SERVICE COMPANY	14190 East Evans Avenue Aurora, Colorado 80014	Survey No.: 20-126-P
	Creative Solutions Since 1954 CIVIL ENGINEERS LAND SURVEYORS engineeringserviceco.com	P 303.337.1393 F 303.337.7481 T/F 1.877.273.0659	Project No.: 1435.1
			Date: 07/24/2020
			Field Book No.: Revised:

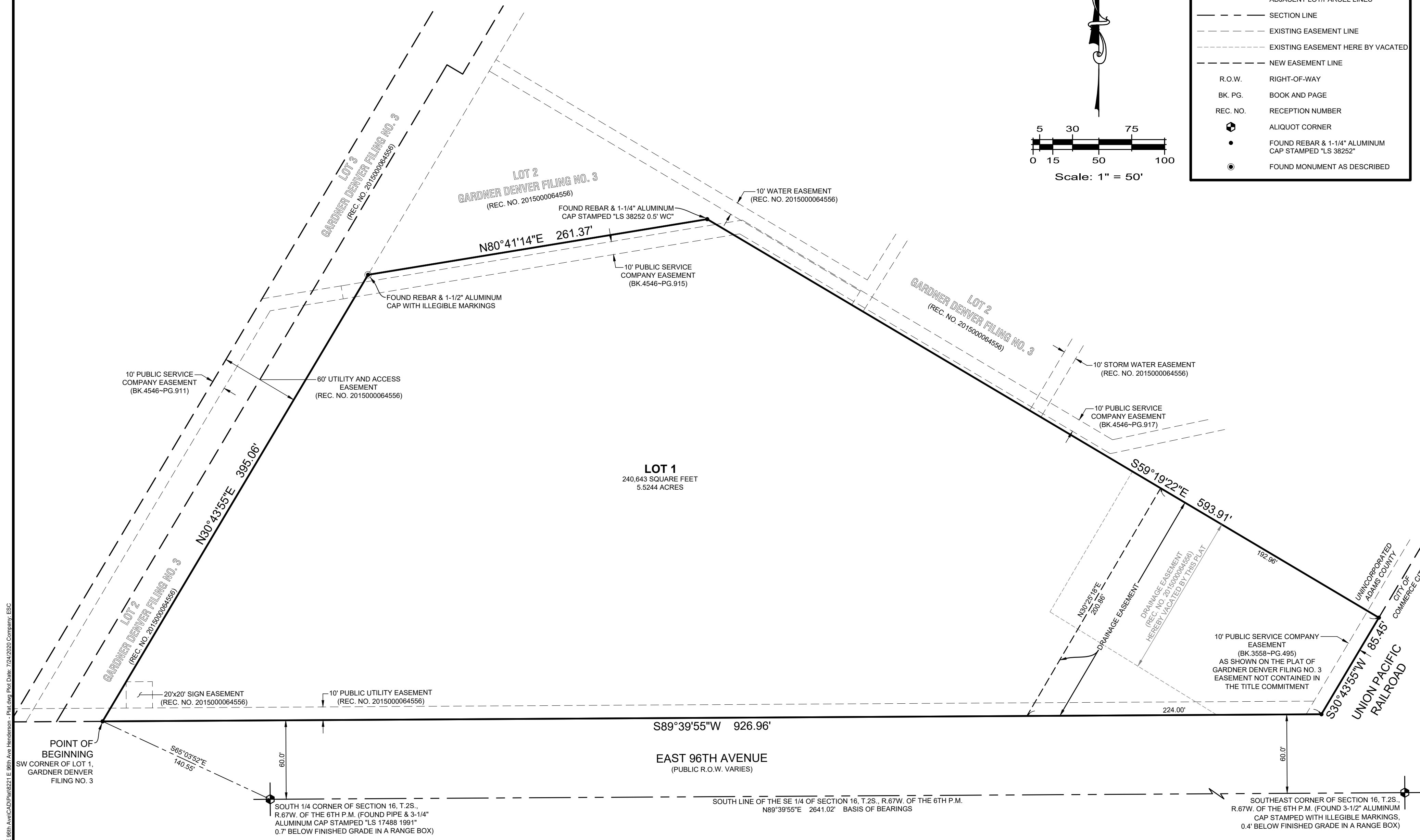
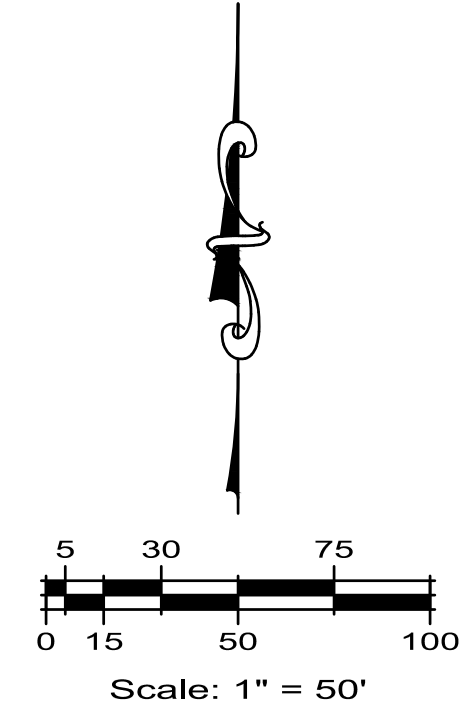
GARDNER DENVER FILING NO. 3 - PLAT CORRECTION NO. 1

A REPLAT OF LOT 1, GARDNER DENVER FILING NO. 3
 SITUATED IN THE S 1/2 OF SECTION 16, T.2S., R.67W. OF THE 6TH P.M.
 COUNTY OF ADAMS, STATE OF COLORADO
 SHEET 2 OF 2

CASE NO.: _____

LEGEND

- PLAT BOUNDARY LINE
- - - ADJACENT LOT/PARCEL LINES
- - - SECTION LINE
- - - EXISTING EASEMENT LINE
- - - EXISTING EASEMENT HERE BY VACATED
- - - NEW EASEMENT LINE
- R.O.W. RIGHT-OF-WAY
- BK. PG. BOOK AND PAGE
- REC. NO. RECEPTION NUMBER
- ⊕ ALIQUOT CORNER
- FOUND REBAR & 1-1/4" ALUMINUM CAP STAMPED "LS 38252"
- ⊙ FOUND MONUMENT AS DESCRIBED



File Name: N:\Projects\BKR Steel\Adams CO - 8221 E 96th Ave\CAD\Plat\8221 E 96th Ave Henderson - Plat.dwg Plot Date: 7/24/2020 Company: ESC

<p>ESC ENGINEERING SERVICE COMPANY <i>Creative Solutions Since 1954</i> <small>CIVIL ENGINEERS LAND SURVEYORS</small> engineeringsserviceco.com</p>	14190 East Evans Avenue Aurora, Colorado 80014	Survey No.: 20-126-P
	P 303.337.1393	Project No.: 1435.1
	F 303.337.7481	Date: 07/24/2020
	T/F 1.877.273.0659	Field Book No.:
		Revised:



COLORADO LAND SURVEY MONUMENT RECORD

Department of Regulatory Agencies
 Board of Registration for Professional Engineers and Professional Land Surveyors
 1560 Broadway, Suite 1370, Denver, CO 80202
 Phone (303) 894-7788 • Fax (303) 894-7790 • TDD (303) 894-2900x833

RECEIVED
 MAR 20 2002

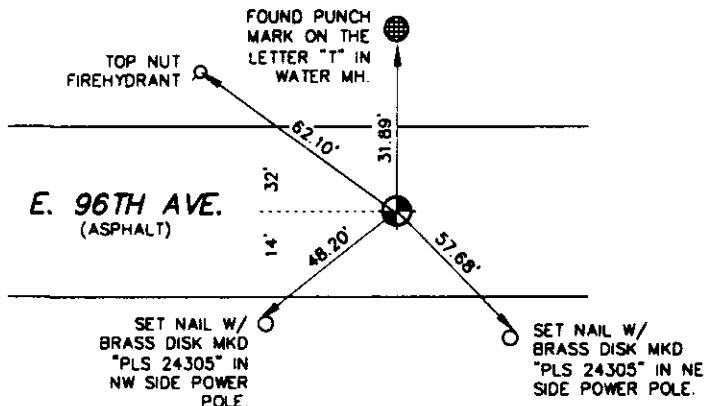
REPORT ONE MONUMENT ONLY ON THIS FORM - REPRODUCTION OF THIS FORM IS UNAUTHORIZED. OF REG. FOR PE AND PLS

1. TYPE OF MONUMENT: SECTION CORNER QUARTER CORNER BENCH MARK OTHER _____

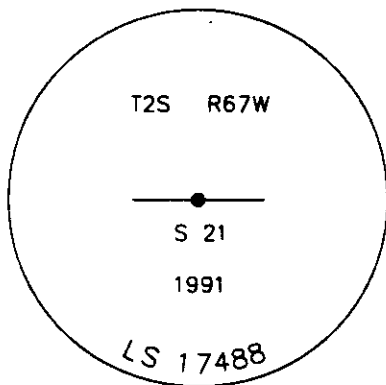
2. DESCRIPTION OF MONUMENT FOUND:
 FOUND 2-3/8" IRON PIPE W/ 3-1/4" ALUM. CAP MARKED "PLS 17488 1991" IN MONUMENT BOX.

3. DESCRIPTION OF MONUMENT ESTABLISHED BY YOU TO PERPETUATE THE LOCATION OF THIS POINT:
 NONE. ESTABLISH ACCESSORIES AS SHOWN.

4. SKETCH SHOWING RELATIVE LOCATION OF MONUMENT, ACCESSORIES AND REFERENCE POINTS STATING WHETHER FOUND OR SET, SHOW SUPPORTING AND/OR CONTRADICTIONARY EVIDENCE WHERE APPLICABLE:



SCALE
 N.T.S.



Stamping on Cap

a. Date of Field Work to Establish, Restore or Rehabilitate Monument: _____
 b. Date Monument was Used as Control: 03-07-02
 (Do not fill in)

ACCEPTED
APR 15 2002
 COLO. ST. BD. OF REG.
 FOR PE AND PLS

RECEIVED AT OFFICE OF THE COUNTY CLERK
 _____ COUNTY

BY: _____
 DATE: _____

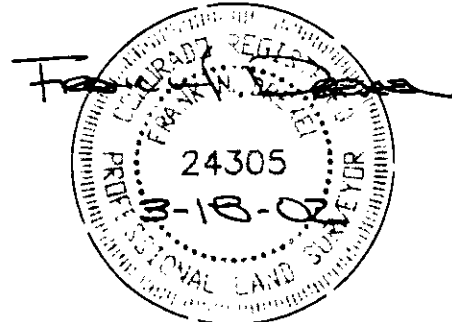
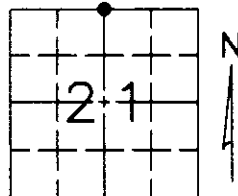
Record to be filed by Index Reference Number
 Numerically, then Alphabetically, under
 appropriate Township, Range, and Meridian

5. CERTIFICATION

This is to certify that I was in responsible charge of the surveying work described in this record and that to the best of my knowledge the information presented herein is true and correct.

Name (Please Print): FRANK N. DREXEL
 Firm Name: ALBERS, DREXEL & POHLY, INC.
 Firm Address: 1860 INDUSTRIAL CIR, STE D, LONGMONT, CO 80501
 Phone: (303) 682-1131

6. LOCATION DIAGRAM
 1" = 1 Mile



● = Location of Monument Signature/Date through Seal

7. SEC 21 T 2 S R 67 W 6TH P.M.
 COUNTY ADAMS INDEX REF NUMBER 11-N

**8. SEC _____ T _____ R _____ P.M.
 COUNTY _____ INDEX REF NUMBER _____

** To be used only for monuments located on county lines

COLORADO LAND SURVEY MONUMENT RECORD

Department of Regulatory Agencies
 Board of Licensure for Professional Engineers and Professional Land Surveyors
 1560 Broadway, Suite 1350, Denver, CO 80202
 Phone (303) 894-7788 & Fax (303) 894-7790 & TTY Dial 711 for Relay Colorado

10510271V2
 MAY 21 2008
 COLO. ST. BD. OF LIC.
 FOR AES

REPORT ONE MONUMENT ONLY ON THIS FORM - REPRODUCTION OF THIS FORM IS AUTHORIZED
 All items to be filled in by the Land Surveyor using PERMANENT BLACK LETTERING and lines which can be reproduced

1. TYPE OF MONUMENT: SECTION CORNER QUARTER CORNER BENCH MARK SIXTEENTH CORNER
 2. DESCRIPTION AND DATE OF MONUMENT FOUND: --- 1/9/2008

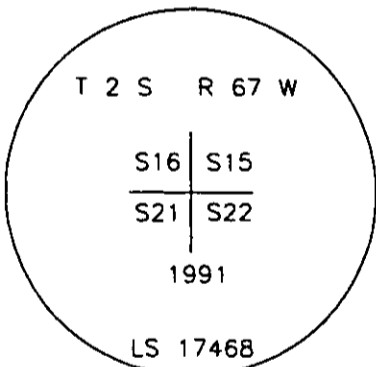
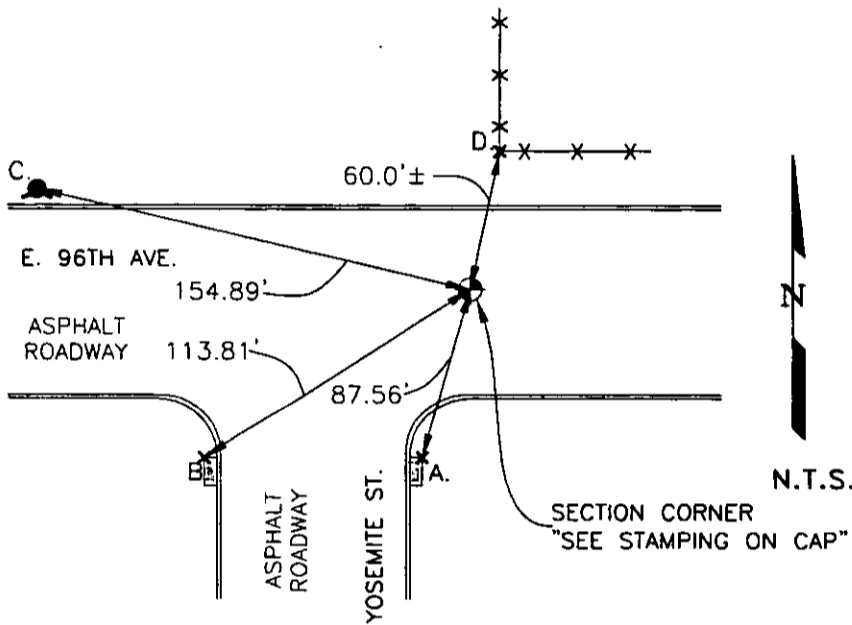
FOUND 3-1/2" DIAMETER ALUMINUM CAP IN A RANGE BOX, 0.5' BELOW ROADWAY SURFACE, STAMPED AS SHOWN BELOW.

3. DESCRIPTION OF MONUMENT ESTABLISHED BY YOU TO PERPETUATE THE LOCATION OF THIS POINT:
 ACCESSORY TIES AS SHOWN ON MONUMENT RECORD ACCEPTED MARCH 31, 1997 WERE NOT FOUND.

FOUR (4) NEW ACCESSORY TIES WERE RE-ESTABLISHED, AS SHOWN BELOW.

4. SKETCH SHOWING RELATIVE LOCATION OF MONUMENT, ACCESSORIES AND REFERENCE POINTS STATING WHETHER FOUND OR SET, SHOW SUPPORTING AND/OR CONTRADICTORY EVIDENCE WHERE APPLICABLE:

- A. CUT "+" NORTHEAST CORNER CONCRETE STORM INLET.
 B. CUT "+" NORTHWEST CORNER CONCRETE STORM INLET.
 C. TOP NUT ON FIRE HYDRANT.
 D. CORNER FENCE POST OF 6' CHAIN LINK W/ BARBED WIRE



Stamping on Cap

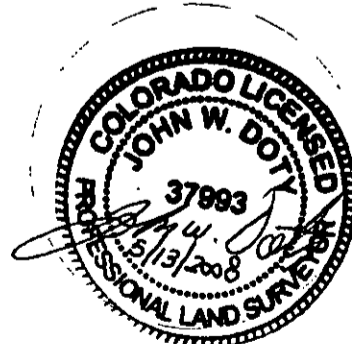
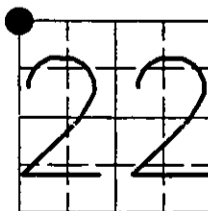
5. CERTIFICATION

This is to certify that I was in responsible charge of the surveying work described in this record and that to the best of my knowledge the information presented herein is true and correct.

Name (Please Print): JOHN W. DOTY
 Firm Name: V3 COMPANIES OF COLORADO, LTD.
 Firm Address: 2399 BLAKE ST., SUITE 130
DENVER, CO. 80205
 Phone: 303-989-8588
JDOTY@V3CO.COM

6. LOCATION DIAGRAM

1" = 1 Mile



● = Location of Monument Signature/Date through Seal

7. SEC 22 T 2 S R 67 W 6th P.M.
 COUNTY ADAMS INDEX REF NUMBER 13-N

**8. SEC _____ T _____ R _____ P.M.
 COUNTY _____ INDEX REF NUMBER _____

** To be used only for monuments located on county lines

PROJ. NO. D08003 YOSEMITE ST. AND E. 96TH

(Surveyor, do not fill in)

ACCEPTED
 JUN 25 2008
 COLO. ST. BD. OF LIC.
 FOR AES

RECEIVED AT OFFICE OF THE COUNTY CLERK
 _____ COUNTY

BY: _____
 DATE: _____

Record to be filed numerically by Index Reference Number, then alphabetically by letter in the index reference number, then under appropriate Township, Range, and Meridian.

Map Check Report

Date: 7/24/2020 10:01:00 AM

Parcel Name: Plat Boundary

Description: Gardner Denver Filing No. 3 – Plat Correction No. 1

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North:1,196,720.44' East:3,170,896.44'

Segment# 1: Line

Course: N30°43'55"E Length: 395.06'

North: 1,197,060.02' East: 3,171,098.33'

Segment# 2: Line

Course: N80°41'14"E Length: 261.37'

North: 1,197,102.32' East: 3,171,356.25'

Segment# 3: Line

Course: S59°19'22"E Length: 593.91'

North: 1,196,799.30' East: 3,171,867.05'

Segment# 4: Line

Course: S30°43'55"W Length: 85.45'

North: 1,196,725.85' East: 3,171,823.38'

Segment# 5: Line

Course: S89°39'55"W Length: 926.96'

North: 1,196,720.44' East: 3,170,896.44'

Perimeter: 2,262.75' Area: 240,643Sq.Ft.

Error Closure: 0.01 Course: S70°35'46"W

Error North : -0.002 East: -0.006

Precision 1: 226,275.00

Fidelity National Title



NATIONAL COMMERCIAL SERVICES

1401 17th St, #480
Denver, CO 80202
Phone: (303) 942-2200

DATE: **June 12, 2020**
FILE NUMBER: **100-N0027869-030-ME1**
PROPERTY ADDRESS: **8213 East 96th Avenue, Henderson, CO 80640**
BUYER/BORROWER:
OWNER(S): **RK Henderson LLC, a Colorado limited liability company**
YOUR REFERENCE NUMBER:
ASSESSOR PARCEL NUMBER: **0172116401004**

PLEASE TAKE NOTE OF THE FOLLOWING REVISED TERMS CONTAINED HEREIN:

None.

WIRED FUNDS ARE REQUIRED ON ALL CASH PURCHASE TRANSACTIONS. FOR WIRING INSTRUCTIONS, PLEASE CONTACT YOUR ESCROW OFFICE AS NOTED ON THE TRANSMITTAL PAGE OF THIS COMMITMENT.

TO: Escrow Officer

ATTN: Mej Ellsworth
PHONE: (303) 942-2204
FAX: (303) 474-7397
E-MAIL: mej.ellsworth@fnf.com

E-MAIL:

END OF TRANSMITTAL



COMMITMENT FOR TITLE INSURANCE

Issued by

Fidelity National Title Insurance Company

NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRA CONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY’S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, **Fidelity National Title Insurance Company**, a Florida Corporation (the “Company”), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I—Requirements have not been met within 6 Months after the Commitment Date, this Commitment terminates and the Company’s liability and obligation end.

Countersigned

By: 
Darren Hone
Authorized Signature

Fidelity National Title Insurance Company

By: 

ATTEST

President



Secretary

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.



COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements;
- (f) Schedule B, Part II—Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - (i) comply with the Schedule B, Part I—Requirements;
 - (ii) eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
 - (iii) acquire the Title or create the Mortgage covered by this Commitment.

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- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

6. **LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT**

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. **IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT**

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. **PRO-FORMA POLICY**

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. **ARBITRATION**

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

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Transaction Identification Data for reference only:

Issuing Agent: Fidelity National Title, National Commercial Services
Issuing Office: 1401 17th St., Suite 480, Denver, CO 80202
Loan ID Number:
Issuing Office File Number: 100-N0027869-030-ME1
Property Address: 8213 East 96th Avenue, Henderson, CO 80640
Revision Number:

SCHEDULE A

AMERICAN LAND TITLE ASSOCIATION COMMITMENT

1. Commitment Date: **June 3, 2020**
2. Policy to be issued:
 - (a) ALTA Owners Policy 6-17-06
Proposed Insured: **Purchaser with contractual rights under a purchase agreement with the vested Owner at Item 4 below**
Proposed Policy Amount: **\$1,000.00**
 - (b) None
Proposed Insured:
Proposed Policy Amount: **\$0.00**
 - (c) None
Proposed Insured:
Proposed Policy Amount: **\$0.00**
3. The estate or interest in the Land described or referred to in this Commitment is:
Fee simple
4. The Title is, at the Commitment Date, [vested in](#):
RK Henderson LLC, a Colorado limited liability company
5. The Land is described as follows:
See Exhibit A attached hereto and made a part hereof.

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SCHEDULE A
(Continued)

PREMIUMS:

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27C165 Commitment for Title Insurance (Adopted 6-17-06 Revised 08-01-2016)

Page 2

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EXHIBIT A
LEGAL DESCRIPTION

Lot 1,
Gardner Denver Filing No. 3,
County of Adams,
State of Colorado

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27C165 Commitment for Title Insurance (Adopted 6-17-06 Revised 08-01-2016)

Page 3

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SCHEDULE B

PART I – REQUIREMENTS

All of the following Requirements must be met:

- a. Pay the agreed amounts for the interest in the land and/or for the mortgage to be insured.
- b. Pay us the premiums, fees and charges for the policy.
- c. Obtain a certificate of taxes due from the county treasurer or the county treasurer's authorized agent.

Note: Any documents being executed in conjunction with this transaction must be signed in the presence of an authorized Company employee, an authorized employee of an agent, an authorized employee of the insured lender, or by using Bancserv or other approved third-party service. If the above requirement cannot be met, please call the Company at the number provided in this report.

- d. Deed sufficient to convey the fee simple estate or interest in the Land described or referred to herein, to the Proposed Insured Purchaser.
- e. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance from the entity named below:

Limited Liability Company: RK Henderson LLC, a Colorado limited liability company

- a) A copy of its operating agreement, if any, and any and all amendments, supplements and/or modifications thereto, certified by the appropriate manager or member
- b) A current dated certificate of good standing from the proper governmental authority of the state in which the entity was created
- c) Recordation of Statement of Authority for RK Henderson LLC, a Colorado limited liability company pursuant to Colorado Revised Statutes evidencing the existence of the entity and authority of the person(s) authorized to execute and deliver instruments affecting title to real property on behalf of the entity and containing other information required by Colorado Revised Statutes.
- f. The Company will require that an Owner's Affidavit be completed by the party(s) named below before the issuance of any policy of title insurance.

Party(s): RK Henderson LLC, a Colorado limited liability company

The Company reserves the right to add additional items or make further requirements after review of the requested Affidavit.

- g. For each policy to be issued as identified in Schedule A, Item 2; the Company shall not be liable under this commitment until it receives a designation for a Proposed Insured, acceptable to the Company. The Company may amend this commitment to add, among other things, additional exceptions or requirements after the designation of the Proposed Insured.
- h. The Company will require a survey of the subject Land, which is in compliance with minimum technical standards, prepared by a duly registered and licensed surveyor. If the owner of the Land the subject of

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SCHEDULE B
PART I – Requirements
(Continued)

this transaction is in possession of a survey, the Company will require that said survey be submitted for review and approval; otherwise, a new survey, satisfactory to the Company, must be submitted to the Company for examination. In order to prevent delays, please furnish the survey at least 10 days prior to the close of this transaction.

If an existing survey is to be relied upon, an affidavit from the seller(s)/mortgagor(s) must be furnished to the Company stating that no improvements have been made on the Land the subject of this transaction or adjacent thereto subsequent to the survey presented to the Company.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

Note: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.

END OF REQUIREMENTS

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SCHEDULE B PART II – EXCEPTIONS

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any facts, rights, interests or claims that are not shown by the Public Records but which could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
3. Any encroachments, encumbrances, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by Public Records.
4. Any lien or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the Public Records or attaching subsequent to the effective date hereof but prior to the date the proposed Insured acquires of record for the value the estate or interest or mortgage thereon covered by this Commitment.

NOTE: The above exception will not appear on policies where closing and settlement has been performed by the Company.

6. All taxes and assessments, now or heretofore assessed, due or payable.

NOTE: This tax exception will be amended at policy upon satisfaction and evidence of payment of taxes.

7. Any existing leases or tenancies, and any and all parties claiming by, through or under said lessees.
8. Terms, conditions, provisions, agreements and obligations contained in the Zoning Resolution as set forth below:

Recording Date: August 21, 1957
Recording No.: [Book 670, Page 518](#)

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SCHEDULE B
PART II – Exceptions
(Continued)

9. Any tax, lien, fee or assessment by reason of inclusion of subject property in the South Adams County Water and Sanitation District, as evidenced by instrument
- Recording Date: September 22, 1970
Recording No.: [Book 1630, Page 267](#)
10. Reservation of all irrigation water and ditch rights, and easement 8 feet in width along the Northerly line of property as reserved in Deed
- Recording Date: August 19, 1957
Recording No.: [Book 670, Page 336](#)
11. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
- Granted to: Public Service Company of Colorado
Purpose: Utilities
Recording Date: July 13, 1995
Recording No.: [Book 4546, Page 915](#) and Book [4546 at Page 911](#)
12. Terms, conditions, provisions, agreements and obligations contained in the Resolution No. 2015-332 as set forth below:
- Recording Date: July 29, 2015
Recording No.: [Reception No. 2015000061774](#)
13. Easements, notes, covenants, restrictions and rights-of-way as shown on the plat of Gardner Denver Filing No. 3,
- Recording Date: August 06, 2015
Recording No.: [Reception No. 2015000064556](#)
14. Terms, conditions, provisions, agreements and obligations contained in the Subdivision Improvement Agreement in Resolution 2015-333 as set forth below:
- Recording Date: August 13, 2015
Recording No.: [Reception No. 2015000067233](#)
15. Deed of Trust:
- Amount: \$4,194,934.55
Trustor/Grantor: RK Henderson LLC, a Colorado limited liability company
Trustee: Public Trustee of Adams County
Beneficiary: UMB Bank, n.a.,
Loan No. None shown
Recording Date: March 20, 2018

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SCHEDULE B
PART II – Exceptions
(Continued)

Recording No: [Reception No. 2018000022648](#)

Assignment of Leases and Rents

Recording Date: March 20, 2018

Recording No: [Reception No. 2018000022649](#)

END OF EXCEPTIONS

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27C165 Commitment for Title Insurance (Adopted 6-17-06 Revised 08-01-2016)

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Wire Fraud Alert

This Notice is not intended to provide legal or professional advice. If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. **If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.**

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- **ALWAYS VERIFY** wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. DO NOT use the phone number provided in the email containing the instructions, use phone numbers you have called before or can otherwise verify. **Obtain the phone number of relevant parties to the transaction as soon as an escrow account is opened.** DO NOT send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do NOT reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

Federal Bureau of Investigation:
<http://www.fbi.gov>

Internet Crime Complaint Center:
<http://www.ic3.gov>

FIDELITY NATIONAL FINANCIAL, INC. PRIVACY NOTICE

Effective April 9, 2020

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, “FNF,” “our,” or “we”) respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary’s website and this Privacy Notice does not apply.

Collection of Personal Information

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver’s license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information); and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- information we receive from you or your agent;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

Collection of Browsing Information

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an “FNF Website”) from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

Other Online Specifics

Cookies. When you visit an FNF Website, a “cookie” may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer’s hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

Web Beacons. We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

Do Not Track. Currently our FNF Websites do not respond to “Do Not Track” features enabled through your browser.

Links to Other Sites. FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

Use of Personal Information

FNF uses Personal Information for three main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To communicate with you about our, our affiliates’, and others’ products and services, jointly or independently.

When Information Is Disclosed

We may disclose your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;

- to nonaffiliated third party service providers with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law. We may share your Personal Information with affiliates (other companies owned by FNF) to directly market to you. Please see "Choices with Your Information" to learn how to restrict that sharing.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

Security of Your Information

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

Choices With Your Information

If you do not want FNF to share your information among our affiliates to directly market to you, you may send an "opt out" request by email, phone, or physical mail as directed at the end of this Privacy Notice. We do not share your Personal Information with nonaffiliates for their use to direct market to you without your consent.

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

For California Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the "California Privacy" link on our website (<https://fnf.com/pages/californiaprivacy.aspx>) or call (888) 413-1748.

For Nevada Residents: You may be placed on our internal Do Not Call List by calling (888) 934-3354 or by contacting us via the information set forth at the end of this Privacy Notice. Nevada law requires that we also provide you with the following contact information: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: BCPINFO@ag.state.nv.us.

For Oregon Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes.

For Vermont Residents: We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

Information From Children

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do not collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

International Users

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

FNF Website Services for Mortgage Loans

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

Your Consent To This Privacy Notice; Notice Changes; Use of Comments or Feedback

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice. We may use comments or feedback that you submit to us in any manner without notice or compensation to you.

Accessing and Correcting Information; Contact Us

If you have questions, would like to correct your Personal Information, or want to opt-out of information sharing for affiliate marketing, send your requests to privacy@fnf.com, by phone to (888) 934-3354, or by mail to:

Fidelity National Financial, Inc.
601 Riverside Avenue
Jacksonville, Florida 32204
Attn: Chief Privacy Officer