



SUBDIVISION-MAJOR / PRELIMINARY

Application submittals must include all documents on this checklist as well as this page. Please use the reference guide (pg. 3) included in this packet for more information on each submittal item.

All applications shall be submitted electronically to epermitcenter@adcogov.org. If the submittal is too large to email as an attachment, the application may be sent as an unlocked OneDrive link. Alternatively, the application may be delivered on a flash drive to the One-Stop Customer Service Center. All documents should be combined in a single PDF. Once a complete application has been received, fees will be invoiced and payable online at <https://permits.adcogov.org/CitizenAccess/>.

- ☒ 1. Development Application Form (pg. 4)
- ☒ 2. Application Fees (pg. 2)
- ☒ 3. Written Explanation of the Project
- ☒ 4. Site Plan Showing Proposed Development
- ☒ 5. Copy of Plat prepared by Registered Land Surveyor (pg. 7)
- ☒ 6. School Impact Analysis (contact applicable District)
- ☒ 7. Fire Protection Report (contact applicable District)
- ☒ 8. Proof of Ownership (title policy dated within 30 days of submittal)
- ☒ 9. Proof of Water and Sewer Services
- ☒ 10. Proof of Utilities (e.g. electric, gas)
- ☒ 11. Legal Description
- ☒ 12. Statement of Taxes Paid
- ☒ 13. Certificate of Notice to Mineral Estate Owners/and Lessees (pg. 12)
- ☒ 14. Certificate of Surface Development (pg. 13)

Required Engineering Documents (see notes on next page)

- ☒ 1. Preliminary Drainage Report
- ☒ 2. Preliminary Traffic Impact Study
- ☒ 3. Preliminary Erosion and Sediment Control Plans
- ☒ 4. Preliminary Construction/ Engineering Design Plans

continued on next page...



DEVELOPMENT APPLICATION FORM

Application Type:

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input checked="" type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

PROJECT NAME:

APPLICANT

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

OWNER

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

DESCRIPTION OF SITE

Address: 7840 Pecos, 7996 Pecos and 8000 Pecos

City, State, Zip: Denver, CO 80221

Area (acres or square feet): 450,875 SF / 10.351 Ac

Tax Assessor
Parcel Number 7840 Pecos-017193310016; 7996 Pecos-0171933100009 and 8000 Pecos St-0171928400003

Existing
Zoning: PUD

Existing Land
Use: 7996 Pecos - Vacant PUD; 8000 Pecos - abandoned school; 7840 Pecos PUD

Proposed Land
Use: PUD with 47 Townhomes

Have you attended a Conceptual Review? YES ☒ NO ☐

If Yes, please list PRE#: 201900091

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name: W. Craig Fitchett

Date: 07/06/2021

Owner's Printed Name

Name: 

Owner's Signature



Narrative
Preliminary Major Subdivision

Delwest Development Corporation is proposing to amend their current Sherrelwood Village PUD-PDP to include approximately 47 new townhomes on 3.3 Acres of additional land adjacent and to the north of the single-family homes we are currently building.

7996 and 8000 Pecos St were purchased to offer a lower, more “workforce” focused priced housing solution for the community than a new traditional single-family home. Delwest has repurposed several Westminster Schools blighted properties. We will be demolishing a vacant, blighted building, the former Children’s Outreach Project, and building new attainable housing stock.

In order to plat the townhomes, we are proposing a subdivision that combines Lot 1:Block 4 from the plat correction of Sherrelwood Village Filing 1 with the properties of 7996 and 8000 Pecos St. This creates a 3.3 Ac parcel that include 47 lots, landscape tracts and right of way for Osage St and Sherrelwood Dr.

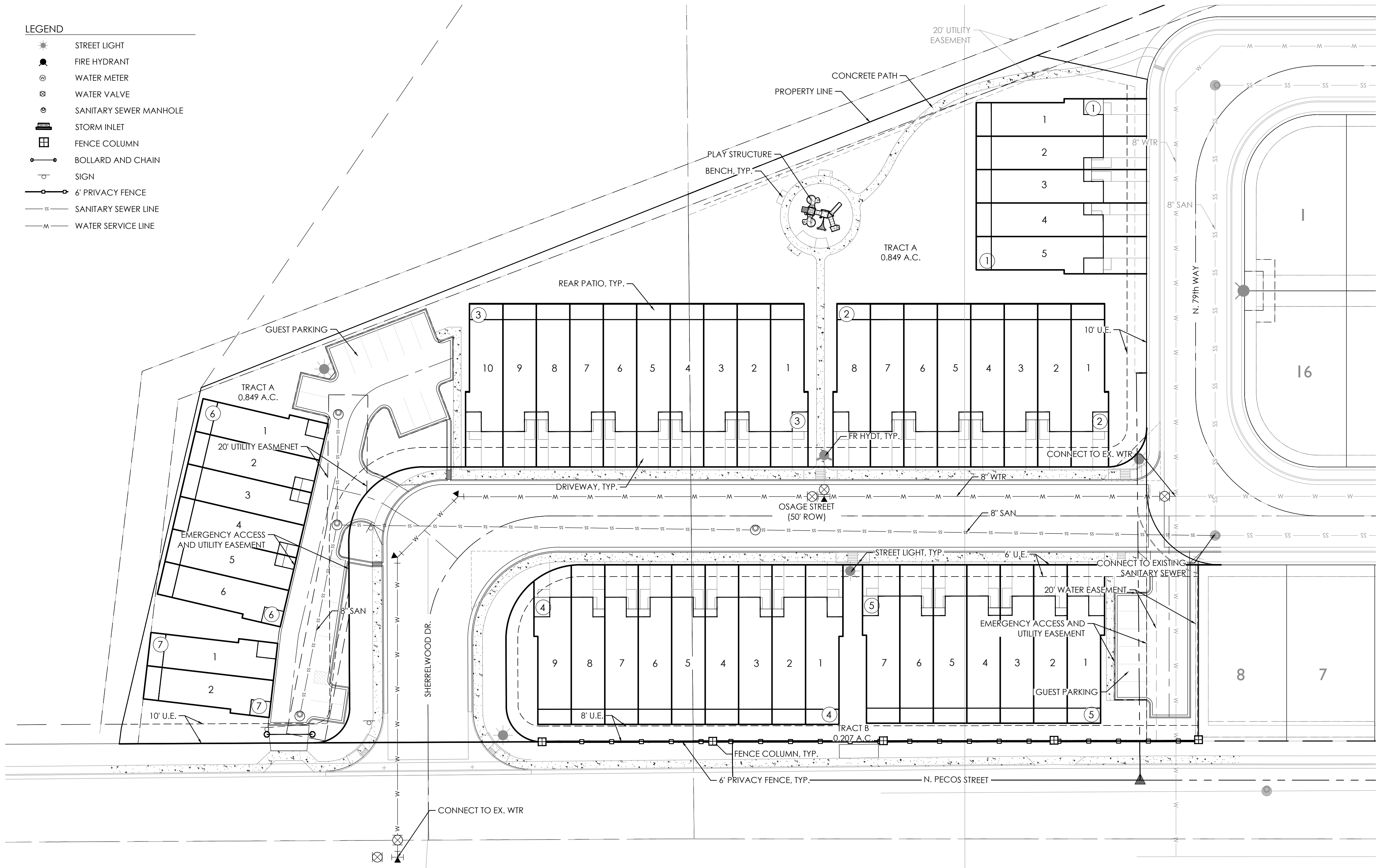
We at Delwest are excited to have the opportunity to enhance this neighborhood and bring market rate housing to the area. We look forward to working with the community and staff moving forward.

Sincerely,

W. Craig Fitchett

Director of Acquisitions & Business Development, Delwest

- LEGEND
- STREET LIGHT
 - FIRE HYDRANT
 - WATER METER
 - WATER VALVE
 - SANITARY SEWER MANHOLE
 - STORM INLET
 - FENCE COLUMN
 - BOLLARD AND CHAIN
 - SIGN
 - 6' PRIVACY FENCE
 - SANITARY SEWER LINE
 - WATER SERVICE LINE

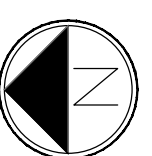


SITE PLAN

SHERRELWOOD VILLAGE - FILING NO. 2

ADAMS COUNTY, CO

JULY 7, 2021



Scale: 1"= 30'-0"

SHERRELWOOD VILLAGE FILING NO. 2

CASE NO. PRC2020-00010

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO SHEET 1

LEGAL DESCRIPTION AND DEDICATION STATEMENT

KNOW ALL PEOPLE BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNER OF A PARCEL OF LAND BEING TRACTS B & D, LOTS 1 THROUGH 4, BLOCK 1, AND A PORTION OF LOT 8, BLOCK 2, SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 TOGETHER WITH THAT PARCEL OF LAND, AS DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000073502 AND THAT PARCEL OF LAND, AS DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000075343, ALL IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 33, BOTH IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS AND THE POINT OF BEGINNING;
THENCE N 00°14'47" W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.01 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL OF LAND DESCRIBED IN BOOK 3254 AT PAGE 139;
THENCE S 82°41'00" E, ALONG SAID NORTH LINE, A DISTANCE OF 8.12 FEET TO THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924;
THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D, THE FOLLOWING TWO (2) COURSES:
1. S 76°46'56" E, A DISTANCE OF 178.56 FEET;
2. S 21°38'59" E, ALONG THE EAST LINES OF SAID PARCEL DESCRIBED IN BOOK 3254 AT PAGE 139 AND SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 459.50 FEET TO THE EAST CORNER OF LOT 4, BLOCK 1, SAID SHERRELWOOD VILLAGE PLAT;

THENCE S 12°19'21" W, ALONG THE SOUTHEAST LINE OF SAID LOT 4, A DISTANCE OF 57.53 FEET TO A POINT ON THE NORTH LINE OF WEST 79TH WAY RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT AND A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE NORTH LINE OF THE WEST 79TH WAY RIGHT-OF-WAY AND ALONG THE WEST LINE OF THE OSAGE STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT, THE FOLLOWING THREE (3) COURSES:
1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09°04'20" AND AN ARC LENGTH OF 6.02 FEET, THE CHORD OF WHICH BEARS N 85°25'57" W, A DISTANCE OF 6.01 FEET;
2. N 89°58'07" W, A DISTANCE OF 204.00 FEET TO A POINT OF CURVATURE;
3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC LENGTH OF 59.69 FEET;

THENCE N 00°01'53" E, A DISTANCE OF 11.47 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT B;
THENCE ALONG THE SOUTH AND WEST LINES OF SAID TRACT B THE FOLLOWING TWO (2) COURSES:
1. N 89°58'07" W, A DISTANCE OF 90.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;
2. N 00°01'53" E, ALONG SAID EAST LINE, A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID RECEPTION NO. 2019000073502;

THENCE ALONG THE SOUTH, EAST AND NORTH LINES OF SAID PARCEL OF LAND THE FOLLOWING THREE (3) COURSES:
1. S 89°30'30" W, ALONG A LINE BEING PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
2. N 00°01'53" E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
3. N 89°30'30" E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

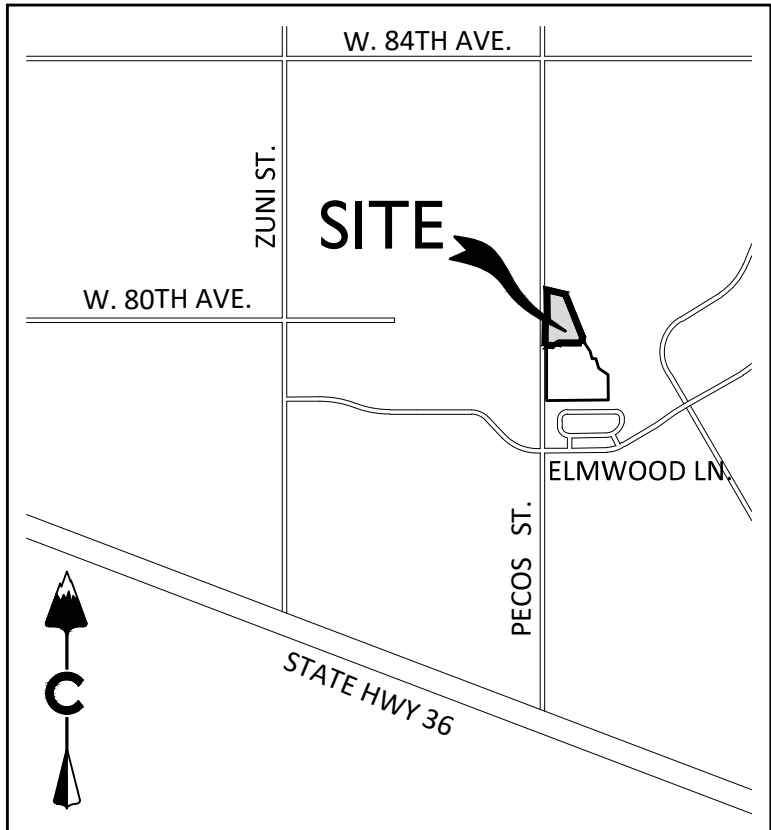
THENCE N 00°01'53" E, ALONG SAID EAST LINE AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 143,370 SQUARE FEET OR 3.291 ACRES, MORE OR LESS.

HAVE LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, STREETS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF SHERRELWOOD VILLAGE FILING NO. 2. ALL PUBLIC STREETS ARE HEREBY DEDICATED TO ADAMS COUNTY FOR PUBLIC USE. THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY THOSE PUBLIC EASEMENTS AS SHOWN ON THE PLAT; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENT TO ADAMS COUNTY AND/OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY.

VICINITY MAP

1" = 2000'



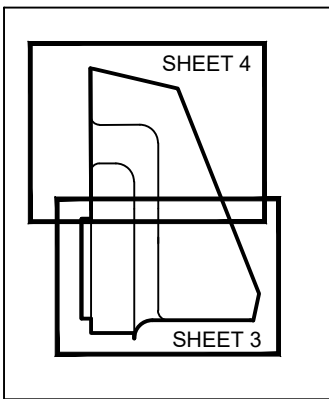
LAND USE TABLE

TYPE	AREA (SF)	AREA (AC)
LOTS (47)	65,023	1.493
TRACTS (2)	46,028	1.056
R.O.W DEDICATED	32,319	0.742
TOTAL	143,370	3.291

TRACT USE TABLE

TRACT	USE	OWNERSHIP	MAINTENANCE
A	OPEN SPACE, UTILITY, DRAINAGE & ACCESS	OWNER	OWNER
B	OPEN SPACE, UTILITY, DRAINAGE & ACCESS	OWNER	OWNER

KEY MAP



SHEET INDEX

SHEET 1 COVER
SHEET 2 OVERALL BOUNDARY
SHEET 3 DETAIL
SHEET 4 DETAIL
SHEET 5 NOTES AND TABLES

PUBLIC SERVICE COMPANY OF COLORADO NOTES

THESE EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COSTS TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO (PSCo) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCo AN EASEMENT ON ITS STANDARD FORM.

CITY OF THORNTON NOTES

WATER AND SANITARY SEWER EASEMENTS ARE HEREBY GRANTED TO THE CITY OF THORNTON, AS SHOWN ON THIS PLAT, FOR THE PURPOSE TO CONSTRUCT, MAINTAIN, REPAIR, REPLACE, INSPECT AND OPERATE MAINS, TRANSMISSION, DISTRIBUTION AND SERVICE LINES AND APPURTENANCES OR OTHER IMPROVEMENTS FOR WHICH THE EASEMENTS WERE GRANTED, TOGETHER WITH A RIGHT OF ACCESS, ON, ALONG AND IN ALL OF THE EASEMENTS, AS MAY BE NECESSARY TO ACCOMPLISH THE INTENDED PURPOSES OF THE EASEMENT. THESE EASEMENTS SHALL BE EXCLUSIVE, HOWEVER UTILITIES MAY CROSS THE EXCLUSIVE EASEMENTS AT SUBSTANTIALLY 90 DEGREES.

OWNER

7840 PECOS INVESTMENTS LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____

ITS: _____

ACKNOWLEDGEMENT

STATE OF _____)
COUNTY OF _____) SS

THE FOREGOING WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY

OF _____, 20____, A.D.

BY: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

PLANNING COMMISSION APPROVAL

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION ON THIS ____ DAY

OF _____, 20____, A.D. AT ____ O'CLOCK _ M.

CHAIR _____

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ____ DAY

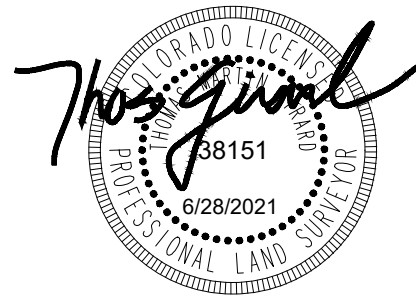
OF _____, 20____, A.D. AT ____ O'CLOCK _ M.

CHAIR _____

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY I WAS IN RESPONSIBLE CHARGE OF THE SURVEY WORK USED IN THE PREPARATION OF THIS PLAT; THE POSITIONS OF THE PLATTED POINTS SHOWN HEREON HAVE AN ACCURACY OF NOT LESS THAN (1) FOOT IN TEN THOUSAND (10,000) FEET PRIOR TO ADJUSTMENTS; AND ALL BOUNDARY MONUMENTS AND CONTROL CORNERS SHOWN HEREON WERE IN PLACE AS DESCRIBED IN APRIL 2020

THOMAS M. GIRARD
COLORADO PLS 38151
FOR AND ON BEHALF OF
CORE CONSULTANTS, INC



ADAMS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY

CLERK AND RECORDER IN THE STATE OF COLORADO AT ____ M. ON THE ____

DAY OF _____, 20____.

COUNTY CLERK AND RECORDER _____

BY DEPUTY: _____ RECEPTION NO. _____

LAND DEVELOPMENT
ENERGY
PUBLIC INFRASTRUCTURE

CORE CONSULTANTS, INC.
3473 SOUTH BROADWAY
ENGLEWOOD, CO 80113
303.703.4444
LIVEYOURCORE.COM

CORE

SHERRELWOOD VILLAGE FILING NO. 2
NE 1/4 SEC. 33 AND SE 1/4 SEC. 28, T2S, R68W, 6TH P.M.
ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
PROJ ENG: DF
CAD: JAG
DATE: 6/28/2021

SHEET
1 OF 5
15-018

SHERRELWOOD VILLAGE FILING NO. 2
PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2

CASE NO. PRC2020-00010

LAND DEVELOPMENT
ENERGY
PUBLIC INFRASTRUCTURE

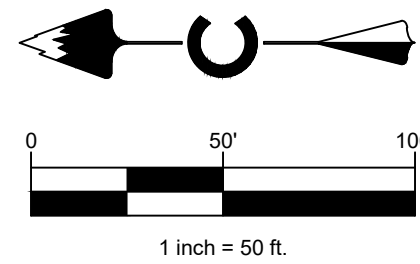
CORE CONSULTANTS, INC.
3473 SOUTH BROADWAY
ENGLEWOOD, CO 80113
303.703.4444
LIVEYOURCORE.COM

CORE

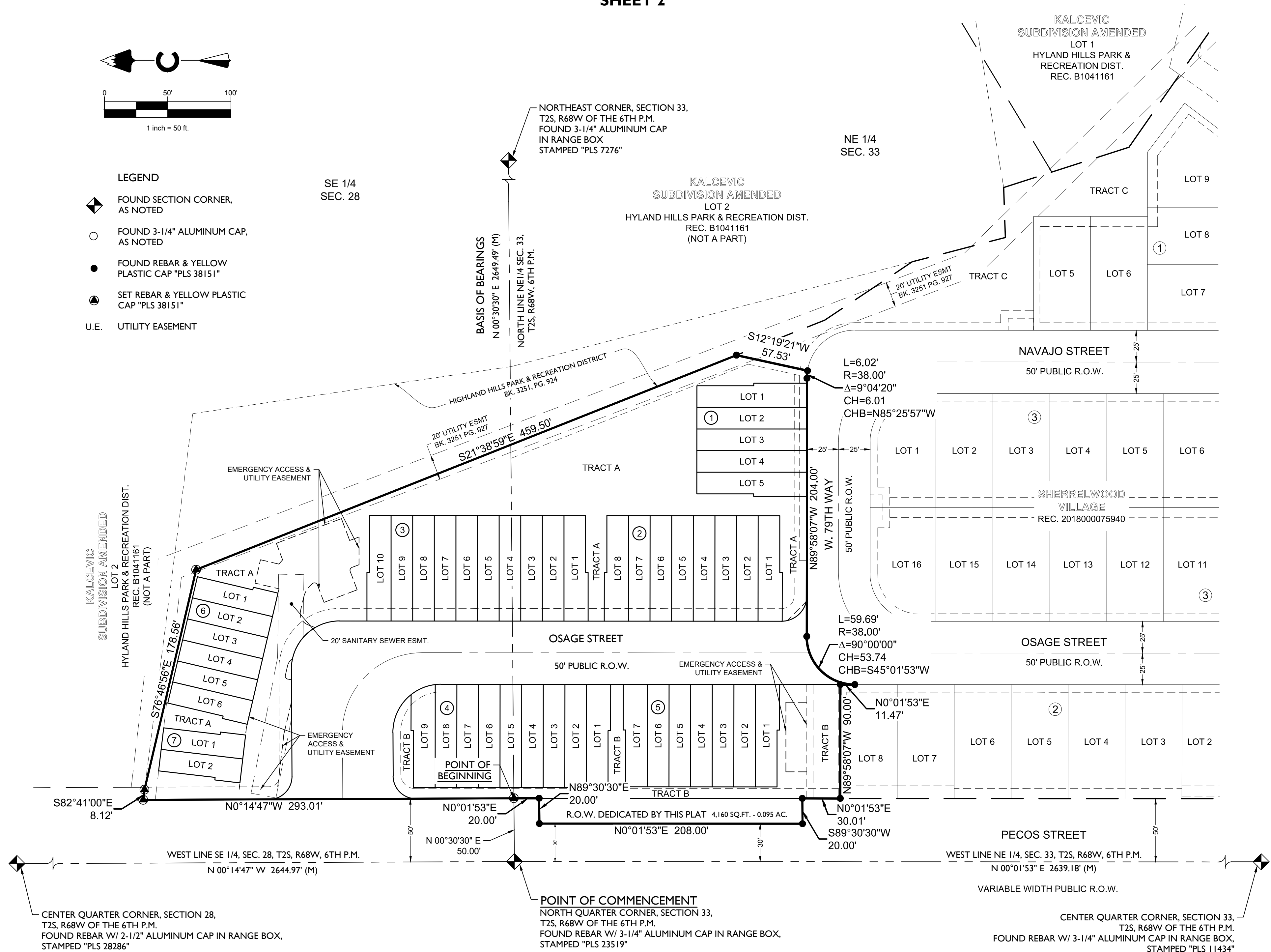
SHERRELWOOD VILLAGE FILING NO. 2
NE 1/4 SEC. 33 AND SE 1/4 SEC. 28, T2S, R68W, 6TH P.M.
ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
PROJ ENG: DF
CAD: JAG
DATE: 6/28/2021






SHEET
2 OF 5
15-018



- LEGEND**
- FOUND SECTION CORNER, AS NOTED
 - FOUND 3-1/4" ALUMINUM CAP, AS NOTED
 - FOUND REBAR & YELLOW PLASTIC CAP "PLS 38151"
 - SET REBAR & YELLOW PLASTIC CAP "PLS 38151"
 - U.E. UTILITY EASEMENT



SHEET 3

	FOUND SECTION CORNER, AS NOTED
	FOUND 3-1/4" ALUMINUM CAP, AS NOTED
	FOUND REBAR & YELLOW PLASTIC CAP "PLS 38151"
	SET REBAR & YELLOW PLASTIC CAP "PLS 38151"
	UTILITY EASEMENT

SEE SHEET 5 OF 5 FOR COMPLETE
LINE AND CURVE TABLES

CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	20.00'	31.42'	090°00'00"	S44°58'07"E	28.28'
C2	18.00'	28.27'	090°00'00"	S44°45'13"W	25.46'
C3	18.00'	28.27'	090°00'00"	S45°14'47"E	25.46'
C4	38.00'	59.88'	090°17'34"	N45°06'54"W	53.88'
C5	38.00'	59.87'	090°16'40"	N45°06'27"W	53.87'
C6	2.50'	3.93'	090°00'00"	N65°46'42"W	3.54'
C7	2.50'	4.67'	107°02'08"	N15°42'14"E	4.02'
C8	19.50'	13.24'	038°54'30"	N57°16'05"W	12.99'
C9	9.50'	13.93'	084°00'47"	S61°12'39"W	12.72'
C10	62.50'	5.88'	005°23'41"	N21°54'06"E	5.88'
C11	9.50'	7.21'	043°28'05"	N55°02'56"W	7.04'
C12	2.50'	4.07'	093°10'49"	S56°37'37"W	3.63'
C13	12.00'	7.14'	034°06'03"	S17°17'48"E	7.04'

SHERRELWOOD VILLAGE FILING NO. 2
NE 1/4 SEC. 33 AND SE 1/4 SEC. 28, T2S, R68W, 6TH P.M.
ADAMS COUNTY, STATE OF COLORADO

PROJ MGR:	TM
PROJ ENG:	D
CAD:	JA
DATE:	6/28/202

SHEET
3 OF 5
15-018

CORE CONSULTANTS, INC.
3473 SOUTH BROADWAY
ENGLEWOOD, CO 80113
303.703.4444
LIVEYOURCORE.COM

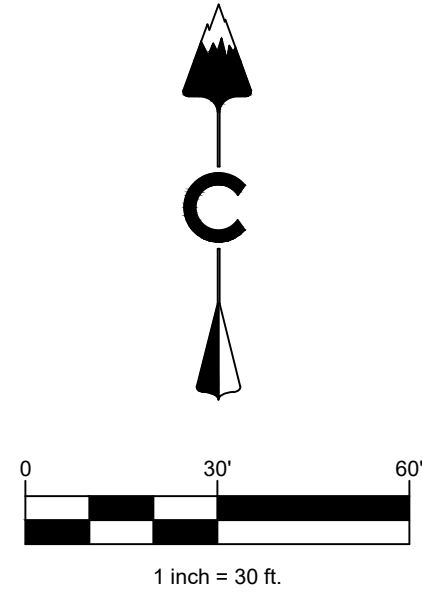
WORKBOOK

SHERRELWOOD VILLAGE FILING NO. 2

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 4

CASE NO. PRC2020-00010

CENTER QUARTER CORNER, SECTION 28,
T2S, R68W OF THE 6TH P.M.
FOUND 2-1/2" ALUMINUM CAP
IN RANGE BOX, STAMPED "PLS 28286"



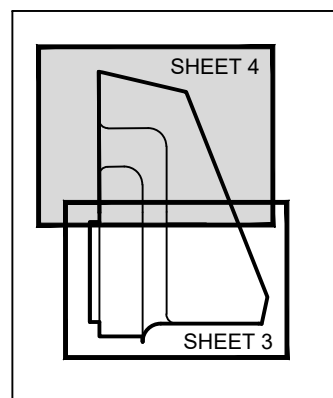
FOUND REBAR W/ 3-1/4" ALUMINUM CAP
IN RANGEBOX, ILLEGIBLE STAMPING

LEGEND

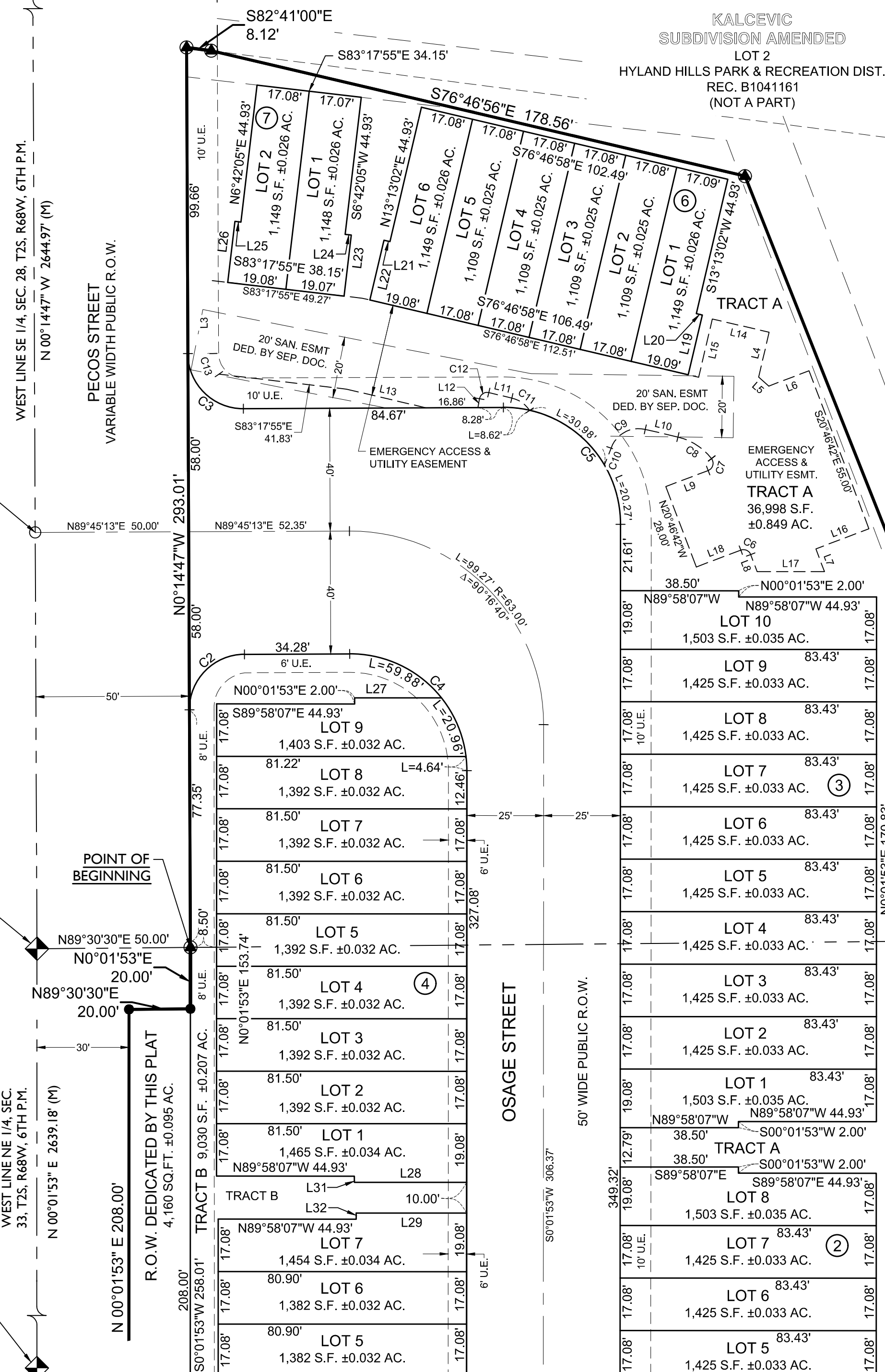
- FOUND SECTION CORNER,
AS NOTED
- FOUND 3-1/4" ALUMINUM CAP,
AS NOTED
- FOUND REBAR & YELLOW
PLASTIC CAP "PLS 38151"
- SET REBAR & YELLOW PLASTIC
CAP "PLS 38151"
- U.E. UTILITY EASEMENT

POINT OF COMMENCEMENT
NORTH QUARTER CORNER, SECTION 33,
T2S, R68W OF THE 6TH P.M.
FOUND 3-1/4" ALUMINUM CAP
IN RANGE BOX, STAMPED "PLS 23519"

KEY MAP



CENTER QUARTER CORNER, SECTION 33,
T2S, R68W OF THE 6TH P.M.
FOUND 3-1/4" ALUMINUM CAP
IN RANGE BOX, STAMPED "PLS 11434"



SEE SHEET 3 OF 5

KALCEVIC
SUBDIVISION AMENDED

LOT 2
HYLAND HILLS PARK & RECREATION DIST.
REC. B1041161
(NOT A PART)

SEE SHEET 5 OF 5 FOR COMPLETE
LINE AND CURVE TABLES

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	16.50'	N 0°01'53" E
L2	16.50'	N 0°01'53" E
L3	23.75'	S 0°14'47" E
L4	14.99'	S 13°13'02" W
L5	4.41'	S 48°46'50" E
L6	14.01'	N 69°13'18" E
L7	7.93'	S 20°46'42" E
L8	5.96'	N 20°46'42" W
L9	14.75'	N 69°13'18" E
L10	10.92'	N 76°46'58" W
L11	7.72'	N 76°46'58" W
L12	2.94'	S 10°02'13" W
L13	26.68'	S 76°46'58" E
L14	19.00'	S 76°46'58" E
L15	19.50'	N 13°13'02" E
L16	18.50'	S 69°13'18" W
L17	21.93'	N 90°00'00" W

LINE TABLE		
LINE #	LENGTH	DIRECTION
L18	15.50'	S 69°13'18" W
L19	20.00'	S 13°13'02" W
L20	2.00'	S 76°46'58" E
L21	2.00'	S 76°46'58" E
L22	20.00'	N 13°13'02" E
L23	20.00'	S 6°42'05" W
L24	2.00'	S 83°17'55" E
L25	2.00'	S 83°17'55" E
L26	20.00'	N 6°42'05" E
L27	28.27'	S 89°58'07" E
L28	36.57'	S 89°58'07" E
L29	35.97'	S 89°58'07" E
L30	35.97'	S 89°58'07" E
L31	2.00'	N 0°01'53" E
L32	2.00'	S 0°01'53" W
L33	2.00'	S 0°01'53" W

SE 1/4
SEC. 28

NORTHEAST CORNER, SECTION 33,
T2S, R68W OF THE 6TH P.M.
FOUND 3-1/4" ALUMINUM CAP
IN RANGE BOX
STAMPED "PLS 7276"

BASIS OF BEARINGS
N 00°30'30" E 2649.49' (M)
NORTH LINE NE 1/4 SEC. 33,
T2S, R68W, 6TH P.M.

KALCEVIC
SUBDIVISION AMENDED
LOT 2
HYLAND HILLS PARK &
RECREATION DIST.
REC. B1041161
(NOT A PART)

NE 1/4
SEC. 33

LAND DEVELOPMENT
ENERGY
PUBLIC INFRASTRUCTURE

CORE CONSULTANTS, INC.
3473 SOUTH BROADWAY
ENGLEWOOD, CO 80113
303.703.4444
LIVEYOURCORE.COM

CORE

SHERRELWOOD VILLAGE FILING NO. 2
NE 1/4 SEC. 33 AND SE 1/4 SEC. 28, T2S, R68W, 6TH P.M.
ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
PROJ ENG: DF
CAD: JAG
DATE: 6/28/2021

SHEET
4 OF 5
15-018

SHERRELWOOD VILLAGE FILING NO. 2

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 5

CASE NO. PRC2020-00010

NOTES

1.

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2.

THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY CORE CONSULTANTS, INC. FOR RECORD DOCUMENTS AND DETERMINATION OF OWNERSHIP, EASEMENTS OF RECORD, RIGHTS-OF-WAY AND ENCUMBRANCES, CORE CONSULTANTS, INC. RELIED UPON TITLE COMMITMENT ORDER NO. 21000310549, PREPARED BY STEWART TITLE GUARANTY COMPANY, WITH AN EFFECTIVE DATE OF MAY 21, 2021 AT 5:30 PM
3.

ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
4.

BEARINGS FOR THIS SURVEY ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4" ALUMINUM CAP IN RANGE BOX, STAMPED "PLS 23519", TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4" ALUMINUM CAP IN RANGE BOX, PLS 7276, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.
5.

THE LINEAL UNIT USED IN THE PREPARATION OF THIS ALTA/NSPS LAND TITLE SURVEY IS THE U.S. SURVEY FOOT. PURSUANT TO C.R.S. 38-52-103(2) METRIC CONVERSION IS: ONE METER EQUALS 3937 / 1200 FEET.
6.

DATE OF FIELD SURVEY: APRIL 9, 2020
7.

THE GROSS LAND AREA OF THE SUBJECT PROPERTY IS 143,370 SQUARE FEET, OR 3.291 ACRES, MORE OR LESS.
8.

RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR SERVICE AND EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON, AND THROUGH ANY AND ALL PRIVATE ROADS, WAYS, AND FIRE LANES NOW OR HEREAFTER ESTABLISHED ON THE DESCRIBED PROPERTY. THE SAME ARE HEREBY DESIGNATED AS FIRE LANES AND EMERGENCY AND SERVICE VEHICLE ROADS, AND SHALL BE POSTED "NO PARKING - FIRE LANE"
9.

THE PROPERTY LIES WITHIN ZONE X, "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA MAP NO. 08001C0584H, PANEL 584, REVISED MARCH 5, 2017.
10.

REFER TO THE OPERATION AND MAINTENANCE MANUEL RECORDED APRIL 2, 2018 AT RECEPTION NO. 2018000026268 FOR ADDITIONAL DRAINAGE GUIDELINES.
11.

TEN-FOOT (10') WIDE UTILITY EASEMENTS ALONG THE EAST SIDE OF THE OSAGE STREET RIGHT-OF-WAY AND ALONG THE NORTH SIDE OF THE W. 79TH WAY RIGHT-OF-WAY; SIX-FOOT (6') WIDE UTILITY EASEMENTS ALONG THE WEST SIDE OF THE OSAGE STREET RIGHT-OF-WAY; EIGHT-FOOT (8') WIDE UTILITY EASEMENTS ALONG THE EAST SIDE OF THE PECOS STREET RIGHT-OF-WAY ARE HEREBY DEDICATED ON PRIVATE PROPERTY ADJACENT TO THE FRONT LOT LINES OF EACH LOT IN THE SUBDIVISION. IN ADDITION, EIGHT-FOOT (8') WIDE DRY UTILITY EASEMENTS ARE HEREBY DEDICATED AROUND THE PERIMETER OF TRACTS, PARCELS AND/OR OPEN SPACE AREAS. THESE EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF UTILITIES. UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEES, INCLUDING, WITHOUT LIMITATION, VEGETATION.
12.

THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.
13.

STATEMENT RESTRICTING ACCESS: ACCESS RIGHTS ACROSS THE RIGHT-OF-WAY LINES OF MAJOR HIGHWAYS, PARKWAYS, STREETS OR FREEWAYS, ARE RESTRICTED WHERE REQUIRED AS A PROVISION OF APPROVAL.

CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	20.00'	31.42'	090°00'00"	S44°58'07"E	28.28'
C2	18.00'	28.27'	090°00'00"	S44°45'13"W	25.46'
C3	18.00'	28.27'	090°00'00"	S45°14'47"E	25.46'
C4	38.00'	59.88'	090°17'34"	N45°06'54"W	53.88'
C5	38.00'	59.87'	090°16'40"	N45°06'27"W	53.87'
C6	2.50'	3.93'	090°00'00"	N65°46'42"W	3.54'
C7	2.50'	4.67'	107°02'08"	N15°42'14"E	4.02'
C8	19.50'	13.24'	038°54'30"	N57°16'05"W	12.99'
C9	9.50'	13.93'	084°00'47"	S61°12'39"W	12.72'
C10	62.50'	5.88'	005°23'41"	N21°54'06"E	5.88'
C11	9.50'	7.21'	043°28'05"	N55°02'56"W	7.04'
C12	2.50'	4.07'	093°10'49"	S56°37'37"W	3.63'
C13	12.00'	7.14'	034°06'03"	S17°17'48"E	7.04'

LINE TABLE			LINE TABLE		
LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION
L1	16.50'	N 0°01'53" E	L18	15.50'	S 69°13'18" W
L2	16.50'	N 0°01'53" E	L19	20.00'	S 13°13'02" W
L3	23.75'	S 0°14'47" E	L20	2.00'	S 76°46'58" E
L4	14.99'	S 13°13'02" W	L21	2.00'	S 76°46'58" E
L5	4.41'	S 48°46'50" E	L22	20.00'	N 13°13'02" E
L6	14.01'	N 69°13'18" E	L23	20.00'	S 6°42'05" W
L7	7.93'	S 20°46'42" E	L24	2.00'	S 83°17'55" E
L8	5.96'	N 20°46'42" W	L25	2.00'	S 83°17'55" E
L9	14.75'	N 69°13'18" E	L26	20.00'	N 6°42'05" E
L10	10.92'	N 76°46'58" W	L27	28.27'	S 89°58'07" E
L11	7.72'	N 76°46'58" W	L28	36.57'	S 89°58'07" E
L12	2.94'	S 10°02'13" W	L29	35.97'	S 89°58'07" E
L13	26.68'	S 76°46'58" E	L30	35.97'	S 89°58'07" E
L14	19.00'	S 76°46'58" E	L31	2.00'	N 0°01'53" E
L15	19.50'	N 13°13'02" E	L32	2.00'	S 0°01'53" W
L16	18.50'	S 69°13'18" W	L33	2.00'	S 0°01'53" W
L17	21.93'	N 90°00'00" W			

CORE

CORE CONSULTANTS, INC.
3473 SOUTH BROADWAY
ENGLEWOOD, CO 80113
303.703.4444
LIVEYOURCORE.COM

LAND DEVELOPMENT
ENERGY
PUBLIC INFRASTRUCTURE

SHERRELWOOD VILLAGE FILING NO. 2

NE 1/4 SEC. 33 AND SE 1/4 SEC. 28, T2S, R68W, 6TH P.M.

ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG

PROJ ENG: DF

CAD: JAG

DATE: 6/28/2021

SHEET

5 OF 5

15-018



WAIVER FROM SUBDIVISION DESIGN STANDARDS

Application submittals must include all documents on this checklist as well as this page. Please use the reference guide (pg. 2) included in this packet for more information on each submittal item.

All submittals shall include one (1) hard copy of all documents and one (1) electronic copy with all documents combined in a single PDF. For hard copies, each document shall be labeled or tabbed with the corresponding checklist number.

- ☒ 1. Development Application Form (pg. 7)
- ☒ 2. Application Fees of \$500
- ☒ 3. Written Explanation of the Project
- ☒ 4. Site Plan Showing Proposed Development
- ☒ 5. Copy of Plat Prepared by Registered Land Surveyor (see guide pg. 4)
- ☒ 6. Proof of Ownership (title policy dated within 30 days of submittal)
- ☒ 7. Proof of Water and Sewer Services
- ☒ 8. Proof of Utilities (e.g. electric, gas)
- ☒ 9. Neighborhood Meeting Summary
- ☒ 10. Legal Description
- ☒ 11. Certificate of Taxes Paid
- ☒ 12. Certificate of Notice to Mineral Estate Owners/and Lessees (pg. 9)
- ☒ 13. Certificate of Surface Development (pg. 10)



DEVELOPMENT APPLICATION FORM

Application Type:

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input checked="" type="checkbox"/> Other: <u>Waiver from Subdivision Design</u>

PROJECT NAME: Sherrelwood Village Filing No. 2 - Waiver for Lot Depth to Width Ratio

APPLICANT

Name(s): Delwest Development Corp/Craig Fitchett Phone #: 720-708-4065
Address: 155 S Madison St, Suite 326
City, State, Zip: Denver, CO 80209
2nd Phone #: 720-276-6098 Email: cfitchett@delwest.com

OWNER

Name(s): Joe DelZotto Phone #: 720-708-4065
Address: 155 S Madison St., Suite 326
City, State, Zip: Denver, CO 80209
2nd Phone #: 303-888-8048 Email: jad@delwest.com

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Tom Girard Phone #: 303-730-5976
Address: 3473 S. Broadway
City, State, Zip: Englewood, CO 80113
2nd Phone #: Email: tgirard@liveyourcore.com

DESCRIPTION OF SITE

Address: 7840 Pecos, 7996 Pecos and 8000 Pecos

City, State, Zip: Denver, CO 80221

Area (acres or square feet): 450,875 SF / 10.351 Ac

Tax Assessor Parcel Number 7840 Pecos-017193310016; 7996 Pecos-0171933100009 and 8000 Pecos St-0171928400003

Existing Zoning: PUD

Existing Land Use: 7996 Pecos - Vacant PUD; 8000 Pecos - abandoned school; 7840 Pecos PUD

Proposed Land Use: PUD with 47 Townhomes

Have you attended a Conceptual Review? YES ☒ NO ☐

If Yes, please list PRE#: 201900091

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name: W. Craig Fitchett

Date: 07/06/2021

Owner's Printed Name

Name: 

Owner's Signature



Narrative
Waiver from Subdivision Design Standards
Lot Depth to Width Ratio

Delwest Development Corporation is requesting a waiver from Adams County Subdivision Design, Improvements and Dedication Standards section 5-03-03-06 for lot depth to width ratio. Subdivision standards state a maximum 3:1 lot depth to width ratio. We request a waiver from this allowing a maximum of 5.2:1 lot depth to width ratio that accommodates an 87' depth to 17' width lot.

This subdivision is proposing townhome lots in which the side lot line is on the building edge and shared with the adjacent townhome. This makes it harder to achieve 3:1 depth to width ratio than a single-family lot where side setbacks are required.

As part of the Sherrelwood Village Filing No. 2 Major Subdivision, Osage Street will be extended to the north and intersect with Sherrelwood Drive which provides access to Pecos Street. Since these streets are established from offsite, there are limited options for homesites in this compact parcel of land. To take advantage of the developable land we are proposing deeper lots to better utilize the space. This creates a larger depth to width ratio than is allowed in the subdivision standards.

These deeper lots will accommodate driveways for standard sized parking, tandem garages holding 2 cars per unit, and 8' rear patios. These deeper units increase the amount of off-street parking provided and decreases the demand for street parking which serves the subdivision to a greater extent. Strict compliance with the 3:1 regulation would make it difficult for the townhomes to provide both adequate parking and the square footage necessary for families to live in these market rate townhomes. This waiver will not have the effect of nullifying the purpose of these subdivision standards and regulations.

Sincerely,

W. Craig Fitchett

Director of Acquisitions & Business Development, Delwest



DEVELOPMENT APPLICATION FORM

Application Type:

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input checked="" type="checkbox"/> Other: <u>Waiver from Subdivision Design</u>

PROJECT NAME:

APPLICANT

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

OWNER

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

DESCRIPTION OF SITE

Address: 7840 Pecos, 7996 Pecos and 8000 Pecos

City, State, Zip: Denver, CO 80221

Area (acres or square feet): 450,875 SF / 10.351 Ac

Tax Assessor
Parcel Number 7840 Pecos-017193310016; 7996 Pecos-0171933100009 and 8000 Pecos St-0171928400003

Existing
Zoning: PUD

Existing Land
Use: 7996 Pecos - Vacant PUD; 8000 Pecos - abandoned school; 7840 Pecos PUD

Proposed Land
Use: PUD with 47 Townhomes

Have you attended a Conceptual Review? YES ☒ NO ☐

If Yes, please list PRE#: 201900091

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name: W. Craig Fitchett

Date: 07/06/2021

Owner's Printed Name

Name: 

Owner's Signature



Narrative
Waiver from Subdivision Design Standards
Double Fronting Lots

Delwest Development Corporation is requesting a waiver from Adams County Subdivision Design, Improvements and Dedication Standards section 5-03-03-08-01 for Double Fronting Lots. Per the regulations, lots with double frontage shall be avoided. We request a waiver from this allowing for double fronting lots with a landscape buffer and fence.

As part of the Sherrelwood Village Filing No. 2 Major Subdivision, Osage Street will be extended to the north and intersect with Sherrelwood Drive which provides access to Pecos Street. Since these streets are established from offsite, there are limited options for homesites in this compact parcel of land. To take advantage of the developable land we are proposing to have lots front onto Osage Street which creates a double front condition with Pecos Street behind them.

To mitigate this double front condition, we are proposing a 6' picket fence with lattice on top for visual interest. Stone columns will also be spaced appropriately along the fence line for character. This fence will be placed 10' from the back of sidewalk along Pecos Street to create a 10' landscape buffer along the street. For reference, this same treatment was approved in Sherrelwood Village Filing No. 1 for the double fronting single family homesites. We believe a continuation of this would bring unity to the neighborhood while helping mitigate the double front condition.

Strict compliance with the Double Front regulation would make it difficult for the townhomes to provide both adequate parking and building footprint efficiency. We also believe the rear elevation of these townhomes provide more visual interest and variety of building planes than the side elevations. This waiver will not have the effect of nullifying the purpose of these subdivision standards and regulations.

Sincerely,

W. Craig Fitchett

Director of Acquisitions & Business Development, Delwest

May 27, 2021

Adams County Planning & Development Department
4430 South Adams County Parkway
Brighton, CO 80601-8216



To Whom It May Concern:

RE: Proposed Development at 8000 N. Pecos Street, Denver, CO 80221


Westminster Public Schools recently sold district property located at 8000 N. Pecos Street to DelWest Development Corporation in unincorporated Adams County. DelWest worked collaboratively with the District in the past when developing a previously sold property that directly adjoins the current property under consideration. The District welcomes infill development within its boundaries and, while the District takes no position on the specific plans, we believe that a community should include a wide choice of high-quality housing to meet the resident's needs. DelWest continues to demonstrate a willingness to design developments in consultation with the community and has taken affordability into consideration with its planning. This remains important to the District.

In reviewing the current proposal for 47 townhomes on the site, we have determined that the impact of the proposed development on the District would be minimal. Currently, the District has the capacity to absorb students generated by this project within its existing schools. Using an average number of students generated by housing type, based on information provided by Unique Properties, the District has conservatively calculated the following student yield:

Number of Bedrooms	Number of New Units of that Size	Average Number of School-Aged Residents Per Unit	New School-Aged Residents
3	47	x 0.153	= 8 (low end estimate)
3	47	x 0.3	= 15 (high end estimate)

In considering the minimal impact to the District by new students who may reside in the development, the District believes it is important to focus on the quality of the development and the degree to which it will revitalize the community in the years ahead. The District believes development on the south end of the District will provide suitable living accommodations for the citizens of the community and, in general, will have an overall positive impact on the existing neighborhood.

Sincerely,


James Duffy, Ed.D.
Chief Operating Officer
Westminster Public Schools



ADAMS COUNTY FIRE RESCUE

FIRE PREVENTION BUREAU

7980 Elmwood Lane
Denver, CO 80221
(303) 539-6862 / email: :fireprevention@acfpd.org

Melissa Hale
155 South Madison St Suite 326
Denver, CO 80209
720-819-1004
melissa@delwest.com

May 13, 2020

RE: 7840, 7996, and 8000 Pecos St
Denver, CO 80221

Ms. Hale,

The addresses of 7840, 7996, and 8000 Pecos St Deriver, CO 80221 are within the Adams County Fire Protection District's jurisdiction and will be covered by its services. We will need to complete a site development plan review to go along with this letter. The site development plan review needs to include a full set of civil plans and an auto turn exhibit. If you have any questions regarding this location, please call 303-539-6862 and we will be able to answer your questions.

Sincerely,

Chris Wilder
Fire Marshal
Adams County Fire Protection District

EXHIBIT

SOUTHEAST QUARTER, SECTION 28 & NORTHEAST QUARTER, SECTION 33, ALL IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ADAMS, COLORADO

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 AND THAT PARCEL OF LAND, AS DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2015000053449 TOGETHER WITH THAT PARCEL OF LAND, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3254 AT PAGE 139, ALL IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 33, BOTH IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS AND THE POINT OF BEGINNING;

THENCE N 00°14'47" W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.01 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL OF LAND DESCRIBED IN BOOK 3254 AT PAGE 139;

THENCE S 82°41'00" E, ALONG SAID NORTH LINE, A DISTANCE OF 8.10 FEET TO THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D, THE FOLLOWING THREE (3) COURSES:

1. S 76°46'55" E, A DISTANCE OF 178.58 FEET;
2. S 21°38'57" E, ALONG THE EAST LINES OF SAID PARCEL DESCRIBED IN BOOK 3254 AT PAGE 139 AND SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 534.54 FEET;
3. S 33°40'19" E, ALONG THE EAST LINE OF SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 83.14 FEET;

THENCE ALONG THE EAST AND SOUTH LINES OF SAID SHERRELWOOD VILLAGE PLAT, THE FOLLOWING SIX (6) COURSES:

1. S 14°37'52" E, A DISTANCE OF 76.07 FEET;
2. N 88°03'04" E, A DISTANCE OF 39.50 FEET
3. S 17°49'46" E, A DISTANCE OF 104.05 FEET;
4. S 55°05'47" E, A DISTANCE OF 112.26 FEET;
5. S 01°01'29" E, A DISTANCE OF 259.37 FEET, TO A POINT ON THE NORTH LINE OF ELMWOOD PARK SUBDIVISION, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. C0184761, SAID ADAMS COUNTY RECORDS;
6. S 89°32'44" W, ALONG SAID NORTH LINE, A DISTANCE OF 611.65 FEET TO A POINT BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
IT IS INTENDED ONLY TO DEPICT THE ATTACHED DESCRIPTION

PROJECT: 15-018
DATE: 11/05/2019
SHEET 1 OF 4

DR: J. ANTON
DS: T. GIRARD
P.M. T. GIRARD



CORE
CONSULTANTS

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
NATURAL RESOURCES
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

EXHIBIT

SOUTHEAST QUARTER, SECTION 28 & NORTHEAST QUARTER, SECTION 33,
ALL IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO

LEGAL DESCRIPTION CONTINUED:

THENCE N 00°01'53" E, ALONG SAID EAST LINE AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 586.62 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID WARRANTY DEED RECORDED AT RECEPTION NO. 2015000053449;

THENCE ALONG THE SOUTH, EAST AND NORTH LINES OF SAID PARCEL OF LAND THE FOLLOWING THREE (3) COURSES:

1. S 89°30'30" W, ALONG A LINE BEING PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
2. N 00°01'53" E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
3. N 89°30'30" E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

THENCE N 00°01'53" E, ALONG SAID EAST LINE AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 450,875 SQUARE FEET OR 10.351 ACRES, MORE OR LESS.

THOMAS M. GIRARD
COLORADO PLS 38151
FOR AND ON BEHALF OF
CORE CONSULTANTS, INC.



NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
IT IS INTENDED ONLY TO DEPICT THE ATTACHED DESCRIPTION

PROJECT: 15-018
DATE: 11/05/2019
SHEET 2 OF 4

DR: J. ANTON
DS: T. GIRARD
P.M. T. GIRARD

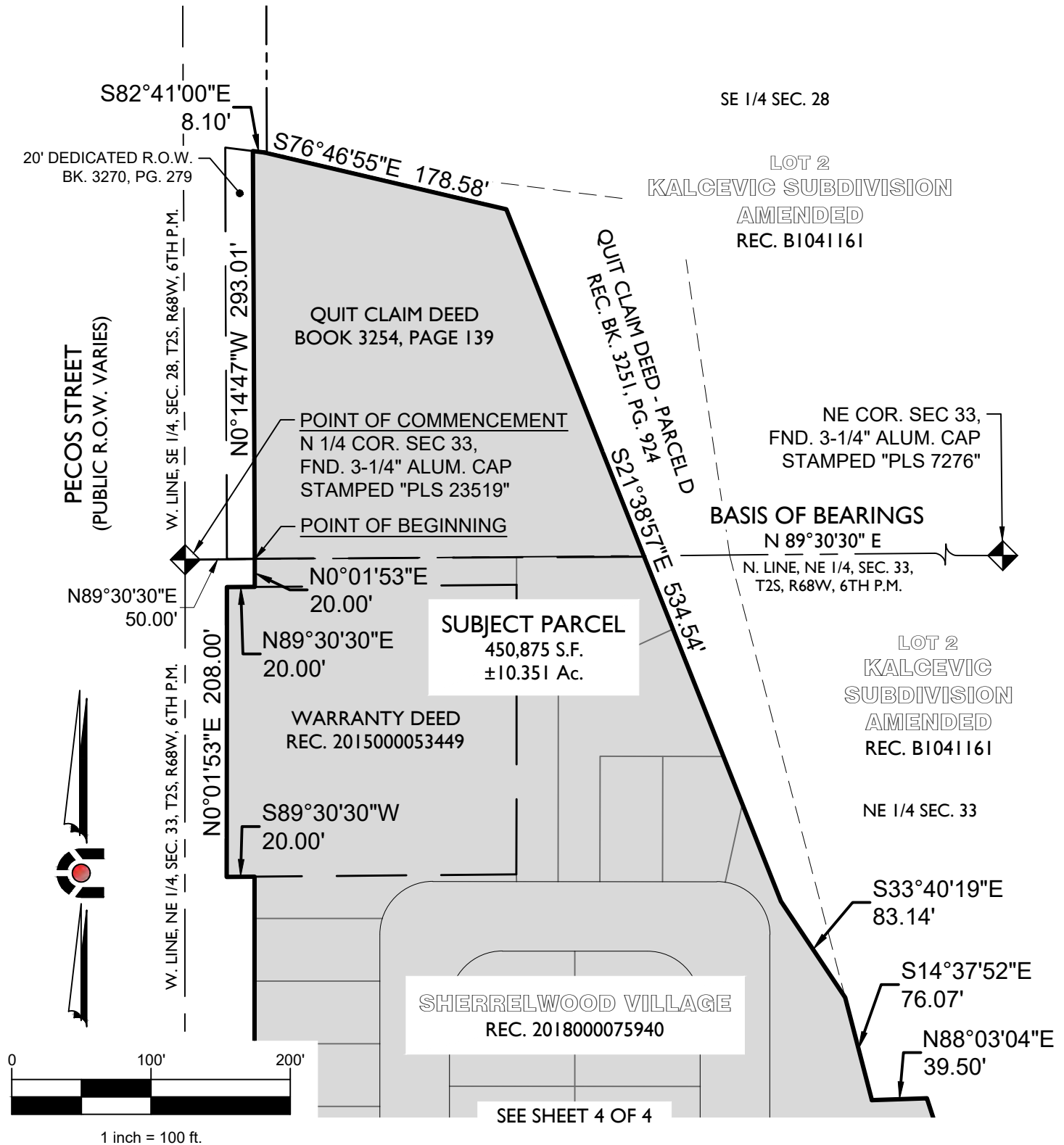


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EXHIBIT

SOUTHEAST QUARTER, SECTION 28 & NORTHEAST QUARTER, SECTION 33,
ALL IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO



NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
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PROJECT: 15-018
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SHEET 3 OF 4

DR: J. ANTON
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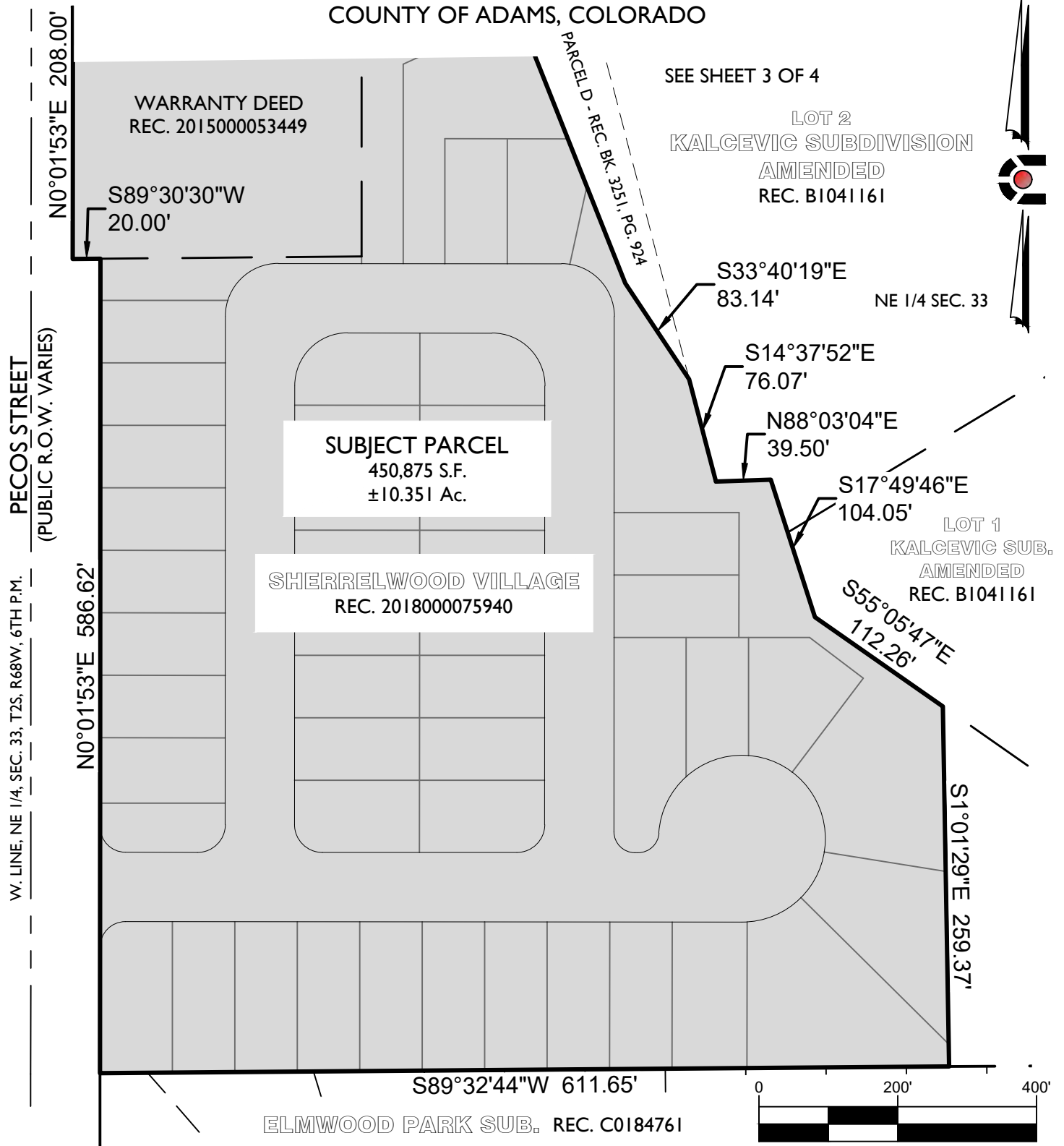


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EXHIBIT

SOUTHEAST QUARTER, SECTION 28 & NORTHEAST QUARTER, SECTION 33,
ALL IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO



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EXHIBIT

SOUTHEAST QUARTER, SECTION 28 & NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ADAMS, COLORADO

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING TRACTS B & D, LOTS 1 THROUGH 4, BLOCK 1, AND A PORTION OF LOT 8, BLOCK 2, SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 TOGETHER WITH THAT PARCEL OF LAND DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000073502 AND THAT PARCEL OF LAND DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000075343, ALL IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS, ALSO BEING THE NORTHWEST CORNER OF SAID SHERRELWOOD VILLAGE PLAT AND THE SOUTHWEST CORNER OF THAT PARCEL OF LAND DESCRIBED IN SAID DEED, RECEPTION NO. 2019000075343 AND THE POINT OF BEGINNING;
THENCE N 00°14'47" W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND THE WEST LINE OF SAID DEED, RECEPTION NO. 2019000075343, ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.01 FEET TO THE NORTHWEST CORNER OF SAID DEED, RECEPTION NO. 2019000075343;
THENCE S 82°41'00" E, CONTINUING ALONG THE PECOS STREET ROW AND THE NORTH LINE OF SAID DEED, A DISTANCE OF 8.10 FEET TO A POINT ON THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY AND THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924, SAID COUNTY RECORDS;
THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D THE FOLLOWING THREE (3) COURSES:
1. S 76°46'55" E, A DISTANCE OF 178.58 FEET;
2. S 21°38'59" E, ALONG THE EAST LINES OF SAID DEED, RECEPTION NO. 2019000075343 AND THE EAST LINE OF SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 459.50 FEET TO THE EAST CORNER OF LOT 4, BLOCK 1;

THENCE S 12°19'21" W, ALONG THE SOUTHEAST LINE OF SAID LOT 4, BLOCK 1, A DISTANCE OF 57.53 FEET TO A POINT ON THE NORTH LINE OF WEST 79TH WAY RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT AND A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE NORTH LINE OF THE WEST 79TH WAY RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09°04'20" AND AN ARC LENGTH OF 6.02 FEET, THE CHORD OF WHICH BEARS N 85°25'57" W, A DISTANCE OF 6.01 FEET;

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PROJECT: 15-018
DATE: 05/05/2020
SHEET 1 OF 4
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DS: T. GIRARD
P.M. T. GIRARD



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EXHIBIT

SOUTHEAST QUARTER, SECTION 28 & NORTHEAST QUARTER, SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO

LEGAL DESCRIPTION CONTINUED:

2. N 89°58'07" W, A DISTANCE OF 204.00 FEET TO A POINT OF CURVATURE;
3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC LENGTH OF 59.69 FEET;

THENCE N 00°01'53" E, A DISTANCE OF 11.47 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT B, SHERRELWOOD VILLAGE;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID TRACT B THE FOLLOWING TWO (2) COURSES:

1. N 89°58'07" W, A DISTANCE OF 90.00 FEET TO A POINT ON THE WEST LINE OF SAID SHERRELWOOD VILLAGE PLAT, ALSO BEING THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY;
2. N 00°01'53" E, ALONG SAID WEST LINE, A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID DEED RECORDED AT RECEPTION NO. 2019000073502;

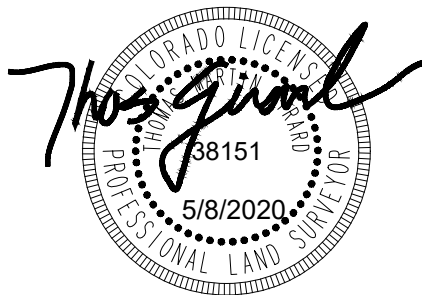
THENCE ALONG THE SOUTH, EAST AND NORTH LINES OF SAID DEED, ALSO BEING THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:

1. S 89°30'30" W, ALONG A LINE BEING PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
2. N 00°01'53" E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
3. N 89°30'30" E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT ON THE WEST LINE OF SAID SHERRELWOOD VILLAGE PLAT, ALSO BEING THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT, BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

THENCE N 00°01'53" E, ALONG SAID EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO THE NORTHWEST CORNER OF SAID SHERRELWOOD VILLAGE PLAT, AND THE POINT OF BEGINNING.

CONTAINING AN AREA OF 143,370 SQUARE FEET OR 3.291 ACRES, MORE OR LESS.

THOMAS M. GIRARD
COLORADO PLS 38151
FOR AND ON BEHALF OF
CORE CONSULTANTS, INC.



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PROJECT: 15-018
DATE: 05/05/2020
SHEET 2 OF 4

DR: J. ANTON
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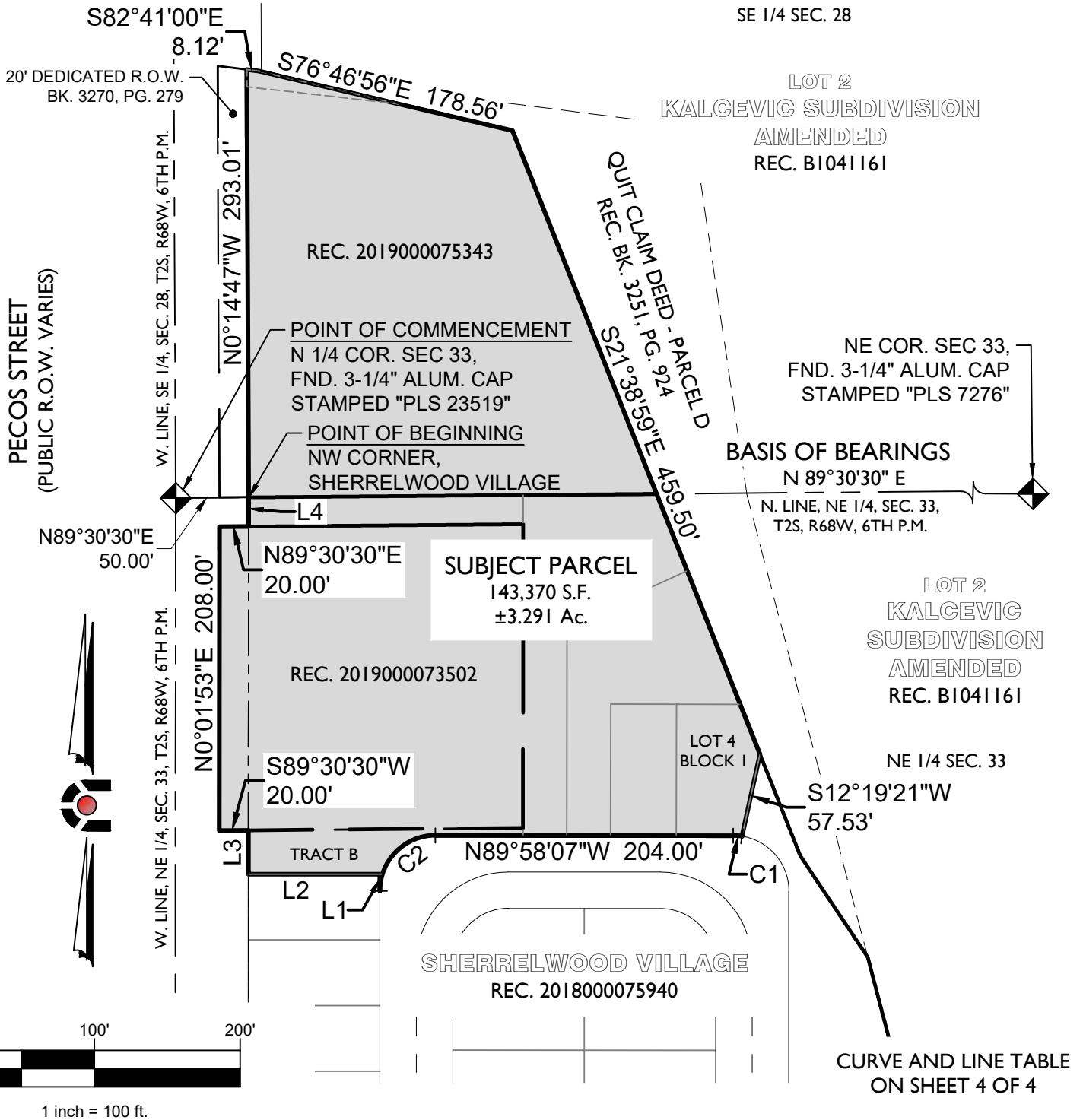


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EXHIBIT

SOUTHEAST QUARTER, SECTION 28 & NORTHEAST QUARTER, SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO



NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
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PROJECT: 15-018
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SHEET 3 OF 4

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EXHIBIT

SOUTHEAST QUARTER, SECTION 28 & NORTHEAST QUARTER, SECTION 33,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	11.47'	N 0°01'53" E
L2	90.00'	N 89°58'07" W
L3	30.01'	N 0°01'53" E
L4	20.00'	N 0°01'53" E

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	6.02'	38.00'	9°04'20"	N85°25'57"W	6.01'
C2	59.69'	38.00'	90°00'00"	S45°01'53"W	53.74'

NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
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PROJECT: 15-018
DATE: 05/05/2020
SHEET 4 OF 4

DR: J. ANTON
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EXHIBIT

NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ADAMS, COLORADO

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING TRACTS B & D, LOTS 1 THROUGH 4, BLOCK 1, AND A PORTION OF LOT 8, BLOCK 2, SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, ALSO BEING THE NORTHWEST CORNER OF SAID SHERRELWOOD VILLAGE PLAT AND THE POINT OF BEGINNING;
THENCE ALONG THE NORTH AND EAST LINES OF SAID SHERRELWOOD VILLAGE PLAT, THE FOLLOWING TWO (2) COURSES:

1. N 89°30'30" E, A DISTANCE OF 279.36 FEET;
2. S 21°38'59" E, A DISTANCE OF 191.87 FEET TO THE EAST CORNER OF LOT 4, BLOCK 1;

THENCE S 12°19'21" W, ALONG THE SOUTHEAST LINE OF SAID LOT 4, BLOCK 1, A DISTANCE OF 57.53 FEET TO A POINT ON THE NORTH LINE OF WEST 79TH WAY RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT AND A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE NORTH LINE OF SAID WEST 79TH WAY RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09°04'20" AND AN ARC LENGTH OF 6.02 FEET, THE CHORD OF WHICH BEARS N 85°25'57" W, A DISTANCE OF 6.01 FEET;
2. N 89°58'07" W, A DISTANCE OF 204.00 FEET TO A POINT OF CURVATURE;
3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC LENGTH OF 59.69 FEET TO A POINT ON THE WEST LINE OF SAID LOT 8;

THENCE N 00°01'53" E, A DISTANCE OF 11.47 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT B;
THENCE ALONG THE SOUTH AND WEST LINES OF SAID TRACT B THE FOLLOWING TWO (2) COURSES:

1. N 89°58'07" W, A DISTANCE OF 90.00 FEET TO A POINT ON THE WEST LINE OF SAID SHERRELWOOD VILLAGE PLAT, ALSO BEING THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;
2. N 00°01'53" E, ALONG SAID EAST LINE, A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID RECEPTION NO. 2019000073502;

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PROJECT: 15-018
DATE: 05/05/2020
SHEET 1 OF 3

DR: J. ANTON
DS: T. GIRARD
P.M. T. GIRARD



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EXHIBIT

NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO

LEGAL DESCRIPTION CONTINUED:

THENCE ALONG THE SOUTH, EAST AND NORTH LINES OF SAID PARCEL OF LAND,, THE FOLLOWING THREE (3) COURSES:

1. N 89°30'30" E, ALONG A LINE BEING PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 188.00 FEET TO A POINT ON THE WEST LINE OF LOT 1, BLOCK 1 SAID SHERRELWOOD VILLAGE PLAT;
2. N 00°01'53" E, ALONG SAID WEST LINE, A DISTANCE OF 208.00 FEET TO THE SOUTHEAST CORNER OF SAID TRACT D;
3. S 89°30'30" W, ALONG THE SOUTH LINE OF SAID TRACT D, A DISTANCE OF 188.00 FEET TO A POINT ON THE WEST LINE OF SAID SHERRELWOOD VILLAGE PLAT, AND THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

THENCE N 00°01'53" E, ALONG SAID EAST LINE, BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO THE NORTHWEST CORNER OF SAID SHERRELWOOD VILLAGE PLAT, AND THE POINT OF BEGINNING.

CONTAINING AN AREA OF 38,549 SQUARE FEET OR 0.885 ACRES, MORE OR LESS.

THOMAS M. GIRARD
COLORADO PLS 38151
FOR AND ON BEHALF OF
CORE CONSULTANTS, INC.



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SHEET 2 OF 3

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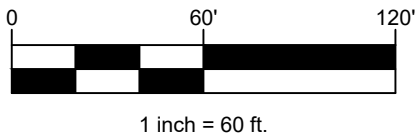
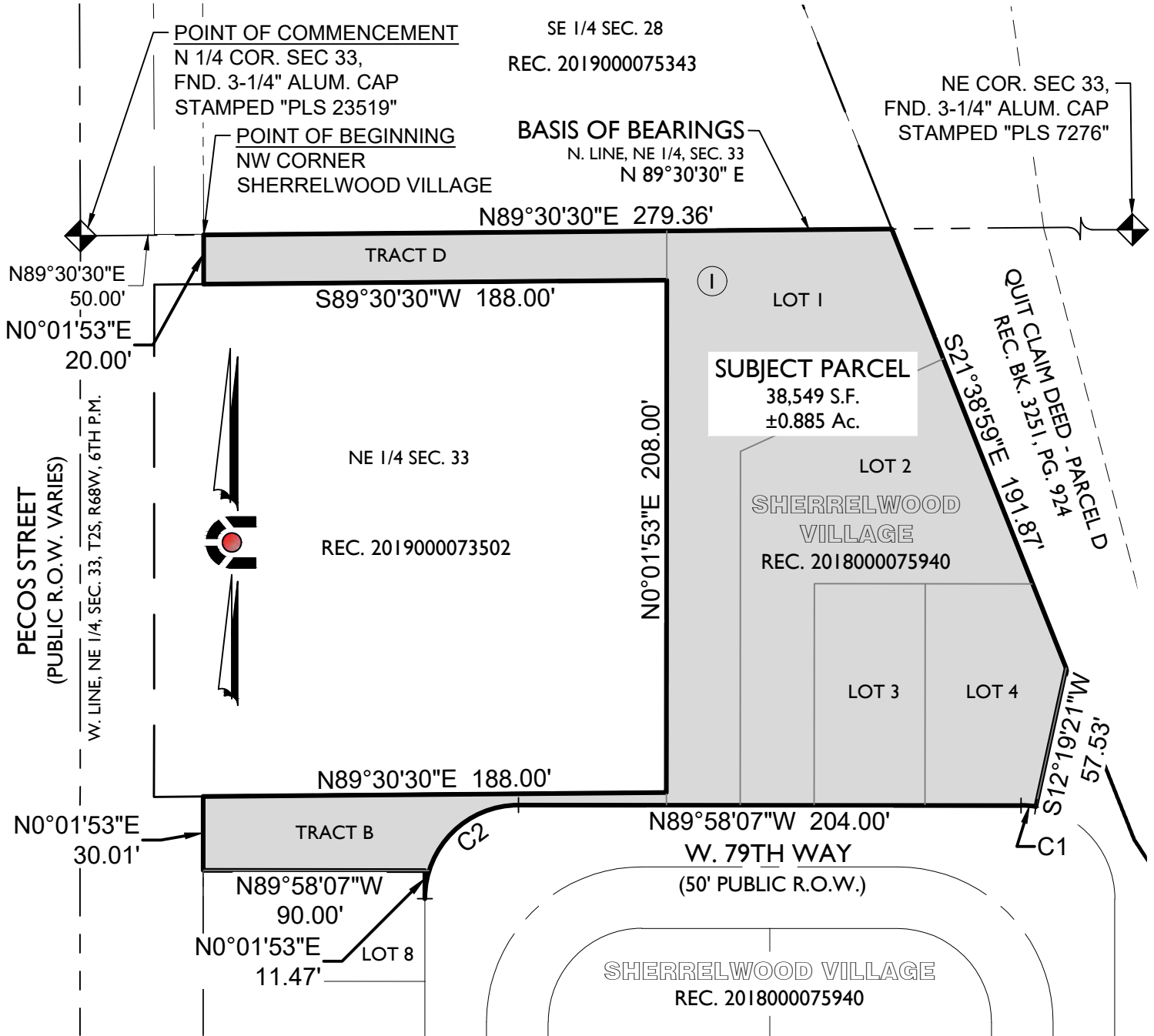


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EXHIBIT

NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO



CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	6.02'	38.00'	9°04'20"	N85°25'57"W	6.01'
C2	59.69'	38.00'	90°00'00"	S45°01'53"W	53.74'

NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
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EXHIBIT

NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ADAMS, COLORADO

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PORTION OF SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR
N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE S 10°57'17" E, A DISTANCE OF 262.37 FEET TO THE NORTHWEST CORNER OF LOT 8, BLOCK 2, SAID SHERRELWOOD VILLAGE PLAT AND THE POINT OF BEGINNING;

THENCE S 89°58'07" E, ALONG THE NORTH LINE OF SAID LOT 8, A DISTANCE OF 90.00 FEET;

THENCE S 00°01'53" W, A DISTANCE OF 11.47 FEET TO A POINT ON THE WEST LINE OF THE OSAGE STREET RIGHT-OF-WAY AND A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE WEST LINE OF THE OSAGE STREET RIGHT-OF-WAY AND ALONG THE NORTH LINE OF THE WEST 79TH WAY RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT, THE FOLLOWING THREE (3) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC LENGTH OF 59.69 FEET, THE CHORD OF WHICH BEARS N 45°01'53" E, A DISTANCE OF 53.74 FEET;
2. S 89°58'07" E, A DISTANCE OF 204.00 FEET TO A POINT OF CURVATURE;
3. ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09°04'20" AND AN ARC LENGTH OF 6.02 FEET TO THE SOUTHEAST CORNER OF LOT 4, BLOCK 1, SAID SHERRELWOOD VILLAGE PLAT;

THENCE N 12°19'21" E, ALONG THE SOUTHEAST LINE OF SAID LOT 4, A DISTANCE OF 57.53 FEET TO A POINT ON THE EAST LINE SAID SHERRELWOOD VILLAGE PLAT;

THENCE ALONG THE EAST, SOUTH AND WEST LINES OF SAID SHERRELWOOD VILLAGE PLAT, THE FOLLOWING NINE (9) COURSES:

1. S 21°38'59" E, A DISTANCE OF 75.05 FEET;
2. S 33°40'19" E, A DISTANCE OF 83.13 FEET;
3. S 14°37'52" E, A DISTANCE OF 76.08 FEET;
4. N 88°03'04" E, A DISTANCE OF 39.50 FEET;
5. S 01°01'29" E, A DISTANCE OF 259.37 FEET TO A POINT ON THE NORTH LINE OF THE ELMWOOD PARK SUBDIVISION, RECORDED AT RECEPTION NO. C0184761, SAID COUNTY RECORDS;
6. S 89°32'44" W, ALONG SAID NORTH LINE, A DISTANCE OF 611.65 FEET TO THE SOUTHWEST CORNER OF SAID SHERRELWOOD VILLAGE PLAT, AND THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;
7. N 00°01'53" E, ALONG SAID EAST LINE, A DISTANCE OF 556.60 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 307,507 SQUARE FEET OR 7.059 ACRES, MORE OR LESS.

THOMAS M. GIRARD
COLORADO PLS 38151
FOR AND ON BEHALF OF
CORE CONSULTANTS, INC.



NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
IT IS INTENDED ONLY TO DEPICT THE ATTACHED DESCRIPTION

PROJECT: 15-018
DATE: 05/05/2020
SHEET 1 OF 3

DR: J. ANTON
DS: T. GIRARD
P.M. T. GIRARD

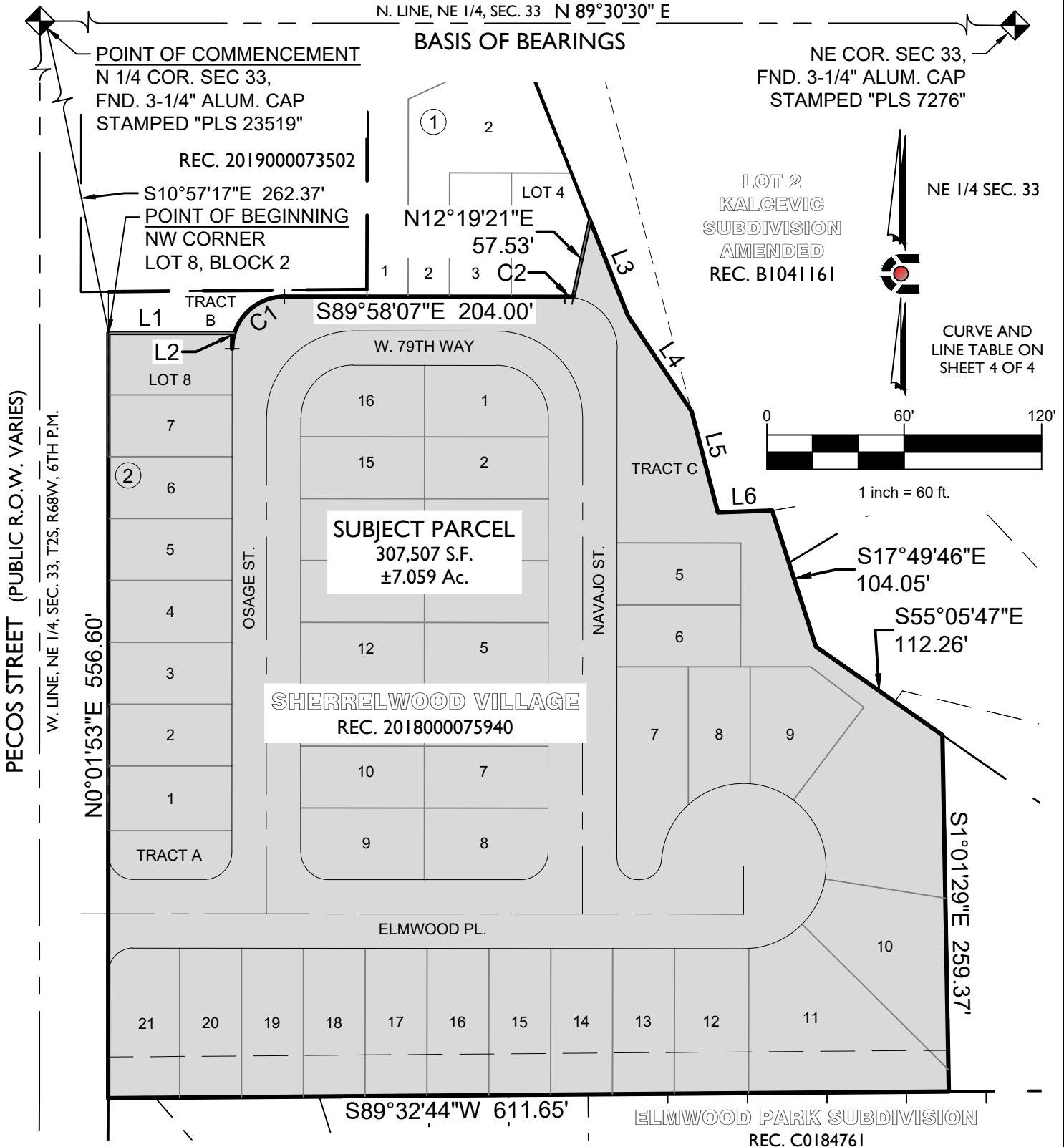


CORE
CONSULTANTS

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
NATURAL RESOURCES
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

EXHIBIT

NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO



EXHIBIT

NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
COUNTY OF ADAMS, COLORADO

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	90.00'	S 89°58'07" E
L2	11.47'	S 0°01'53" W
L3	75.05'	S 21°38'59" E
L4	83.13'	S 33°40'19" E
L5	76.08'	S 14°37'52" E
L6	39.50'	N 88°03'04" E

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	59.69'	38.00'	90°00'00"	N45°01'53"E	53.74'
C2	6.02'	38.00'	9°04'20"	S85°25'57"E	6.01'

NOTE: THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
IT IS INTENDED ONLY TO DEPICT THE ATTACHED DESCRIPTION

PROJECT: 15-018
DATE: 05/05/2020
SHEET 3 OF 3

DR: J. ANTON
DS: T. GIRARD
P.M. T. GIRARD



CORE
CONSULTANTS

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
NATURAL RESOURCES
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



**Land Title Guarantee Company
Customer Distribution**



PREVENT FRAUD - Please remember to call a member of our closing team when initiating a wire transfer or providing wiring instructions.

Order Number: **RND70700124-3**

Date: **05/14/2021**

Property Address: **7996 AND 8000 PECOS STREET AND 7957 OSAGE , DENVER, CO 80221**

PLEASE CONTACT YOUR CLOSER OR CLOSER'S ASSISTANT FOR WIRE TRANSFER INSTRUCTIONS

For Closing Assistance

For Title Assistance

SANDY JOHNSON
5975 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
(303) 850-4126 (Work)
sajohnson@ltgc.com

Agent for Seller

TERRACINA DESIGN
Attention: MICHAEL WEIHER
10200 E GIRARD AVE #A314
DENVER, CO 80231
(303) 632-8867 (Work)
mweiher@terracinadesign.com
Delivered via: Electronic Mail



Land Title Guarantee Company Estimate of Title Fees

Order Number: **RND70700124-3** Date: **05/14/2021**

Property Address: **7996 AND 8000 PECOS STREET AND 7957 OSAGE , DENVER, CO 80221**

Parties: **DELWEST DEVELOPMENT CORP., A COLORADO CORPORATION**

DELWEST DEVELOPMENT CORP, A COLORADO CORPORATION, AS TO THAT PORTION OF LAND DESCRIBED IN WARRANTY DEEDS RECORDED SEPTEMBER 5, 2019 UNDER RECEPTION NO. 2019000073502 AND SEPTEMBER 10, 2019 UNDER RECEPTION NO. 2019000075343 AND ELMWOOD POINTE LLC, A COLORADO LIMITED LIABILITY COMPANY, AS TO THAT PORTION OF LAND DESCRIBED IN QUIT CLAIM DEED RECORDED JUNE 10, 2019 UNDER RECEPTION NO. 2019000044105 AND SHIRLEY DUNOMES, AS TO THAT PORTION OF LAND DESCRIBED IN WARRANTY DEED RECORDED MARCH 31, 2020 UNDER RECEPTION NO. 2020000029034 AND 7840 PECOS INVESTMENTS LLC, A COLORADO LIMITED LIABILITY COMPANY, AS TO THAT PORTION OF LAND DESCRIBED IN SPECIAL WARRANTY DEED RECORDED DECEMBER 16, 2018 UNDER RECEPTION NO. 20150000104930

Visit Land Title's Website at www.ltgc.com for directions to any of our offices.

Estimate of Title insurance Fees	
"TBD" Commitment	\$423.00
RESEARCH INCOME-COMML	\$270.00
TBD - TBD Income	\$-693.00
	Total \$0.00
If Land Title Guarantee Company will be closing this transaction, the fees listed above will be collected at closing.	
Thank you for your order!	

Note: The documents linked in this commitment should be reviewed carefully. These documents, such as covenants conditions and restrictions, may affect the title, ownership and use of the property. You may wish to engage legal assistance in order to fully understand and be aware of the implications of the effect of these documents on your property.

Chain of Title Documents:

[Adams county recorded 06/10/2019 under reception no. 2019000044105](#)

[Adams county recorded 09/05/2019 under reception no. 2019000073502](#)

[Adams county recorded 09/10/2019 under reception no. 2019000075343](#)

[Adams county recorded 12/16/2015 under reception no. 20150000104930](#)

[Adams county recorded 03/31/2020 under reception no. 2020000029031](#)

Plat Map(s):

[Adams county recorded 09/18/2018 under reception no. 2018000075940](#)

ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule A

Order Number: RND70700124-3

Property Address:

7996 AND 8000 PECOS STREET AND 7957 OSAGE , DENVER, CO 80221

1. Effective Date:

05/07/2021 at 5:00 P.M.

2. Policy to be Issued and Proposed Insured:

"TBD" Commitment

\$0.00

Proposed Insured:

DELWEST DEVELOPMENT CORP., A COLORADO
CORPORATION

3. The estate or interest in the land described or referred to in this Commitment and covered herein is:

A FEE SIMPLE

4. Title to the estate or interest covered herein is at the effective date hereof vested in:

DELWEST DEVELOPMENT CORP, A COLORADO CORPORATION, AS TO THAT PORTION OF LAND DESCRIBED IN WARRANTY DEEDS RECORDED SEPTEMBER 5, 2019 UNDER RECEPTION NO. 2019000073502 AND SEPTEMBER 10, 2019 UNDER RECEPTION NO. 2019000075343 AND ELMWOOD POINTE LLC, A COLORADO LIMITED LIABILITY COMPANY, AS TO THAT PORTION OF LAND DESCRIBED IN QUIT CLAIM DEED RECORDED JUNE 10, 2019 UNDER RECEPTION NO. 2019000044105 AND SHIRLEY DUNOMES, AS TO THAT PORTION OF LAND DESCRIBED IN WARRANTY DEED RECORDED MARCH 31, 2020 UNDER RECEPTION NO. 2020000029034 AND 7840 PECOS INVESTMENTS LLC, A COLORADO LIMITED LIABILITY COMPANY, AS TO THAT PORTION OF LAND DESCRIBED IN SPECIAL WARRANTY DEED RECORDED DECEMBER 16, 2018 UNDER RECEPTION NO. 20150000104930

5. The Land referred to in this Commitment is described as follows:

A PARCEL OF LAND BEING TRACTS B & D, LOTS 1 THROUGH 4, BLOCK 1 AND A PORTION OF LOT 8, BLOCK 2, SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 TOGETHER WITH THAT PARCEL OF LAND DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000073502 AND THAT PARCEL OF LAND DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000075343, ALL IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS, ALSO BEING

ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule A

Order Number: RND70700124-3

THE NORTHWEST CORNER OF SAID SHERRELWOOD VILLAGE PLAT AND THE SOUTHWEST CORNER OF THAT PARCEL OF LAND DESCRIBED IN SAID DEED, RECEPTION NO. 2019000075343 AND THE POINT OF BEGINNING;

THENCE N 00°14'47" W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND THE WEST LINE OF SAID DEED, RECEPTION NO. 2019000075343, ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.01 FEET TO THE NORTHWEST CORNER OF SAID DEED, RECEPTION NO. 2019000075343;

THENCE S 82°41'00" E, CONTINUING ALONG THE PECOS STREET RIGHT-OF-WAY AND THE NORTH LINE OF SAID DEED, A DISTANCE OF 8.10 FEET TO A POINT ON THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY AND THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924, SAID COUNTY RECORDS;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D THE FOLLOWING THREE (3) COURSES:

1. S 76°46'55" E, A DISTANCE OF 178.58 FEET;

2. S 21°38'59" E, ALONG THE EAST LINES OF SAID DEED, RECEPTION NO. 2019000075343 AND THE EAST LINE OF SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 459.50 FEET TO THE EAST CORNER OF LOT 4, BLOCK 1;

THENCE S 12°19'21" W, ALONG THE SOUTHEAST LINE OF SAID LOT 4, BLOCK 1, A DISTANCE OF 57.53 FEET TO A POINT ON THE NORTH LINE OF WEST 79TH WAY RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT AND A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE NORTH LINE OF THE WEST 79TH WAY RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09°04'20" AND AN ARC LENGTH OF 6.02 FEET, THE CHORD OF WHICH BEARS N 85°27'57" W, A DISTANCE OF 6.01 FEET;

2. N 89°58'07" W, A DISTANCE OF 204.00 FEET TO A POINT OF CURVATURE;

3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC LENGTH OF 59.69 FEET;

THENCE N 00°01'53" E, A DISTANCE OF 11.47 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT B, SHERRELWOOD VILLAGE;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID TRACT B THE FOLLOWING TWO (2) COURSES:

1. N 89°58'07" W, A DISTANCE OF 90.00 FEET TO A POINT ON THE WEST LINE OF SAID SHERRELWOOD VILLAGE PLAT, ALSO BEING THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY;

2. N 00°01'53" E, ALONG SAID WEST LINE, A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID DEED RECORDED AT RECEPTION NO. 2019000073502;

THENCE ALONG THE SOUTH, EAST AND NORTH LINES OF SAID DEED, ALSO BEING THE SOUTH LINE OF THE PECOS STREET RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:

1. S 89°30'30" W, ALONG A LINE BEING PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

2. N 00°01'53" E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

3. N 89°30'30" E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT ON THE WEST LINE OF SAID SHERRELWOOD VILLAGE PLAT, ALSO BEING THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT, BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

THENCE N 00°01'53" E, ALONG SAID EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule A

Order Number: RND70700124-3

33, A DISTANCE OF 20.00 FEET TO THE NORTHWEST CORNER OF SAID SHERRELWOOD VILLAGE PLAT,
AND THE POINT OF BEGINNING.

LEGAL DESCRIPTION PREPARED BY:
THOMAS M GIRARAD
COLORADO PLS 38151
FOR AND ON BEHALF OF CORE CONSULTANTS, INC.
1950 W LITTLETON BLVD., STE. 109
LITTLETON, CO 80120

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ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule B, Part I

(Requirements)

Order Number: RND70700124-3

All of the following Requirements must be met:

This proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.

Pay the agreed amount for the estate or interest to be insured.

Pay the premiums, fees, and charges for the Policy to the Company.

Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.

THIS COMMITMENT IS FOR INFORMATION ONLY, AND NO POLICY WILL BE ISSUED PURSUANT HERETO.

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part II
(Exceptions)

Order Number: RND70700124-3

This commitment does not republish any covenants, condition, restriction, or limitation contained in any document referred to in this commitment to the extent that the specific covenant, conditions, restriction, or limitation violates state or federal law based on race, color, religion, sex, sexual orientation, gender identity, handicap, familial status, or national origin.

- 1. Any facts, rights, interests, or claims thereof, not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.**
- 2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.**
- 3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.**
- 4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.**
- 5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date of the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this Commitment.**
- 6. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.**
- 7. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water.**
- 8. EXISTING LEASES AND TENANCIES, IF ANY.**
- 9. RIGHTS OF THE PUBLIC IN AND TO ANY PORTION OF THE SUBJECT PROPERTY LYING WITHIN THE RIGHT OF WAY OF PECOS STREET.**
- 10. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN EXCLUSIVE EASEMENT FOR PIPELINE RECORDED DECEMBER 29, 1986 UNDER RECEPTION NO. [B705776](#).**
- 11. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS OF EASEMENT DESCRIBED WARRANTY DEED RECORDED APRIL 10, 1963 IN BOOK 1058 AT PAGE [371](#).**
- 12. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS OF EASEMENTS DESCRIBED IN DEED RECORDED DECEMBER 29, 1986 IN BOOK 3251 AT PAGE [924](#).**
- 13. TERMS, CONDITIONS AND PROVISIONS OF OPERATION AND MAINTENANCE MANUAL RECORDED APRIL 02, 2018 AT RECEPTION NO. [20180000026268](#).**
- 14. TERMS, CONDITIONS AND PROVISIONS OF RESOLUTION 2018-533 RECORDED AUGUST 16, 2018 AT RECEPTION NO. [2018000066629](#).**

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part II
(Exceptions)

Order Number: RND70700124-3

15. TERMS, CONDITIONS AND PROVISIONS OF RESOLUTION 20108-534 RECORDED AUGUST 16, 2018 AT RECEPTION NO. [2018000066681](#).
16. TERMS, CONDITIONS AND PROVISIONS OF PERMANENT DRAINAGE EASEMENT RECORDED SEPTEMBER 06, 2018 AT RECEPTION NO. [2018000072630](#) AND RECORDED APRIL 9, 2019 UNDER RECEPTION NO. [2019000025839](#).
17. EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF SHERRELWOOD VILLAGE RECORDED SEPTEMBER 18, 2018 UNDER RECEPTION NO. [2018000075940](#).

AFFIDAVIT OF PLAT CORRECTION RECORDED SEPTEMBER 4, 2019 UNDER RECEPTION NO. [2019000073330](#).
18. TERMS, CONDITIONS AND PROVISIONS OF SHERRELWOOD VILLAGE PLANNED UNIT DEVELOPMENT-FINAL DEVELOPMENT PLAN RECORDED SEPTEMBER 18, 2018 AT RECEPTION NO. [2018000075941](#).
19. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN COUNSTRUCTION AND DRAINAGE EASEMENT AGREEMENT RECORDED AUGUST 07, 2019 UNDER RECEPTION NO. [2019000063643](#).
20. RESTRICTIVE COVENANTS, WHICH DO NOT CONTAIN A FORFEITURE OR REVERTER CLAUSE, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS CONTAINED IN INSTRUMENT RECORDED NOVEMBER 08, 2019, UNDER RECEPTION NO. [2019000096873](#) AND FIRST SUPPLEMENTAL DECLARATION RECORDED MARCH 23, 2020 UNDER RECEPTION NO. [2020000024705](#).
21. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN LIMITED AMENDMENT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR ELMWOOD ESTATES (A PLANNED COMMUNITY) RECORDED MAY 07, 2020 UNDER RECEPTION NO. [2020000041819](#).
22. DEED OF TRUST, ASSIGNMENT OF LEASES AND RENTS, SECURITY AGREEMENT AND FIXTURE FILING, FROM ELMWOOD POINTE, LLC, A COLORADO LIMITED LIABILITY COMPANY TO THE PUBLIC TRUSTEE OF ADAMS COUNTY, COLORADO FOR THE USE OF MIDFIRST BANK, A FEDERALLLY CHARTERED SAVINGS ASSOCIATION AND ITS SUCCESSORS AND ASSIGNS TO SECURE THE SUM OF \$12,202,280.00 RECORDED JUNE 10, 2019, UNDER RECEPTION NO. [2019000044106](#).
23. DEED OF TRUST TO THE PUBLIC TRUSTEE, SECURITY AGREEMENT, AND FINANCING STATEMENT DATED DECEMBER 26, 2019, FROM DELWEST DEVELOPMENT CORP., A COLORADO CORPORATION TO THE PUBLIC TRUSTEE OF ADAMS COUNTY, COLORADO FOR THE USE OF MERCY LOAN FUND, A A COLORADO NON-PROFIT CORPORATION TO SECURE THE SUM OF \$1,250,000.00 RECORDED DECEMBER 30, 2019, UNDER RECEPTION NO. [2019000114918](#).

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part II
(Exceptions)

Order Number: RND70700124-3

24. DEED OF TRUST DATED MARCH 27, 2020 FROM SHIRLEY DUNOMES TO THE PUBLIC TRUSTEE OF ADAMS COUNTY FOR THE USE OF MORTGAGE ELECTRONIC REGISTRATION SYSTEMS, INC. UNITED WHOLESALE MORTGAGE TO SECURE THE SUM OF \$459,900.00, AND ANY OTHER AMOUNTS PAYABLE UNDER THE TERMS THEREOF, RECORDED MARCH 31, 2020, UNDER RECEPTION NO. [2020000029032](#).
25. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN RESOLUTION APPROVING APPLICATION IN CASE #PRC2020-00010; SHERRELWOOD VILLAGE PUD AMENDMENT RECORDED MARCH 11, 2021 UNDER RECEPTION NO. [2021000029929](#).



LAND TITLE GUARANTEE COMPANY DISCLOSURE STATEMENTS

Note: Pursuant to CRS 10-11-122, notice is hereby given that:

- (A) The Subject real property may be located in a special taxing district.
- (B) A certificate of taxes due listing each taxing jurisdiction will be obtained from the county treasurer of the county in which the real property is located or that county treasurer's authorized agent unless the proposed insured provides written instructions to the contrary. (for an Owner's Policy of Title Insurance pertaining to a sale of residential real property).
- (C) The information regarding special districts and the boundaries of such districts may be obtained from the Board of County Commissioners, the County Clerk and Recorder, or the County Assessor.

Note: Effective September 1, 1997, CRS 30-10-406 requires that all documents received for recording or filing in the clerk and recorder's office shall contain a top margin of at least one inch and a left, right and bottom margin of at least one half of an inch. The clerk and recorder may refuse to record or file any document that does not conform, except that, the requirement for the top margin shall not apply to documents using forms on which space is provided for recording or filing information at the top margin of the document.

Note: Colorado Division of Insurance Regulations 8-1-2 requires that "Every title entity shall be responsible for all matters which appear of record prior to the time of recording whenever the title entity conducts the closing and is responsible for recording or filing of legal documents resulting from the transaction which was closed". Provided that Land Title Guarantee Company conducts the closing of the insured transaction and is responsible for recording the legal documents from the transaction, exception number 5 will not appear on the Owner's Title Policy and the Lenders Policy when issued.

Note: Affirmative mechanic's lien protection for the Owner may be available (typically by deletion of Exception no. 4 of Schedule B, Section 2 of the Commitment from the Owner's Policy to be issued) upon compliance with the following conditions:

- (A) The land described in Schedule A of this commitment must be a single family residence which includes a condominium or townhouse unit.
- (B) No labor or materials have been furnished by mechanics or material-men for purposes of construction on the land described in Schedule A of this Commitment within the past 6 months.
- (C) The Company must receive an appropriate affidavit indemnifying the Company against un-filed mechanic's and material-men's liens.
- (D) The Company must receive payment of the appropriate premium.
- (E) If there has been construction, improvements or major repairs undertaken on the property to be purchased within six months prior to the Date of Commitment, the requirements to obtain coverage for unrecorded liens will include: disclosure of certain construction information; financial information as to the seller, the builder and or the contractor; payment of the appropriate premium fully executed Indemnity Agreements satisfactory to the company, and, any additional requirements as may be necessary after an examination of the aforesaid information by the Company.

No coverage will be given under any circumstances for labor or material for which the insured has contracted for or agreed to pay.

Note: Pursuant to CRS 10-11-123, notice is hereby given:

This notice applies to owner's policy commitments disclosing that a mineral estate has been severed from the surface estate, in Schedule B-2.

- (A) That there is recorded evidence that a mineral estate has been severed, leased, or otherwise conveyed from the surface estate and that there is substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property; and
- (B) That such mineral estate may include the right to enter and use the property without the surface owner's permission.

Note: Pursuant to CRS 10-1-128(6)(a), It is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance, and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado Division of Insurance within the Department of Regulatory Agencies.

Note: Pursuant to Colorado Division of Insurance Regulations 8-1-3, notice is hereby given of the availability of a closing protection letter for the lender, purchaser, lessee or seller in connection with this transaction.

Note: Pursuant to CRS 10-1-11(4)(a)(1), Colorado notaries may remotely notarize real estate deeds and other documents using real-time audio-video communication technology. You may choose not to use remote notarization for any document.



**JOINT NOTICE OF PRIVACY POLICY OF
LAND TITLE GUARANTEE COMPANY,
LAND TITLE GUARANTEE COMPANY OF SUMMIT COUNTY
LAND TITLE INSURANCE CORPORATION AND
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**

This Statement is provided to you as a customer of Land Title Guarantee Company as agent for Land Title Insurance Corporation and Old Republic National Title Insurance Company.

We want you to know that we recognize and respect your privacy expectations and the requirements of federal and state privacy laws. Information security is one of our highest priorities. We recognize that maintaining your trust and confidence is the bedrock of our business. We maintain and regularly review internal and external safeguards against unauthorized access to your non-public personal information ("Personal Information").

In the course of our business, we may collect Personal Information about you from:

- applications or other forms we receive from you, including communications sent through TMX, our web-based transaction management system;
 - your transactions with, or from the services being performed by us, our affiliates, or others;
 - a consumer reporting agency, if such information is provided to us in connection with your transaction;
- and
- The public records maintained by governmental entities that we obtain either directly from those entities, or from our affiliates and non-affiliates.

Our policies regarding the protection of the confidentiality and security of your Personal Information are as follows:

- We restrict access to all Personal Information about you to those employees who need to know that information in order to provide products and services to you.
- We may share your Personal Information with affiliated contractors or service providers who provide services in the course of our business, but only to the extent necessary for these providers to perform their services and to provide these services to you as may be required by your transaction.
- We maintain physical, electronic and procedural safeguards that comply with federal standards to protect your Personal Information from unauthorized access or intrusion.
- Employees who violate our strict policies and procedures regarding privacy are subject to disciplinary action.
- We regularly assess security standards and procedures to protect against unauthorized access to Personal Information.

WE DO NOT DISCLOSE ANY PERSONAL INFORMATION ABOUT YOU WITH ANYONE FOR ANY PURPOSE THAT IS NOT STATED ABOVE OR PERMITTED BY LAW.

Consistent with applicable privacy laws, there are some situations in which Personal Information may be disclosed. We may disclose your Personal Information when you direct or give us permission; when we are required by law to do so, for example, if we are served a subpoena; or when we suspect fraudulent or criminal activities. We also may disclose your Personal Information when otherwise permitted by applicable privacy laws such as, for example, when disclosure is needed to enforce our rights arising out of any agreement, transaction or relationship with you.

Our policy regarding dispute resolution is as follows: Any controversy or claim arising out of or relating to our privacy policy, or the breach thereof, shall be settled by arbitration in accordance with the rules of the American Arbitration Association, and judgment upon the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof.



Commitment For Title Insurance

Issued by Old Republic National Title Insurance Company

NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON. .

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, Old Republic National Title Insurance Company, a Minnesota corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured. If all of the Schedule B, Part I—Requirements have not been met within 6 months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements; and
- (f) Schedule B, Part II—Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - i. comply with the Schedule B, Part I—Requirements;
 - ii. eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
 - iii. acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.

- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

IN WITNESS WHEREOF, Land Title Insurance Corporation has caused its corporate name and seal to be affixed by its duly authorized officers on the date shown in Schedule A to be valid when countersigned by a validating officer or other authorized signatory.

Issued by:

Land Title Guarantee Company
3033 East First Avenue Suite 600
Denver, Colorado 80206
303-321-1880



Senior Vice President



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

By



President

Attest



Secretary

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Land Title Insurance Corporation. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part II
(Exceptions)

Order Number: RND70700124

This commitment does not republish any covenants, condition, restriction, or limitation contained in any document referred to in this commitment to the extent that the specific covenant, conditions, restriction, or limitation violates state or federal law based on race, color, religion, sex, sexual orientation, gender identity, handicap, familial status, or national origin.

- 1. Any facts, rights, interests, or claims thereof, not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.**
- 2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.**
- 3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.**
- 4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.**
- 5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date of the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this Commitment.**
- 6. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.**
- 7. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water.**
- 8. EXISTING LEASES AND TENANCIES, IF ANY.**
- 9. RIGHTS OF THE PUBLIC IN AND TO ANY PORTION OF THE SUBJECT PROPERTY LYING WITHIN THE RIGHT OF WAY OF PECOS STREET.**
- 10. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN EXCLUSIVE EASEMENT FOR PIPELINE RECORDED DECEMBER 29, 1986 UNDER RECEPTION NO. [B705776](#).**
- 11. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS OF EASEMENT DESCRIBED WARRANTY DEED RECORDED APRIL 10, 1963 IN BOOK 1058 AT PAGE [371](#).**
- 12. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS OF EASEMENTS DESCRIBED IN DEED RECORDED DECEMBER 29, 1986 IN BOOK 3251 AT PAGE [924](#).**
- 13. TERMS, CONDITIONS AND PROVISIONS OF OPERATION AND MAINTENANCE MANUAL RECORDED APRIL 02, 2018 AT RECEPTION NO. [20180000026268](#).**
- 14. TERMS, CONDITIONS AND PROVISIONS OF RESOLUTION 2018-533 RECORDED AUGUST 16, 2018 AT RECEPTION NO. [2018000066629](#).**

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part II
(Exceptions)

Order Number: RND70700124

15. TERMS, CONDITIONS AND PROVISIONS OF RESOLUTION 20108-534 RECORDED AUGUST 16, 2018 AT RECEPTION NO. [2018000066681](#).
16. TERMS, CONDITIONS AND PROVISIONS OF PERMANENT DRAINAGE EASEMENT RECORDED SEPTEMBER 06, 2018 AT RECEPTION NO. [2018000072630](#) AND RECORDED APRIL 9, 2019 UNDER RECEPTION NO. [2019000025839](#).
17. EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF SHERRELWOOD VILLAGE RECORDED SEPTEMBER 18, 2018 UNDER RECEPTION NO. [2018000075940](#).

AFFIDAVIT OF PLAT CORRECTION RECORDED SEPTEMBER 4, 2019 UNDER RECEPTION NO. [2019000073330](#).
18. TERMS, CONDITIONS AND PROVISIONS OF SHERRELWOOD VILLAGE PLANNED UNIT DEVELOPMENT-FINAL DEVELOPMENT PLAN RECORDED SEPTEMBER 18, 2018 AT RECEPTION NO. [2018000075941](#).
19. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN COUNSTRUCTION AND DRAINAGE EASEMENT AGREEMENT RECORDED AUGUST 07, 2019 UNDER RECEPTION NO. [2019000063643](#).
20. RESTRICTIVE COVENANTS, WHICH DO NOT CONTAIN A FORFEITURE OR REVERTER CLAUSE, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS CONTAINED IN INSTRUMENT RECORDED NOVEMBER 08, 2019, UNDER RECEPTION NO. [2019000096873](#) AND FIRST SUPPLEMENTAL DECLARATION RECORDED MARCH 23, 2020 UNDER RECEPTION NO. [2020000024705](#).
21. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN LIMITED AMENDMENT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR ELMWOOD ESTATES (A PLANNED COMMUNITY) RECORDED MAY 07, 2020 UNDER RECEPTION NO. [2020000041819](#).
22. DEED OF TRUST, ASSIGNMENT OF LEASES AND RENTS, SECURITY AGREEMENT AND FIXTURE FILING, FROM ELMWOOD POINTE, LLC, A COLORADO LIMITED LIABILITY COMPANY TO THE PUBLIC TRUSTEE OF ADAMS COUNTY, COLORADO FOR THE USE OF MIDFIRST BANK, A FEDERALLLY CHARTERED SAVINGS ASSOCIATION AND ITS SUCCESSORS AND ASSIGNS TO SECURE THE SUM OF \$12,202,280.00 RECORDED JUNE 10, 2019, UNDER RECEPTION NO. [2019000044106](#).
23. DEED OF TRUST TO THE PUBLIC TRUSTEE, SECURITY AGREEMENT, AND FINANCING STATEMENT DATED DECEMBER 26, 2019, FROM DELWEST DEVELOPMENT CORP., A COLORADO CORPORATION TO THE PUBLIC TRUSTEE OF ADAMS COUNTY, COLORADO FOR THE USE OF MERCY LOAN FUND, A A COLORADO NON-PROFIT CORPORATION TO SECURE THE SUM OF \$1,250,000.00 RECORDED DECEMBER 30, 2019, UNDER RECEPTION NO. [2019000114918](#).

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part II
(Exceptions)

Order Number: RND70700124

24. DEED OF TRUST DATED MARCH 27, 2020 FROM SHIRLEY DUNOMES TO THE PUBLIC TRUSTEE OF ADAMS COUNTY FOR THE USE OF MORTGAGE ELECTRONIC REGISTRATION SYSTEMS, INC. UNITED WHOLESALE MORTGAGE TO SECURE THE SUM OF \$459,900.00, AND ANY OTHER AMOUNTS PAYABLE UNDER THE TERMS THEREOF, RECORDED MARCH 31, 2020, UNDER RECEPTION NO. [2020000029032](#).



LAND TITLE GUARANTEE COMPANY DISCLOSURE STATEMENTS

Note: Pursuant to CRS 10-11-122, notice is hereby given that:

- (A) The Subject real property may be located in a special taxing district.
- (B) A certificate of taxes due listing each taxing jurisdiction will be obtained from the county treasurer of the county in which the real property is located or that county treasurer's authorized agent unless the proposed insured provides written instructions to the contrary. (for an Owner's Policy of Title Insurance pertaining to a sale of residential real property).
- (C) The information regarding special districts and the boundaries of such districts may be obtained from the Board of County Commissioners, the County Clerk and Recorder, or the County Assessor.

Note: Effective September 1, 1997, CRS 30-10-406 requires that all documents received for recording or filing in the clerk and recorder's office shall contain a top margin of at least one inch and a left, right and bottom margin of at least one half of an inch. The clerk and recorder may refuse to record or file any document that does not conform, except that, the requirement for the top margin shall not apply to documents using forms on which space is provided for recording or filing information at the top margin of the document.

Note: Colorado Division of Insurance Regulations 8-1-2 requires that "Every title entity shall be responsible for all matters which appear of record prior to the time of recording whenever the title entity conducts the closing and is responsible for recording or filing of legal documents resulting from the transaction which was closed". Provided that Land Title Guarantee Company conducts the closing of the insured transaction and is responsible for recording the legal documents from the transaction, exception number 5 will not appear on the Owner's Title Policy and the Lenders Policy when issued.

Note: Affirmative mechanic's lien protection for the Owner may be available (typically by deletion of Exception no. 4 of Schedule B, Section 2 of the Commitment from the Owner's Policy to be issued) upon compliance with the following conditions:

- (A) The land described in Schedule A of this commitment must be a single family residence which includes a condominium or townhouse unit.
- (B) No labor or materials have been furnished by mechanics or material-men for purposes of construction on the land described in Schedule A of this Commitment within the past 6 months.
- (C) The Company must receive an appropriate affidavit indemnifying the Company against un-filed mechanic's and material-men's liens.
- (D) The Company must receive payment of the appropriate premium.
- (E) If there has been construction, improvements or major repairs undertaken on the property to be purchased within six months prior to the Date of Commitment, the requirements to obtain coverage for unrecorded liens will include: disclosure of certain construction information; financial information as to the seller, the builder and or the contractor; payment of the appropriate premium fully executed Indemnity Agreements satisfactory to the company, and, any additional requirements as may be necessary after an examination of the aforesaid information by the Company.

No coverage will be given under any circumstances for labor or material for which the insured has contracted for or agreed to pay.

Note: Pursuant to CRS 10-11-123, notice is hereby given:

This notice applies to owner's policy commitments disclosing that a mineral estate has been severed from the surface estate, in Schedule B-2.

- (A) That there is recorded evidence that a mineral estate has been severed, leased, or otherwise conveyed from the surface estate and that there is substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property; and
- (B) That such mineral estate may include the right to enter and use the property without the surface owner's permission.

Note: Pursuant to CRS 10-1-128(6)(a), It is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance, and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado Division of Insurance within the Department of Regulatory Agencies.

Note: Pursuant to Colorado Division of Insurance Regulations 8-1-3, notice is hereby given of the availability of a closing protection letter for the lender, purchaser, lessee or seller in connection with this transaction.



**JOINT NOTICE OF PRIVACY POLICY OF
LAND TITLE GUARANTEE COMPANY,
LAND TITLE GUARANTEE COMPANY OF SUMMIT COUNTY
LAND TITLE INSURANCE CORPORATION AND
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**

This Statement is provided to you as a customer of Land Title Guarantee Company as agent for Land Title Insurance Corporation and Old Republic National Title Insurance Company.

We want you to know that we recognize and respect your privacy expectations and the requirements of federal and state privacy laws. Information security is one of our highest priorities. We recognize that maintaining your trust and confidence is the bedrock of our business. We maintain and regularly review internal and external safeguards against unauthorized access to your non-public personal information ("Personal Information").

In the course of our business, we may collect Personal Information about you from:

- applications or other forms we receive from you, including communications sent through TMX, our web-based transaction management system;
 - your transactions with, or from the services being performed by us, our affiliates, or others;
 - a consumer reporting agency, if such information is provided to us in connection with your transaction;
- and
- The public records maintained by governmental entities that we obtain either directly from those entities, or from our affiliates and non-affiliates.

Our policies regarding the protection of the confidentiality and security of your Personal Information are as follows:

- We restrict access to all Personal Information about you to those employees who need to know that information in order to provide products and services to you.
- We may share your Personal Information with affiliated contractors or service providers who provide services in the course of our business, but only to the extent necessary for these providers to perform their services and to provide these services to you as may be required by your transaction.
- We maintain physical, electronic and procedural safeguards that comply with federal standards to protect your Personal Information from unauthorized access or intrusion.
- Employees who violate our strict policies and procedures regarding privacy are subject to disciplinary action.
- We regularly assess security standards and procedures to protect against unauthorized access to Personal Information.

WE DO NOT DISCLOSE ANY PERSONAL INFORMATION ABOUT YOU WITH ANYONE FOR ANY PURPOSE THAT IS NOT STATED ABOVE OR PERMITTED BY LAW.

Consistent with applicable privacy laws, there are some situations in which Personal Information may be disclosed. We may disclose your Personal Information when you direct or give us permission; when we are required by law to do so, for example, if we are served a subpoena; or when we suspect fraudulent or criminal activities. We also may disclose your Personal Information when otherwise permitted by applicable privacy laws such as, for example, when disclosure is needed to enforce our rights arising out of any agreement, transaction or relationship with you.

Our policy regarding dispute resolution is as follows: Any controversy or claim arising out of or relating to our privacy policy, or the breach thereof, shall be settled by arbitration in accordance with the rules of the American Arbitration Association, and judgment upon the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof.



Commitment For Title Insurance

Issued by Old Republic National Title Insurance Corporation

NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON. .

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, Old Republic National Title Insurance Company, a Minnesota corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured. If all of the Schedule B, Part I—Requirements have not been met within 6 months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements; and
- (f) Schedule B, Part II—Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - i. comply with the Schedule B, Part I—Requirements;
 - ii. eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
 - iii. acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.

- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

IN WITNESS WHEREOF, Land Title Insurance Corporation has caused its corporate name and seal to be affixed by its duly authorized officers on the date shown in Schedule A to be valid when countersigned by a validating officer or other authorized signatory.

Issued by:
Land Title Guarantee Company
3033 East First Avenue Suite 600
Denver, Colorado 80206
303-321-1880



Senior Vice President



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

By



President

Attest



Secretary

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Land Title Insurance Corporation. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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Stewart Title Guaranty Company Commercial Services
(Denver)
55 Madison Street, Suite 400
Denver, CO 80206

Date: May 28, 2021
File Number: 21000310549
Property: Sherrlwood Village Plat Correction 1, CO

Please direct all Title inquiries to:

Darrick Fehringer
Phone: (303) 780-4050
Email Address: darrick.fehringer@stewart.com

REQUESTED BY:
Terracina Design
Delivery Method: Emailed

OWNERS:
Elmwood North LLC, a Colorado limited liability company,
7840 Pecos Investments LLC, a Colorado limited liability
company,
Shirley Dunomes

ATTACHED PLEASE FIND THE FOLLOWING:

Linked Informational Commitment

We Appreciate Your Business and Look Forward to Serving You in the Future.



ALTA COMMITMENT FOR TITLE INSURANCE

ISSUED BY
STEWART TITLE GUARANTY COMPANY

NOTICE

IMPORTANT - READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I - Requirements; Schedule B, Part II - Exceptions; and the Commitment Conditions, STEWART TITLE GUARANTY COMPANY, a Texas corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I - Requirements have not been met within six months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.


Countersigned by:


Authorized Countersignature

Stewart Title Guaranty Company
55 Madison Street, Suite 400
Denver, CO 80206
(303) 331-0333
Agent ID: 06J050




Frederick H. Eppinger
President and CEO


David Hisey
Secretary

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File No. 21000310549

ALTA Commitment For Title Insurance 8-1-16 (4-2-18)

Page 1 of 3



COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I - Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I - Requirements;
- (f) Schedule B, Part II - Exceptions; and
- (g) a countersignature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - (i) comply with the Schedule B, Part I - Requirements;
 - (ii) eliminate, with the Company's written consent, any Schedule B, Part II - Exceptions; or
 - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.

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File No. 21000310549

ALTA Commitment For Title Insurance 8-1-16 (4-2-18)

Page 2 of 3



- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I - Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II - Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

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8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <<http://www.alta.org/arbitration>>.

STEWART TITLE GUARANTY COMPANY

All notices required to be given the Company and any statement in writing required to be furnished the Company shall be addressed to it at P.O. Box 2029, Houston, Texas 77252-2029.

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File No. 21000310549

ALTA Commitment For Title Insurance 8-1-16 (4-2-18)

Page 3 of 3



ALTA COMMITMENT FOR TITLE INSURANCE SCHEDULE A

ISSUED BY
STEWART TITLE GUARANTY COMPANY

Transaction Identification Data for reference only:

Issuing Agent: Stewart Title Guaranty Company
Issuing Office: 55 Madison Street, Suite 400, Denver, CO 80206
Issuing Office's ALTA® Registry ID: 1027978
Loan ID Number: N/A
Commitment Number: 21000310549
Issuing Office File Number: 21000310549
Property Address: Sherrlwood Village Plat Correction 1, CO
Revision Number:

1. Commitment Date: May 21, 2021 at 5:30 P.M.

2. Policy to be issued:

Proposed Policy Amount

(a) ALTA Owner's Policy

(b) ALTA Loan Policy

3. The estate or interest in the Land described or referred to in this Commitment is:

Fee Simple

4. The Title is, at the Commitment Date, vested in:

Elmwood North LLC, a Colorado limited liability company, as to Parcel I,
7840 Pecos Investments LLC, a Colorado limited liability company, as to Parcel II,
Shirley Dunomes, as to Parcel III.

5. The Land is described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

STEWART TITLE GUARANTY COMPANY

STATEMENT OF CHARGES

These charges are due and payable
before a policy can be issued
See Attached Statement of Charges


Authorized Countersignature

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File No. 21000310549

CO ALTA Commitment For Title Insurance Schedule 8-1-16 (4-2-18)

Page 1 of 4



ALTA COMMITMENT FOR TITLE INSURANCE SCHEDULE A

ISSUED BY
STEWART TITLE GUARANTY COMPANY

EXHIBIT "A" SCHEDULE A

LEGAL DESCRIPTION

A portion of the land described on Plat of SHERRELWOOD VILLAGE, recorded September 18, 2018 at [Reception No. 2018000075940](#):

Bearings for this description are based on the North line of the Northeast Quarter of Section 33, Township 2 South, Range 68 West of the Sixth P.M., being assumed to bear N 89°30'30" E, from the North Quarter Corner of said Section 33, being a 3-1/4" aluminum cap in Range Box, PLS 7276 with all bearings contained herein relative thereto;

Commencing at the North quarter corner of said Section 33,

Thence N 89°30'30" E, along said North line, a distance of 30.00 Feet to a point on the East line of the Pecos Street Right-of-Way, and the Point of Beginning;

Thence N 89°30'30" E, along the North line of said Northeast quarter, also being the South line of that parcel of land recorded in [Book 3254 at Page 139](#) in the records of the Adams County Clerk and Recorder, a distance of 299.36 Feet to a point on the West line of that parcel of land recorded in [Book 3251 at Page 924](#), said Adams County Records;

Thence along the West lines of said parcel of land, the following Two (2) courses:

1. S 21°38'59" E, a distance of 266.92 Feet;
2. S 33°40'19" E, a distance of 83.13 Feet to a point on the West line of Lot 2, Kalcevic Subdivision Amended, as recorded at [Reception No. B1041161](#), said Adams County Records;

Thence along the West lines of Lot 2 and Lot 1, Said Kalcevic Subdivision amended, the following Four (4) courses:

1. S 14°37'52" E, a distance of 76.08 Feet;
2. N 88°03'04" E, a distance of 39.50 Feet;
3. S 17°49'46" E, a distance of 104.05 Feet;
4. S 55°05'47" E, a distance of 112.26 Feet;

Thence S 01°01'29" E, a distance of 259.37 to a point on the North Line of the Elmwood Park Subdivision, as recorded at [Reception No. CO184761](#), said Adams County Records;

Thence S 89°32'44" W, along the North line of said Elmwood Park Subdivision, a distance of 631.65 feet to a point on the East line of the Pecos Street Right-of-Way;

Thence N 00°01'53" E, along said East line of the Pecos Street Right-of-Way, a distance of 586.61 Feet to the Southwest corner of that exception parcel recorded in [Book 746, at Page 180](#) of Said Adams County Records;

Thence N 89°30'30" E, along the South line of said exception parcel, a distance of 208.00 Feet to the Southeast corner of said exception parcel;

Thence N 00°01'53" E, along a line being parallel to the West line of the Northeast quarter of said Section 33, a distance of 208.00 feet to a point being 20.00 Feet South of the North line of the Northeast quarter of Said Section 33;

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File No. 21000310549

CO ALTA Commitment For Title Insurance Schedule 8-1-16 (4-2-18)

Page 2 of 4



ALTA COMMITMENT FOR TITLE INSURANCE

SCHEDULE A

ISSUED BY
STEWART TITLE GUARANTY COMPANY

Thence S 89°30'30" W, along a line being 20.00 Feet South of and parallel to the North line of the Northeast quarter of said said Section 33, a distance of 208.00 Feet to the Northwest corner of said exception parcel and a point on the East line of the Pecos Street Right-of-Way;

Thence N 00°01'53" E, along the East line of said Pecos Street Right-of-Way, a distance of 20.00 Feet to the Point of Beginning.
County of Adams,
State of Colorado.

MORE PARTICULARLY DESCRIBED AS:

PARCEL I:
Lots 1 through 4, Block 1,
SHERRELWOOD VILLAGE,
County of Adams,
State of Colorado.

PARCEL II:
Tract B and Tract D,
SHERRELWOOD VILLAGE,
County of Adams,
State of Colorado.

PARCEL III:
Lot 8, Block 2,
SHERRELWOOD VILLAGE,
County of Adams,
State of Colorado.

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File No. 21000310549

CO ALTA Commitment For Title Insurance Schedule 8-1-16 (4-2-18)

Page 3 of 4



ALTA COMMITMENT FOR TITLE INSURANCE SCHEDULE A

ISSUED BY
STEWART TITLE GUARANTY COMPANY

STATEMENT OF CHARGES

Informational Commitment
FEE: \$500.00

Tax Information:
(Sch. # 0171933124035
0171933124036
0171933124037
0171933124038
0171933124039
0171933124057
0171933124058):

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File No. 21000310549

CO ALTA Commitment For Title Insurance Schedule 8-1-16 (4-2-18)

Page 4 of 4



ALTA COMMITMENT FOR TITLE INSURANCE

SCHEDULE B PART I

ISSUED BY
STEWART TITLE GUARANTY COMPANY

Requirements

File No.: 21000310549

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. Proper instrument(s) creating the estate or interest to be insured must be executed and duly filed for record:

NONE

NOTE: This product is for informational purposes only. It is not a title insurance product and does not provide any form of coverage. This product is not a guarantee or assurance and does not warrant, or otherwise insure any condition, fact or circumstance. This product does not obligate this Company to issue any policies of title insurance for any subsequent transaction based on the information provided or involving the property described herein. This Company's sole liability for any error(s) relating to this product is limited to the amount that was paid for this product.

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File No. 21000310549

ALTA Commitment For Title Insurance Schedule 8-1-16 (4-2-18)

Page 1 of 1



ALTA COMMITMENT FOR TITLE INSURANCE

SCHEDULE B PART II

ISSUED BY
STEWART TITLE GUARANTY COMPANY

Exceptions

File No.: 21000310549

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Rights or claims of parties in possession, not shown by the public records.
2. Easements, or claims of easements, not shown by the public records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the Land and not shown by the public records.
4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I - Requirements are met.
6. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) minerals of whatsoever kind, subsurface and surface substances, in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not the matters excepted under (a), (b) or (c) are shown by the Public Records or listed in Schedule B.
7. Water rights, claims or title to water.
8. Any and all unpaid taxes and assessments and any unredeemed tax sales.
9. Terms, conditions, provisions, burdens and obligations of Easements described in Deed recorded December 29, 1986, in [Book 3251 at Page 924](#).
10. Operation and Maintenance Manual for Sherrelwood Village recorded April 2, 2018, at [Reception No. 2018000026268](#).
11. Resolution 2018-533 Approving Application in Case #PRC2016-00008, recorded August 16, 2018, at [Reception No. 2018000066629](#).
12. Resolution 20108-534 Approving Subdivision Improvements Agreement, recorded August 16, 2018, at [Reception No. 2018000066681](#).

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File No. 21000310549

CO ALTA Commitment For Title Insurance Schedule 8-1-16 (4-2-18) COM

Page 1 of 2



ALTA COMMITMENT FOR TITLE INSURANCE

SCHEDULE B PART II

ISSUED BY
STEWART TITLE GUARANTY COMPANY

Exceptions

13. Deed of Perpetual Underground Waterline Easement, recorded August 30, 2018, at [Reception No. 2018000070760](#).
14. Planned Unit Development Plan, recorded September 18, 2018, at [Reception No. 2018000075941](#).
15. Easements, notes, restrictions and rights-of-way, as set forth on the plat of Sherrelwood Village, recorded September 18, 2018, at [Reception No. 2018000075940](#).
NOTE: Affidavit of plat Correction, recorded September 4, 2019, at [Reception No. 2019000073330](#).
16. Construction and Drainage Easement Agreement, recorded September 7, 2019, at [Reception No. 2019000063643](#).
17. Declaration of Covenants, Conditions, and Restrictions, recorded November 11, 2019, at [Reception No. 2019000096873](#).
NOTE: First Supplemental Declaration, recorded March 23, 2020, at [Reception No. 2020000024705](#).
NOTE: Limited Amendment, recorded May 7, 2020, at [Reception No. 2020000041819](#).
18. Deed of Trust dated March , executed by Shirley Dunomes, to the Public Trustee of Adams County, securing indebtedness in the amount of \$459,900.00, in favor of United Wholesale Mortgage, recorded March 31, 2020, as [Reception No. 2020000029032](#).
NOTE: As to Parcel III.
19. Resolution 2021-177 Approving Application in Case #PRC2020-0001- recorded March 11, 2021 at [Reception No. 2021000029929](#).
20. Deed of Trust dated May 10, 2021, executed by Elmwood North LLC, a Colorado limited liability company, to the Public Trustee of Adams County, securing indebtedness in the amount of \$1,080,000.00, in favor of First American State Bank, recorded May 13, 2021, as [Reception No. 2021000058942](#).
NOTE: As to Parcel I.
21. Existing leases and tenancies.
NOTE: Upon receipt by the Company of the Commercial Lien Affidavit, this exception may be modified or deleted.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a countersignature by the Company or its issuing agent that may be in electronic form.

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File No. 21000310549

CO ALTA Commitment For Title Insurance Schedule 8-1-16 (4-2-18) COM

Page 2 of 2





Stewart Title Guaranty Company -
Commercial Services
55 Madison Street, Suite 400
Denver, CO 80206
Phone
Fax

MINERAL DISCLOSURE

To comply with the provisions of C.R.S. 10-11-123, the Company makes the following disclosure:

- a. That there is recorded evidence that a mineral estate has been severed, leased or otherwise conveyed from the surface estate and that there is a substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property; and
- b. That such mineral estate may include the right to enter and use the property without the surface owner's permission.

NOTE: THIS DISCLOSURE APPLIED ONLY IF SCHEDULE B, SECTION 2 OF THE TITLE COMMITMENT HEREIN INCLUDES AN EXCEPTION FOR SEVERED MINERALS.

STG Privacy Notice Stewart Title Companies

WHAT DO THE STEWART TITLE COMPANIES DO WITH YOUR PERSONAL INFORMATION?

Federal and applicable state law and regulations give consumers the right to limit some but not all sharing. Federal and applicable state law regulations also require us to tell you how we collect, share, and protect your personal information. Please read this notice carefully to understand how we use your personal information. This privacy notice is distributed on behalf of the Stewart Title Guaranty Company and its title affiliates (the Stewart Title Companies), pursuant to Title V of the Gramm-Leach-Bliley Act (GLBA).

The types of personal information we collect and share depend on the product or service that you have sought through us. This information can include social security numbers and driver's license number.

All financial companies, such as the Stewart Title Companies, need to share customers' personal information to run their everyday business—to process transactions and maintain customer accounts. In the section below, we list the reasons that we can share customers' personal information; the reasons that we choose to share; and whether you can limit this sharing.

Reasons we can share your personal information.	Do we share	Can you limit this sharing?
For our everyday business purposes — to process your transactions and maintain your account. This may include running the business and managing customer accounts, such as processing transactions, mailing, and auditing services, and responding to court orders and legal investigations.	Yes	No
For our marketing purposes — to offer our products and services to you.	Yes	No
For joint marketing with other financial companies	No	We don't share
For our affiliates' everyday business purposes — information about your transactions and experiences. Affiliates are companies related by common ownership or control. They can be financial and non-financial companies. <i>Our affiliates may include companies with a Stewart name; financial companies, such as Stewart Title Company</i>	Yes	No
For our affiliates' everyday business purposes — information about your creditworthiness.	No	We don't share
For our affiliates to market to you — For your convenience, Stewart has developed a means for you to opt out from its affiliates marketing even though such mechanism is not legally required.	Yes	Yes, send your first and last name, the email address used in your transaction, your Stewart file number and the Stewart office location that is handling your transaction by email to optout@stewart.com or fax to 1-800-335-9591.
For non-affiliates to market to you. Non-affiliates are companies not related by common ownership or control. They can be financial and non-financial companies.	No	We don't share

We may disclose your personal information to our affiliates or to non-affiliates as permitted by law. If you request a transaction with a non-affiliate, such as a third party insurance company, we will disclose your personal information to that non-affiliate. [We do not control their subsequent use of information, and suggest you refer to their privacy notices.]

SHARING PRACTICES

How often do the Stewart Title Companies notify me about their practices?	We must notify you about our sharing practices when you request a transaction.
How do the Stewart Title Companies protect my personal information?	To protect your personal information from unauthorized access and use, we use security measures that comply with federal law. These measures include computer, file, and building safeguards.
How do the Stewart Title Companies collect my personal information?	<p>We collect your personal information, for example, when you</p> <ul style="list-style-type: none"> ▪ request insurance-related services ▪ provide such information to us <p>We also collect your personal information from others, such as the real estate agent or lender involved in your transaction, credit reporting agencies, affiliates or other companies.</p>
What sharing can I limit?	Although federal and state law give you the right to limit sharing (e.g., opt out) in certain instances, we do not share your personal information in those instances.

Contact us: If you have any questions about this privacy notice, please contact us at: Stewart Title Guaranty Company, 1360 Post Oak Blvd., Ste. 100, Privacy Officer, Houston, Texas 77056

Privacy Notice for California Residents

Pursuant to the California Consumer Privacy Act of 2018 ("CCPA"), Stewart Information Services Corporation and its subsidiary companies (collectively, "Stewart") are providing this **Privacy Notice for California Residents** ("CCPA Notice"). This CCPA Notice supplements the information contained in Stewart's existing privacy notice and applies solely to all visitors, users and others who reside in the State of California or are considered California Residents ("consumers" or "you"). Terms used but not defined shall have the meaning ascribed to them in the CCPA.

Information Stewart Collects

Stewart collects information that identifies, relates to, describes, references, is capable of being associated with, or could reasonably be linked, directly or indirectly, with a particular consumer, household, or device. Most of the information that Stewart collects in the course of its regular business is already protected pursuant to the Gramm-Leach-Bliley Act (GLBA). Additionally, much of this information comes from government records or other information already in the public domain. Personal information under the CCPA does not include:

- Publicly available information from government records.
- Deidentified or aggregated consumer information.
- Certain personal information protected by other sector-specific federal or California laws, including but not limited to the Fair Credit Reporting Act (FCRA), GLBA and California Financial Information Privacy Act (FIPA).

Specifically, Stewart has collected the following categories of personal information from consumers within the last twelve (12) months:

Category	Examples	Collected?
A. Identifiers.	A real name, alias, postal address, unique personal identifier, online identifier, Internet Protocol address, email address, account name, Social Security number, driver's license number, passport number, or other similar identifiers.	YES
B. Personal information categories listed in the California Customer Records statute (Cal. Civ. Code § 1798.80(e)).	A name, signature, Social Security number, physical characteristics or description, address, telephone number, passport number, driver's license or state identification card number, insurance policy number, education, employment, employment history, bank account number, credit card number, debit card number, or any other financial information, medical information, or health insurance information. Some personal information included in this category may overlap with other categories.	YES
C. Protected classification characteristics under California or federal law.	Age (40 years or older), race, color, ancestry, national origin, citizenship, religion or creed, marital status, medical condition, physical or mental disability, sex (including gender, gender identity, gender expression, pregnancy or childbirth and related medical conditions), sexual orientation, veteran or military status, genetic information (including familial genetic information).	YES
D. Commercial information.	Records of personal property, products or services purchased, obtained, or considered, or other purchasing or consuming histories or tendencies.	YES
E. Biometric information.	Genetic, physiological, behavioral, and biological characteristics, or activity patterns used to extract a template or other identifier or identifying information, such as, fingerprints, faceprints, and voiceprints, iris or retina scans, keystroke, gait, or other physical patterns, and sleep, health, or exercise data.	YES
F. Internet or other similar network activity.	Browsing history, search history, information on a consumer's interaction with a website, application, or advertisement.	YES
G. Geolocation data.	Physical location or movements.	YES
H. Sensory data.	Audio, electronic, visual, thermal, olfactory, or similar information.	YES
I. Professional or employment-related information.	Current or past job history or performance evaluations.	YES
J. Non-public education information (per the Family Educational Rights and Privacy Act (20 U.S.C. Section 1232g, 34 C.F.R. Part 99)).	Education records directly related to a student maintained by an educational institution or party acting on its behalf, such as grades, transcripts, class lists, student schedules, student identification codes, student financial information, or student disciplinary records.	YES
K. Inferences drawn from other personal information.	Profile reflecting a person's preferences, characteristics, psychological trends, predispositions, behavior, attitudes, intelligence, abilities, and aptitudes.	YES

Stewart obtains the categories of personal information listed above from the following categories of sources:

- Directly and indirectly from customers, their designees or their agents (For example, realtors, lenders, attorneys, etc.)
- Directly and indirectly from activity on Stewart's website or other applications.
- From third-parties that interact with Stewart in connection with the services we provide.

Use of Personal Information

Stewart may use or disclose the personal information we collect for one or more of the following purposes:

- To fulfill or meet the reason for which the information is provided.
- To provide, support, personalize, and develop our website, products, and services.
- To create, maintain, customize, and secure your account with Stewart.
- To process your requests, purchases, transactions, and payments and prevent transactional fraud.
- To prevent and/or process claims.
- To assist third party vendors/service providers who complete transactions or perform services on Stewart's behalf.
- As necessary or appropriate to protect the rights, property or safety of Stewart, our customers or others.
- To provide you with support and to respond to your inquiries, including to investigate and address your concerns and monitor and improve our responses.
- To personalize your website experience and to deliver content and product and service offerings relevant to your interests, including targeted offers and ads through our website, third-party sites, and via email or text message (with your consent, where required by law).
- To help maintain the safety, security, and integrity of our website, products and services, databases and other technology assets, and business.
- To respond to law enforcement or regulator requests as required by applicable law, court order, or governmental regulations.
- Auditing for compliance with federal and state laws, rules and regulations.
- Performing services including maintaining or servicing accounts, providing customer service, processing or fulfilling orders and transactions, verifying customer information, processing payments, providing advertising or marketing services or other similar services.
- To evaluate or conduct a merger, divestiture, restructuring, reorganization, dissolution, or other sale or transfer of some or all of our assets, whether as a going concern or as part of bankruptcy, liquidation, or similar proceeding, in which personal information held by us is among the assets transferred.

Stewart will not collect additional categories of personal information or use the personal information we collected for materially different, unrelated, or incompatible purposes without providing you notice.

Disclosure of Personal Information to Affiliated Companies and Nonaffiliated Third Parties

Stewart does not sell your personal information to nonaffiliated third parties. Stewart may share your information with those you have designated as your agent in the course of your transaction (for example, a realtor or a lender). Stewart may disclose your personal information to a third party for a business purpose. Typically, when we disclose personal information for a business purpose, we enter a contract that describes the purpose and requires the recipient to both keep that personal information confidential and not use it for any purpose except performing the contract.

We share your personal information with the following categories of third parties:

- Service providers and vendors (For example, search companies, mobile notaries, and companies providing credit/debit card processing, billing, shipping, repair, customer service, auditing, marketing, etc.)
- Affiliated Companies
- Litigation parties and attorneys, as required by law.
- Financial rating organizations, rating bureaus and trade associations.
- Federal and State Regulators, law enforcement and other government entities

In the preceding twelve (12) months, Stewart has disclosed the following categories of personal information for a business purpose:

Category A: Identifiers
Category B: California Customer Records personal information categories
Category C: Protected classification characteristics under California or federal law
Category D: Commercial Information
Category E: Biometric Information
Category F: Internet or other similar network activity
Category G: Geolocation data
Category H: Sensory data
Category I: Professional or employment-related information
Category J: Non-public education information
Category K: Inferences

Consumer Rights and Choices

The CCPA provides consumers (California residents) with specific rights regarding their personal information. This section describes your CCPA rights and explains how to exercise those rights.

Access to Specific Information and Data Portability Rights

You have the right to request that Stewart disclose certain information to you about our collection and use of your personal information over the past 12 months. Once we receive and confirm your verifiable consumer request, Stewart will disclose to you:

- The categories of personal information Stewart collected about you.
- The categories of sources for the personal information Stewart collected about you.
- Stewart's business or commercial purpose for collecting that personal information.
- The categories of third parties with whom Stewart shares that personal information.
- The specific pieces of personal information Stewart collected about you (also called a data portability request).
- If Stewart disclosed your personal data for a business purpose, a listing identifying the personal information categories that each category of recipient obtained.

Deletion Request Rights

You have the right to request that Stewart delete any of your personal information we collected from you and retained, subject to certain exceptions. Once we receive and confirm your verifiable consumer request, Stewart will delete (and direct our service providers to delete) your personal information from our records, unless an exception applies.

Stewart may deny your deletion request if retaining the information is necessary for us or our service providers to:

1. Complete the transaction for which we collected the personal information, provide a good or service that you requested, take actions reasonably anticipated within the context of our ongoing business relationship with you, or otherwise perform our contract with you
2. Detect security incidents, protect against malicious, deceptive, fraudulent, or illegal activity, or prosecute those responsible for such activities.
3. Debug products to identify and repair errors that impair existing intended functionality.
4. Exercise free speech, ensure the right of another consumer to exercise their free speech rights, or exercise another right provided for by law.
5. Comply with the California Electronic Communications Privacy Act (Cal. Penal Code § 1546 *seq.*).
6. Engage in public or peer-reviewed scientific, historical, or statistical research in the public interest that adheres to all other applicable ethics and privacy laws, when the information's deletion may likely render impossible or seriously impair the research's achievement, if you previously provided informed consent.
7. Enable solely internal uses that are reasonably aligned with consumer expectations based on your relationship with us.
8. Comply with a legal obligation.
9. Make other internal and lawful uses of that information that are compatible with the context in which you provided it.

Exercising Access, Data Portability, and Deletion Rights

To exercise the access, data portability, and deletion rights described above, please submit a verifiable consumer request to us either:

- Calling us Toll Free at 1-866-571-9270
- Emailing us at Privacyrequest@stewart.com
- Visiting <http://stewart.com/ccpa>

Only you, or someone legally authorized to act on your behalf, may make a verifiable consumer request related to your personal information. You may also make a verifiable consumer request on behalf of your minor child.

To designate an authorized agent, please contact Stewart through one of the methods mentioned above.

You may only make a verifiable consumer request for access or data portability twice within a 12-month period. The verifiable consumer request must:

- Provide sufficient information that allows us to reasonably verify you are the person about whom we collected personal information or an authorized representative.
- Describe your request with sufficient detail that allows us to properly understand, evaluate, and respond to it.

Stewart cannot respond to your request or provide you with personal information if we cannot verify your identity or authority to make the request and confirm the personal information relates to you.

Making a verifiable consumer request does not require you to create an account with Stewart.

Response Timing and Format

We endeavor to respond to a verifiable consumer request within forty-five (45) days of its receipt. If we require more time (up to an additional 45 days), we will inform you of the reason and extension period in writing.

A written response will be delivered by mail or electronically, at your option.

Any disclosures we provide will only cover the 12-month period preceding the verifiable consumer request's receipt. The response we provide will also explain the reasons we cannot comply with a request, if applicable. For data portability requests, we will select a format to provide your personal information that is readily useable and should allow you to transmit the information from one entity to another entity without hindrance.

Stewart does not charge a fee to process or respond to your verifiable consumer request unless it is excessive, repetitive, or manifestly unfounded. If we determine that the request warrants a fee, we will tell you why we made that decision and provide you with a cost estimate before completing your request.

Non-Discrimination

Stewart will not discriminate against you for exercising any of your CCPA rights. Unless permitted by the CCPA, we will not:

- Deny you goods or services.
- Charge you a different prices or rates for goods or services, including through granting discounts or other benefits, or imposing penalties.
- Provide you a different level or quality of goods or services.
- Suggest that you may receive a different price or rate for goods or services or a different level or quality of goods or services.

Changes to Our Privacy Notice

Stewart reserves the right to amend this privacy notice at our discretion and at any time. When we make changes to this privacy notice, we will post the updated notice on Stewart's website and update the notice's effective date. **Your continued use of Stewart's website following the posting of changes constitutes your acceptance of such changes.**

Contact Information

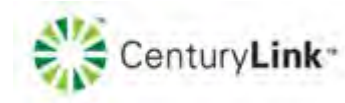
If you have questions or comments about this notice, the ways in which Stewart collects and uses your information described here, your choices and rights regarding such use, or wish to exercise your rights under California law, please do not hesitate to contact us at:

Phone: Toll Free at 1-866-571-9270

Website: <http://stewart.com/ccpa>

Email: Privacyrequest@stewart.com

Postal Address: Stewart Information Services Corporation
Attn: Mary Thomas, Deputy Chief Compliance Officer
1360 Post Oak Blvd., Ste. 100, MC #14-1
Houston, TX 77056



5325 Zuni, Room 728
Denver, CO, 80221
September 29, 2020

Rose Gallucci
Delwest Development Corp
155 South Madison St. Suite 326
Denver, CO 80209
D: 720-708-4065
F: 303-974*5239
E: rose@delwest.com
W: www.delwest.com

RE: 7996 N. Pecos St and 8000 N. Pecos St. in Unincorporated Adams County, State of Colorado.

Recently you approached CenturyLink about providing a "Will Serve" letter to serve 7996 N. Pecos St and 8000 N. Pecos St. in Unincorporated Adams County, State of Colorado. CenturyLink appreciates the opportunity to provide Delwest Development Corp. with its future communication needs.

In response to the request for a commitment to serve, CenturyLink will work with Delwest Development Corp. on determining what the needs will be. Upon such determination, CenturyLink will undertake an analysis of the construction required and the cost to complete that construction. It is only at that point and given the prevailing Tariffs that CenturyLink will make a determination on whether it can or cannot provide service.

As you may or may not know, many of the telecommunications services provided by CenturyLink are regulated and the services you request will be provided for under the tariffs on file with the Colorado Public Utilities Commission.

If there are any further questions, or if I can be of any help, please do not hesitate to call me on 720-578-3560.

Regards,

Robert Davis
Sr. Local Network Engineer
5325 Zuni Street, Room 728
Denver, CO 80221
720-548-3560
Robert.Davis@CenturyLink.com



September 29, 2020

**Delwest Development Corporation
C/O Derrell Schreiner
155 S Madison St Suite 326
Denver CO 80209**

RE: Elmwood North
7996 N Pecos St., 8000 N Pecos St
Denver, CO 80221

Dear Derrell Schreiner:

Please accept this letter as confirmation of Comcast Cable Corporation ability to provide cable service to the captioned location. The project consists of 50 townhomes. The provision of service is contingent upon successful negotiations of an agreement between the developer and Comcast Cable Corporation.

If you have any questions at all, please contact Brian Jones at (303) 603-5661, or me with the information below.

Sincerely,

Sean Hofer
Xfinity Communities
303-603-2019
Sean_hofer@cable.comcast.com

This letter is not intended to give rise to binding obligations for either party. Any contractual relationship between the parties will be the result of formal negotiations and will only become effective upon execution of the contract by representatives of the parties authorized to enter into such agreements. During any negotiations, each party will bear its own costs and will not be responsible for any costs or expenses of the other party, unless separately agreed to in writing.



Thornton Infrastructure Maintenance Center
12450 Washington Street
Thornton, CO 80241
www.ThorntonCO.gov

Infrastructure Department
Water Resources Division
PH 720-977-6600

May 17, 2021

Rose Gallucci
Delwest Development Corp.
155 S. Madison St. Ste. 326
Denver, CO 80209

RE: City Water and Wastewater Service for 8000 N Pecos St and 7996 Pecos St

Dear Ms. Galucci,

This letter is to confirm that currently there is adequate capacity in the City of Thornton (City) water and wastewater systems to serve the above-identified property subject to the limitations stated below. However, please be aware that the City does not guarantee capacity of proposed developments indefinitely or capacity for future developments. System capacity must be verified at the time of development.

The extension of City water and wastewater mains and service connections necessary to serve this property shall be installed at the expense of the property owner/developer. The design and installation of all water and wastewater improvements shall conform to all ordinances and regulations, codes and specifications in effect at the time of development. Also, the property owner shall comply with all the requirements of any utility extension agreements or other agreements that may affect this property. This property will need to comply with the most current ordinances applicable to water and sewer rates and charges.

System capacity is based on a use consistent with development plans and can be affected by drought, emergency or lack of available water resources. The City has the authority to and may suspend the issuance of new water taps and connections to the City water mains for an indefinite period of time for these reasons, and/or take other emergency measures that may affect the availability of water service.

This letter is valid for a period of one (1) year from the date of this letter.

Please contact me at 720-977-6600 or Emily.Hunt@ThorntonCO.gov if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Emily Hunt', with a stylized flourish at the end.

Emily Hunt
Deputy Infrastructure Director – Water

EH/

cc: Cassie Free, Development Engineering Manager
Todd Rullo, Deputy Infrastructure Director – Operations



WILL SERVE LETTER

October 1, 2020

Derrell Schreiner
Delwest Development Corp
155 S. Monroe St Suite 326
Denver CO 80209.

Re: Sherrelwood Village

Dear Derrell,,

This letter is to confirm that Xcel Energy is your utility provider for natural gas and electrical service. In accordance with our tariffs, on file with and approved by the Colorado Public Utilities Commission, gas and electric facilities can be made available to serve the project at Sherrelwood Village.

Your utility service(s) will be provided after the following steps are completed:

- ***Application submitted to Public Service's "Builders Call Line (BCL)"*** – once your application is accepted you will be assigned a design department representative who will be your primary point of contact
- ***Utility design is completed*** – you must provide your design representative with the site plan, the one line diagrams, and panel schedules for electric and gas loads if applicable
- ***All documents provided by design representative are signed and returned***
- ***Payment is received***
- ***Required easements are granted*** - you must sign and return applicable easement documents to your Right-of-Way agent
- ***Site is ready for utility construction***

A scheduled in-service date will be provided once these requirements have been met.

It is important to keep in mind that the terms and conditions of utility service, per our tariffs, require that you provide adequate space and an easement on your property for all gas and electric facilities required to serve your project, including but not limited to gas and electrical lines and meters, transformers, and pedestals. General guidelines for these requirements can be found at [Site Requirements. https://www.xcelenergy.com/staticfiles/xe-responsive/Admin/Managed_Documents_&PDFs/Xcel-Energy-Standard-For-Electric-Installation-and-Use.pdf](https://www.xcelenergy.com/staticfiles/xe-responsive/Admin/Managed_Documents_&PDFs/Xcel-Energy-Standard-For-Electric-Installation-and-Use.pdf) Easement requirements can be found at [Utility Design and Layout](#).

Xcel Energy looks forward to working with you on your project and if I can be of further assistance, please contact me at the phone number or email listed below.

Sincerely,

Patrick Quinn
Xcel Energy Designer

Mailing address: Public Service Company of Colorado
5460 W 60th Ave
Arvada, CO 80003



Adams County Treasurer

Receipt of Tax Payment

Account	Parcel Number	Receipt Date	Effective Date	Receipt Number
R0067193	0171933100009	May 7, 2020	Apr 30, 2020	2020-05-05-SO-7212

DELWEST DEVELOPMENT CORP
155 S MADISON ST STE 326
DENVER, CO 80209-3069

Situs Address	Payor
7996 PECOS ST	DELWEST DEVELOPMENT CORP 155 S MADISON ST STE 326 DENVER, CO 80209-3069

Legal Description

SECT,TWN,RNG:33-2-68 DESC: BEG AT A PT ON E LN N PECOS ST 20 FT S OF N LN SEC 33 TH S ALG E LN PECOS ST 208 FT TH E 208 FT TH N AT R/A 208 FT M/L TO A PT 20 FT S OF N LN SD SEC TH W 208 FT M/L TO POB 1A

Property Code	Actual	Assessed	Year	Area	Mill Levy
VACANT RESIDENTIAL - 0100	209,088	60,640	2019	490	119.274

Payments Received

Check Multi-Account Payment
Check Number 7757
Payor Delwest Development Corporation

Payments Applied

Year	Charges	Billed	Prior Payments	New Payments	Balance
2019	Tax Charge	\$7,232.78	\$0.00	\$7,232.78	\$0.00
				<hr/>	
				\$7,232.78	\$0.00
				Balance Due as of Apr 30, 2020	\$0.00

WE ARE EXPANDING TO SERVE YOU BETTER! WATCH FOR NEW LOCATIONS ON OUR WEBSITE!

4430 S ADAMS COUNTY PKWY C2436
BRIGHTON CO 80601
MON - FRI 7 AM - 5 PM

720-523-6160

ALL CHECKS ARE SUBJECT TO FINAL COLLECTION. THANK YOU FOR YOUR PAYMENT!

Account	As of Date	Parcel Number	Owner
R0067193	08/06/2019	0171933100009	LA JEUNESSE ROBERT MARTIN
Legal:	SECT,TWN,RNG:33-2-68 DESC: BEG AT A PT ON E LN N PECOS ST 20 FT S OF N LN SEC 33 TH S ALG E LN PECOS ST 208 FT TH E 208 FT TH N AT R/A 208 FT M/L TO A PT 20 FT S OF N LN SD SEC TH W 208 FT M/L TO POB 1A		
Situs Address:	7996 PECOS ST		
Year		Tax	Total Due
Total		\$0.00	\$0.00



Adams County Treasurer

Receipt of Tax Payment

Account	Parcel Number	Receipt Date	Effective Date	Receipt Number
R0060226	0171928400003	May 7, 2020	Apr 30, 2020	2020-05-05-SO-7212

DELWEST DEVELOPMENT CORP
155 S MADISON ST STE 326
DENVER, CO 80209-3069

Situs Address	Payor
8000 PECOS ST	DELWEST DEVELOPMENT CORP 155 S MADISON ST STE 326 DENVER, CO 80209-3069

Legal Description

SECT,TWN,RNG:28-2-68 DESC: PT OF SE4 OF SEC 28 DESC AS FOLS BEG AT N4 COR OF SEC 33 TH E 30 FT TO TRUE POB TH N 295/42 FT TH S 82D 26M E 20/18 FT TH S 82D 26M E 8/04 FT TH S 76D 32M E 178/58 FT TH S 21D 24M E 268/24 FT TH W 299/53 FT TO TRUE POB EXC RD 1/48SECT, TWN, RNG 33-2-68 DESC: BEG AT THE N4 COR OF SEC 33 TH N 89D 55M 33S E A DIST OF 30 FT TO A PT SD PT BEING THE POB TH THE FOL COURSES AND DIST N 00D 00M 00S E 295/42 FT S 82D 26M 14S E 20/18 FT S 82D 26M 14S E 8/04 FT S 76D 32M 09S E 178/58 FT S 21D 24M 11S E 268/24 FT S 89D 55M 33S W 299/53 FT TO THE POB 1/48A

Property Code	Actual	Assessed	Year	Area	Mill Levy
COMM LND SPEC PURPOS - 2130	117,792	34,160	2019	490	119.274
SPECIAL PURPOSE - 2230	312	90	2019	490	119.274
SCHOOL DIST LND - 9142	259,350	75,210	2019	490	119.274
SCHOOL DIST IMPROV - 9242	688	200	2019	490	119.274

Payments Received

Check Multi-Account Payment
Check Number 7757
Payor Delwest Development Corporation

Payments Applied

Year	Charges	Billed	Prior Payments	New Payments	Balance
2019	Tax Charge	\$4,085.14	\$20.00	\$4,065.14	\$0.00
				\$4,065.14	\$0.00
Balance Due as of Apr 30, 2020					\$0.00

WE ARE EXPANDING TO SERVE YOU BETTER! WATCH FOR NEW LOCATIONS ON OUR WEBSITE!

4430 S ADAMS COUNTY PKWY C2436
BRIGHTON CO 80601
MON - FRI 7 AM - 5 PM

720-523-6160

ALL CHECKS ARE SUBJECT TO FINAL COLLECTION. THANK YOU FOR YOUR PAYMENT!



Adams County Treasurer

Receipt of Tax Payment

Account	Parcel Number	Receipt Date	Effective Date	Receipt Number
R0198066	0171933124039	May 7, 2020	Apr 30, 2020	2020-05-05-SO-7212

ELMWOOD POINTE LLC
155 S MADISON ST STE 326
DENVER, CO 80209-3069

Situs Address	Payor
1485 W 79TH WAY	ELMWOOD POINTE LLC 155 S MADISON ST STE 326 DENVER, CO 80209-3069

Legal Description
SHERRELWOOD VILLAGE BLK 1 LOT 4

Property Code	Actual	Assessed	Year	Area	Mill Levy
VACANT RESIDENTIAL - 0100	17,586	5,100	2019	490	119.274

Payments Received	
Check	Multi-Account Payment
Check Number 7757	
Payor Delwest Development Corporation	

Payments Applied		Billed	Prior Payments	New Payments	Balance
Year	Charges				
2019	Tax Charge	\$608.30	\$0.00	\$608.30	\$0.00
				<hr/>	
				\$608.30	\$0.00
Balance Due as of Apr 30, 2020					\$0.00

WE ARE EXPANDING TO SERVE YOU BETTER! WATCH FOR NEW LOCATIONS ON OUR WEBSITE!

4430 S ADAMS COUNTY PKWY C2436
BRIGHTON CO 80601
MON - FRI 7 AM - 5 PM

720-523-6160

ALL CHECKS ARE SUBJECT TO FINAL COLLECTION. THANK YOU FOR YOUR PAYMENT!



Adams County Treasurer

Receipt of Tax Payment

Account	Parcel Number	Receipt Date	Effective Date	Receipt Number
R0198065	0171933124038	May 7, 2020	Apr 30, 2020	2020-05-05-SO-7212

ELMWOOD POINTE LLC
155 S MADISON ST STE 326
DENVER, CO 80209-3069

Situs Address	Payor
1493 W 79TH WAY	ELMWOOD POINTE LLC 155 S MADISON ST STE 326 DENVER, CO 80209-3069

Legal Description
SHERRELWOOD VILLAGE BLK 1 LOT 3

Property Code	Actual	Assessed	Year	Area	Mill Levy
VACANT RESIDENTIAL - 0100	17,586	5,100	2019	490	119.274

Payments Received	
Check	Multi-Account Payment
Check Number 7757	
Payor Delwest Development Corporation	

Payments Applied		Billed	Prior Payments	New Payments	Balance
Year	Charges				
2019	Tax Charge	\$608.30	\$0.00	\$608.30	\$0.00
				<hr/>	
				\$608.30	\$0.00
Balance Due as of Apr 30, 2020					\$0.00

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4430 S ADAMS COUNTY PKWY C2436
BRIGHTON CO 80601
MON - FRI 7 AM - 5 PM

720-523-6160

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Adams County Treasurer

Receipt of Tax Payment

Account	Parcel Number	Receipt Date	Effective Date	Receipt Number
R0198064	0171933124037	May 7, 2020	Apr 30, 2020	2020-05-05-SO-7212

ELMWOOD POINTE LLC
155 S MADISON ST STE 326
DENVER, CO 80209-3069

Situs Address	Payor
1501 W 79TH WAY	ELMWOOD POINTE LLC 155 S MADISON ST STE 326 DENVER, CO 80209-3069

Legal Description
SHERRELWOOD VILLAGE BLK 1 LOT 2

Property Code	Actual	Assessed	Year	Area	Mill Levy
VACANT RESIDENTIAL - 0100	17,586	5,100	2019	490	119.274

Payments Received	
Check	Multi-Account Payment
Check Number 7757	
Payor Delwest Development Corporation	

Payments Applied		Billed	Prior Payments	New Payments	Balance
Year	Charges				
2019	Tax Charge	\$608.30	\$0.00	\$608.30	\$0.00
				<hr/>	
				\$608.30	\$0.00
Balance Due as of Apr 30, 2020					\$0.00

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BRIGHTON CO 80601
MON - FRI 7 AM - 5 PM

720-523-6160

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Adams County Treasurer

Receipt of Tax Payment

Account	Parcel Number	Receipt Date	Effective Date	Receipt Number
R0198063	0171933124036	May 7, 2020	Apr 30, 2020	2020-05-05-SO-7212

ELMWOOD POINTE LLC
155 S MADISON ST STE 326
DENVER, CO 80209-3069

Situs Address	Payor
1517 W 79TH WAY	ELMWOOD POINTE LLC 155 S MADISON ST STE 326 DENVER, CO 80209-3069

Legal Description
SHERRELWOOD VILLAGE BLK 1 LOT 1

Property Code	Actual	Assessed	Year	Area	Mill Levy
VACANT RESIDENTIAL - 0100	17,586	5,100	2019	490	119.274

Payments Received	
Check	Multi-Account Payment
Check Number 7757	
Payor Delwest Development Corporation	

Payments Applied		Billed	Prior Payments	New Payments	Balance
Year	Charges				
2019	Tax Charge	\$608.30	\$0.00	\$608.30	\$0.00
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BRIGHTON CO 80601
MON - FRI 7 AM - 5 PM

720-523-6160

ALL CHECKS ARE SUBJECT TO FINAL COLLECTION. THANK YOU FOR YOUR PAYMENT!

CERTIFICATION OF NOTICE TO MINERAL ESTATE OWNERS

I/We, Delwest Development Corp.
(the "Applicant") by signing below, hereby declare and certify as follows:

With respect to the property located at:

Physical Address: 7996 Pecos St. Denver, CO 80221

Legal Description: SECT, TWN, RNG: 33-2-68 DESC: BEG AT A PT ON E LN N PECOS ST 20 FT S OF N LN SEC 33 TH S ALG E LN
PECOS ST 208 FT TH E 208 FT TH N AT R/A 208 FT M/L TO A PT 20 FT S OF N LN SD SEC TH W 208 FT M/L
TO POB 1A

Parcel #(s): 01719331000009

(PLEASE CHECK ONE):

_____ On the _____ day of _____, 20____, which is not less than thirty days
before the initial public hearing, notice of application for surface development was provided
to mineral estate owners pursuant to section 24-65.5-103 of the Colorado Revised Statutes;

x _____ or
I/We have searched the records of the Adams County Tax Assessor and the Adams County
Clerk and Recorder for the above identified parcel and have found that no mineral estate
owner is identified therein.

Date: 6/1/2021 Applicant: Delwest Development Corp.
By: [Signature]
Print Name: Craig Fitchett
Address: 155 S. Madison St. Suite 326
Denver, CO 80209

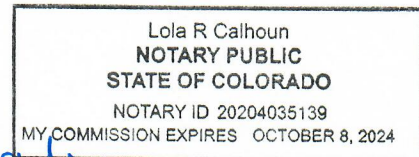
STATE OF COLORADO)
COUNTY OF ADAMS)

Subscribed and sworn to before me this 1st day of June, 2021, by
Delwest Development Corp.

Witness my hand and official seal.

My Commission expires: 10/8/2024

[Signature]
Notary Public



After Recording Return To:

Name and Address of Person Preparing Legal Description:

A recorded copy of this Certification shall be submitted to the Adams County Community and
Economic Development Department with all applicable land use applications.

APPLICANT'S CERTIFICATION CONCERNING QUALIFYING SURFACE DEVELOPMENT,
PURSUANT TO C.R.S. §24-65.5-103.3 (1)(b)

I/We, Delwest Development Corp.

_____, (the "Applicant") by signing below, hereby declare and certify as follows:

Concerning the property located at:

Physical Address: 7996 Pecos St. Denver, CO 80221

Legal Description: SECT. TWN, RNG:33-2-68 DESC: BEG AT A PT ON E LN N PECOS ST 20 FT S OF N LN SEC 33 TH S ALG E LN
PECOS ST 208 FT TH E 208 FT TH N AT R/A 208 FT M/L TO A PT 20 FT S OF N LN SD SEC TH W 208 FT M/L TO
POB 1A

Parcel #(s): _____ 01719331000009

With respect to qualifying surface developments, that (PLEASE CHECK ONE):

X _____ No mineral estate owner has entered an appearance or filed an objection to the proposed application for development within thirty days after the initial public hearing on the application; or

_____ The Applicant and any mineral estate owners who have filed an objection to the proposed application for development or have otherwise filed an entry of appearance in the initial public hearing regarding such application no later than thirty days following the initial public hearing on the application have executed a surface use agreement related to the property included in the application for development, the provisions of which have been incorporated into the application for development or are evidenced by a memorandum or otherwise recorded in the records of the clerk and recorder of the county in which the property is located so as to provide notice to transferees of the Applicant, who shall be bound by such surface use agreements; or

_____ The application for development provides:

- (i) Access to mineral operations, surface facilities, flowlines, and pipelines in support of such operations existing when the final public hearing on the application for development is held by means of public roads sufficient to withstand trucks and drilling equipment or thirty-foot-wide access easements;
- (ii) An oil and gas operations area and existing well site locations in accordance with section 24-65.5-103.5 of the Colorado Revised Statutes; and
- (iii) That the deposit for incremental drilling costs described in section 24-65.5-103.7 of the Colorado Revised Statutes has been made.

Date: 6/1/2021

Applicant: Delwest Development Corp

After Recording Return To:

By: _____

Print Name: Craig Fitchett

Address: 155 S Madison St, Suite 326
Denver, CO 80209

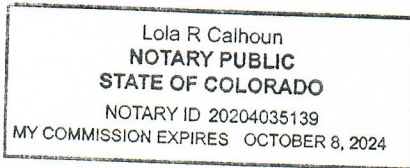
STATE OF COLORADO)
)
COUNTY OF ADAMS)

Subscribed and sworn to before me this 1st day of June, 2021, by
Delwest Development Corp.

Witness my hand and official seal.

My Commission expires: 10/8/2024

Lola R Calhoun
Notary Public



Name and Address of Person Preparing Legal Description:

A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department within thirty days after the initial public hearing on all applicable land use applications.

CERTIFICATION OF NOTICE TO MINERAL ESTATE OWNERS

I/We, Delwest Development Corp.
(the "Applicant") by signing below, hereby declare and certify as follows:

With respect to the property located at:

Physical Address: 8000 Pecos St. Denver, CO 80221

Legal Description: SUB: PERL MACK MANOR SEVENTH FILING BLK: 37 DESC: N 24 FT OF LOT 21 ALL LOTS 22 THRU 24

Parcel #(s):

0171928400003

(PLEASE CHECK ONE):

- _____ On the _____ day of _____, 20____, which is not less than thirty days before the initial public hearing, notice of application for surface development was provided to mineral estate owners pursuant to section 24-65.5-103 of the Colorado Revised Statutes;
- or
- X _____ I/We have searched the records of the Adams County Tax Assessor and the Adams County Clerk and Recorder for the above identified parcel and have found that no mineral estate owner is identified therein.

Date: 6/1/2021

Applicant: Delwest Development Corp.

By:

Print Name: Craig Fitenett

Address: 155 S. Madison St. Suite 326
Denver, CO 80209

STATE OF COLORADO)

)

COUNTY OF ADAMS)

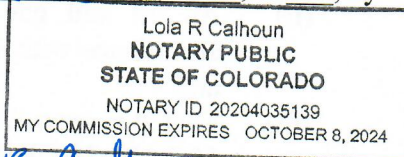
Subscribed and sworn to before me this 1st day of June, 2021, by

Delwest Development Corp

Witness my hand and official seal.

My Commission expires: 10/8/2024

Lola R Calhoun
Notary Public



After Recording Return To:

Name and Address of Person Preparing Legal Description:

A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department with all applicable land use applications.

APPLICANT'S CERTIFICATION CONCERNING QUALIFYING SURFACE DEVELOPMENT,
PURSUANT TO C.R.S. §24-65.5-103.3 (1)(b)

I/We, Delwest Development Corp.

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Concerning the property located at:

Physical Address: 8000 Pecos St. Denver, CO 80221

Legal Description: SUB: PERL MACK MANOR SEVENTH FILING BLK: 37 DESC: N 24 FT OF LOT 21 ALL LOTS 22 THRU 24

Parcel #(s): _____
0171928400003

With respect to qualifying surface developments, that (PLEASE CHECK ONE):

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_____ The Applicant and any mineral estate owners who have filed an objection to the proposed application for development or have otherwise filed an entry of appearance in the initial public hearing regarding such application no later than thirty days following the initial public hearing on the application have executed a surface use agreement related to the property included in the application for development, the provisions of which have been incorporated into the application for development or are evidenced by a memorandum or otherwise recorded in the records of the clerk and recorder of the county in which the property is located so as to provide notice to transferees of the Applicant, who shall be bound by such surface use agreements; or

_____ The application for development provides:

- (i) Access to mineral operations, surface facilities, flowlines, and pipelines in support of such operations existing when the final public hearing on the application for development is held by means of public roads sufficient to withstand trucks and drilling equipment or thirty-foot-wide access easements;
- (ii) An oil and gas operations area and existing well site locations in accordance with section 24-65.5-103.5 of the Colorado Revised Statutes; and
- (iii) That the deposit for incremental drilling costs described in section 24-65.5-103.7 of the Colorado Revised Statutes has been made.

Date: 6/1/2021

Applicant: Delwest Development Corp

After Recording Return To:

By: _____

Print Name: Craig Fitchett

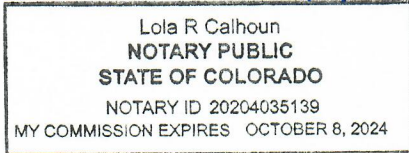
Address: 155 S Madison St, Suite 326
Denver, CO 80209

STATE OF COLORADO)
)
COUNTY OF ADAMS)

Subscribed and sworn to before me this 1st day of June, 2021, by
Delwest Development Corp.

Witness my hand and official seal.

My Commission expires: 10/8/2024 Lola R Calhoun
Notary Public



Name and Address of Person Preparing Legal Description:

A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department within thirty days after the initial public hearing on all applicable land use applications.



December 6, 2020

Ms. Melissa Hale
Delwest Development Corp.
155 South Madison Street
Suite 326
Denver, CO 80209

Re: Elmwood North Traffic Study
Adams County, Colorado

Dear Ms. Hale:

This letter documents a traffic study prepared for a proposed Elmwood North residential neighborhood project to be located at the Pecos Street and 79th Way intersection in Adams County, Colorado. The development is located along the east side of Pecos Street, approximately halfway between US-36 and 84th Avenue. The residential neighborhood development currently proposes 41 single family detached homes and 48 multi-family townhome units. A vicinity map illustrating the location of the project site is attached in **Figure 1**.

The surrounding area primarily consists of single-family residences with a multifamily building located on the northwest corner of the 79th Way and Pecos Street intersection. Sherrelwood Park and Sherrelwood Elementary School are located to the northeast of the project. The proposed development is located approximately 0.7 miles north of US Highway 36 and 1.8 miles west of Interstate 25. The site area within the project study area is shown in the aerial of attached **Figure 2**. A site plan for the proposed development is also attached.

The purpose of this letter is to identify the amount of traffic associated with this proposed development based on the expected trip generation, trip distribution, and traffic assignment. An operational analysis and vehicle queue calculations for the proposed Elmwood North project were performed. Project traffic was assigned to the key intersections and project driveways within the study limits. It is expected that project construction will be completed within the next year; therefore, analysis was performed for the 2022 short term build out horizon as well as the 2040 long-term twenty-year horizon.

Existing Roadway Network and Traffic Counts

Regional access to the Elmwood North project is provided by Interstate 25 and US Highway 36. Primary access will be provided by Pecos Street. Direct access to the site will be provided by two full movements accesses on the east side of Pecos Street, one to align with existing Sherrelwood Drive, and the other is already constructed approximately halfway between 79th Way and Elmwood Lane. The following intersections were analyzed in this traffic study letter in accordance with Adams County standards and requirements:

- Sherrelwood Drive and Pecos Street (Northern Access)
- 79th Way and Pecos Street
- Elmwood Place and Pecos Street (Southern Access)

Pecos Street extends north-south with a two-way left turn lane and two through lanes in each direction with a speed limit of 35 miles per hour adjacent to the site. Sherrelwood Drive extends east-west with one through lane in each direction and has a posted speed limit of 25 miles per hour in the vicinity of the site. 79th Way extends east-west with one through lane in each direction and a posted speed limit of 25 miles per hour in the vicinity of the site. The intersection of Sherrelwood Drive and Pecos Street is signalized, which operates with permitted only left turn phasing in the northbound approach. The intersection of 79th Way and Pecos Street operates with stop control on the eastbound approach. The existing lane configuration and control of the key intersections is shown in attached **Figure 3**

Morning and afternoon peak hour turning movement counts were performed at the key intersections on Tuesday, March 10, 2020. The weekday counts were conducted in 15-minute intervals during the morning and afternoon peak hours of adjacent street traffic from 7:00 AM to 9:00 AM and 4:00 PM to 6:00 PM. The existing peak hour counts of the key intersections are shown in attached **Figure 4**, with count sheets attached as well.

Trip Generation

Site-generated traffic estimates are determined through a process known as trip generation. Rates and equations are applied to the proposed land use to estimate traffic generated by the development during a specific time interval. The acknowledged source for trip generation rates is the *Trip Generation Manual* published by the Institute of Transportation Engineers (ITE). ITE has established trip rates in nationwide studies of similar land uses. Trip generation is based on the ITE Trip Generation, 10th Edition (most current edition) fitted curve equations for Single-Family Detached Housing (ITE Code 210), and Multifamily Housing (Low-Rise) (ITE 220).

The following summarizes the anticipated trip generation for the proposed development (trip generation calculations are attached). Project generated traffic volumes are identified on a weekday daily as well as on a morning peak hour and afternoon peak hour basis. The morning peak hour is the highest one-hour time period of adjacent street traffic during four consecutive 15-minute intervals during the morning rush hour, between 7:00 am and 9:00 am. The afternoon peak hour is the highest one-hour time period of four consecutive 15-minute intervals between the hours of 4:00 pm and 6:00 pm representing the afternoon rush hour. As summarized in **Table 1**, the proposed Elmwood North project is anticipated to generate 780 weekday daily trips with 58 trips (13 in and 45 out) occurring during the morning peak hour, and 74 trips (47 in and 27 out) occurring during the afternoon peak hour.

Table 1 – Elmwood North Trip Generation

Land Use and Size	Daily Vehicle Trips	Weekday Vehicle Trips					
		AM Peak Hour			PM Peak Hour		
		In	Out	Total	In	Out	Total
Single-Family Detached Housing (210) – 41 Dwelling Units	458	7	27	34	27	16	43
Multifamily Housing (Low-Rise) (220) – 48 Dwelling Units	322	6	18	24	20	11	31
Total Trips	780	13	45	58	47	27	74

Project Access

Primary access will be provided by two full movements accesses, both along the east side of Pecos Street. The proposed northern access will align with the existing Sherrelwood Drive and Pecos Street signalized intersection. The proposed southern driveway along Pecos Street is already constructed, named Elmwood Place, and is approximately 550 feet south of 79th Way.

Distribution, Assignment, and Total Traffic

Trip distribution of the anticipated project traffic was identified based on the area street system characteristics, surrounding demographic information, and the access system for the project. Traffic assignment was obtained by applying the project trip distribution to the estimated full project traffic generation of the proposed development. Attached **Figure 5** illustrates the expected trip distribution, while **Figure 6** illustrates the traffic assignment for the proposed Elmwood North project on the surrounding street network and key intersections. Site traffic volumes were added to the 2022 and 2040 background volumes to represent estimated build-out year and long-term traffic conditions. These total traffic volumes for 2022 and 2040 are illustrated in **Figure 7** and **Figure 8**.

Traffic Operations Analysis

Kimley-Horn's analysis of traffic operations in the site vicinity was conducted to determine potential capacity deficiencies at the project key intersections for the 2022 build-out and 2040 long term horizons. The acknowledged source for determining overall capacity is the *Highway Capacity Manual*¹. Capacity analysis results are listed in terms of Level of Service (LOS). LOS is a qualitative term describing operating conditions a driver will experience while traveling on a particular street or highway during a specific time interval. It ranges from A (very little delay) to F (long delays and congestion). For intersections and roadways in this study area, typical traffic study practice identifies overall intersection LOS D and movement or approach LOS E as the minimum thresholds for acceptable operations. The following **Table 2** shows the definition of level of service for signalized and unsignalized intersections.

Table 2 – Level of Service Definitions

Level of Service	Signalized Intersection Average Total Delay (sec/veh)	Unsignalized Intersection Average Total Delay (sec/veh)
A	≤ 10	≤ 10
B	> 10 and ≤ 20	> 10 and ≤ 15
C	> 20 and ≤ 35	> 15 and ≤ 25
D	> 35 and ≤ 55	> 25 and ≤ 35
E	> 55 and ≤ 80	> 35 and ≤ 50
F	> 80	> 50

Definitions provided from the Highway Capacity Manual, Sixth Edition, Transportation Research Board, 2016.

¹ Transportation Research Board, *Highway Capacity Manual*, Sixth Edition, Washington DC, 2016.

Project Intersections Operational Analysis

With the configuration of the project intersection in the opening year of 2022, the signalized intersection of Sherrelwood Drive and Pecos Street operates at LOS A, and all movements at the stop-controlled intersections are anticipated to operate acceptably with LOS C or better during the weekday peak hours with the addition of Elmwood North project traffic. By 2040, the signalized intersection of Sherrelwood Drive and Pecos Street is anticipated to continue operating at LOS A, and all movements at the stop-controlled intersections are expected to continue to operate acceptably with LOS D or better during the peak hours.

The traffic signal at the Sherrelwood Drive/Pecos Street intersection is operating at optimized traffic signal timing today. The cycle length is two (2) minutes (120 seconds) which is typical throughout the Denver Metro Area. There is very little eastbound Sherrelwood Drive traffic, so the time allocated for overall intersection in the two (2) minutes (120 seconds) is 100 seconds to northbound and southbound Pecos Street and 20 seconds to eastbound Sherrelwood Drive. This timing is appropriate and best for this intersection, and we would not recommend any changes to the timing. Further, actuation is present, and it is working based on observations. The operational analysis is shown in **Table 3**.

Single shared movement lanes are expected to be sufficient for traffic exiting both project driveways. The northern access at the intersection of Sherrelwood Drive and Pecos Street will be incorporated into the existing signal. The exiting approach at the intersection of Elmwood Place and Pecos Street should provide a R1-1 "STOP" sign. Also, although the current eastbound approach at the intersection of Sherrelwood Drive and Pecos Street operates acceptably as a shared left/right turn lane, the eastbound approach could be striped to include a shared left turn/through lane and an exclusive right turn lane if desired. This is how the eastbound approach is operating in the field and it would keep the possibility of a left turning vehicle from blocking a driver wishing to turn right.

Table 3 – Project Intersections LOS Results

Access and Movement	2020 Existing Traffic				2022 Total Traffic				2040 Total Traffic			
	AM Peak Hour		PM Peak Hour		AM Peak Hour		PM Peak Hour		AM Peak Hour		PM Peak Hour	
	Delay (sec/veh)	LOS	Delay (sec/veh)	LOS	Delay (sec/veh)	LOS	Delay (sec/veh)	LOS	Delay (sec/veh)	LOS	Delay (sec/veh)	LOS
Sherrelwood Dr & Pecos St	5.5	A	4.2	A	4.8#	A#	3.1#	A#	4.7#	A#	3.2#	A#
79th Way & Pecos St												
Eastbound Approach	10.8	B	11.8	B	10.9	B	11.9	B	11.0	B	12.5	B
Northbound Left	8.4	A	7.9	A	8.4	A	7.9	A	8.6	A	8.0	A
Elmwood Place & Pecos St												
Westbound Approach	-	-	-	-	9.8	A	22.7	C	9.9	A	25.8	D
Southbound Left					8.2	A	12.2	B	8.4	A	13.0	B

Proposed full movement westbound leg included

Vehicle Queuing Analysis

Queuing analysis was conducted for the study area intersections per Adams County standards and requirements. Results were obtained from the 95th percentile queue lengths obtained from the Synchro analysis. Queue length calculations are provided within the level of service operational sheets attached for the unsignalized intersections and in separate reports for the signalized intersection. Results of the queuing analysis and recommendations at the study area intersections are provided in **Table 4**.

Table 4 – Turn Lane Queuing Analysis Results

Intersection Turn Lane	Existing Turn Lane Length (feet)	2022 Calculated Queue (feet)	2022 Recommended Length (feet)	2040 Calculated Queue (feet)	2040 Recommended Length (feet)
Sherrelwood Dr & Pecos St					
Eastbound Approach	C	31'	C	18'	C
Westbound Approach	DNE	0'	C	0'	C
Northbound Left	TWLTL	31'	TWLTL	37'	TWLTL
Southbound Left	TWLTL	9'	TWLTL	9'	TWLTL
79th Way & Pecos St					
Eastbound Approach	C	25'	C	25'	C
Northbound Left	TWLTL	25'	TWLTL	25'	TWLTL
Elmwood Place & Pecos St					
Westbound Approach	DNE	25'	C	25'	C
Southbound Left	TWLTL	25'	TWLTL	25'	TWLTL

C = Continuous Lane, DNE = Does Not Exist, TWLTL = Two-Way Left Turn Lane

As shown in **Table 4** representing the queuing results, all anticipated queues are accommodated or managed within existing turn bay lengths with project traffic in the 2040 project build out year and long-term horizon.

Conclusion and Recommendations

The two project driveways, with the northern access being the east leg of the Sherrelwood Drive/Pecos Street intersection and southern access being Elmwood Place/Pecos Street are expected to operate acceptably during the peak hours in 2022 and 2040. Single shared movement lanes are expected to be sufficient for exiting both project driveways. The exiting approach at the intersection of Sherrelwood Drive and Pecos Street should be incorporated in the existing signal, which may require a new signal pole on the northwest corner of the intersection with a mast arm across the east leg. The exiting approach at Elmwood Place and Pecos Street should provide a R1-1 "STOP" sign. The recommended intersection lane configurations and control for the project buildout and long-term horizon are illustrated in **Figure 9**.

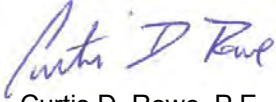
Likewise, it is recommended that the existing RTD Route 6 bus stop located along project frontage of northbound Pecos Street at 79th Way be maintained with development of the project.

In summary, this traffic study letter provides project traffic generation estimates, trip distribution, traffic assignment, and future traffic volume projections operational analysis to

identify potential Elmwood North project traffic related impacts on the local street system. Based on the analysis presented in this study, Kimley-Horn believes the proposed Elmwood North project will be incorporated acceptably in the existing and proposed surrounding street network. If you have any questions or require anything further, please feel free to call.

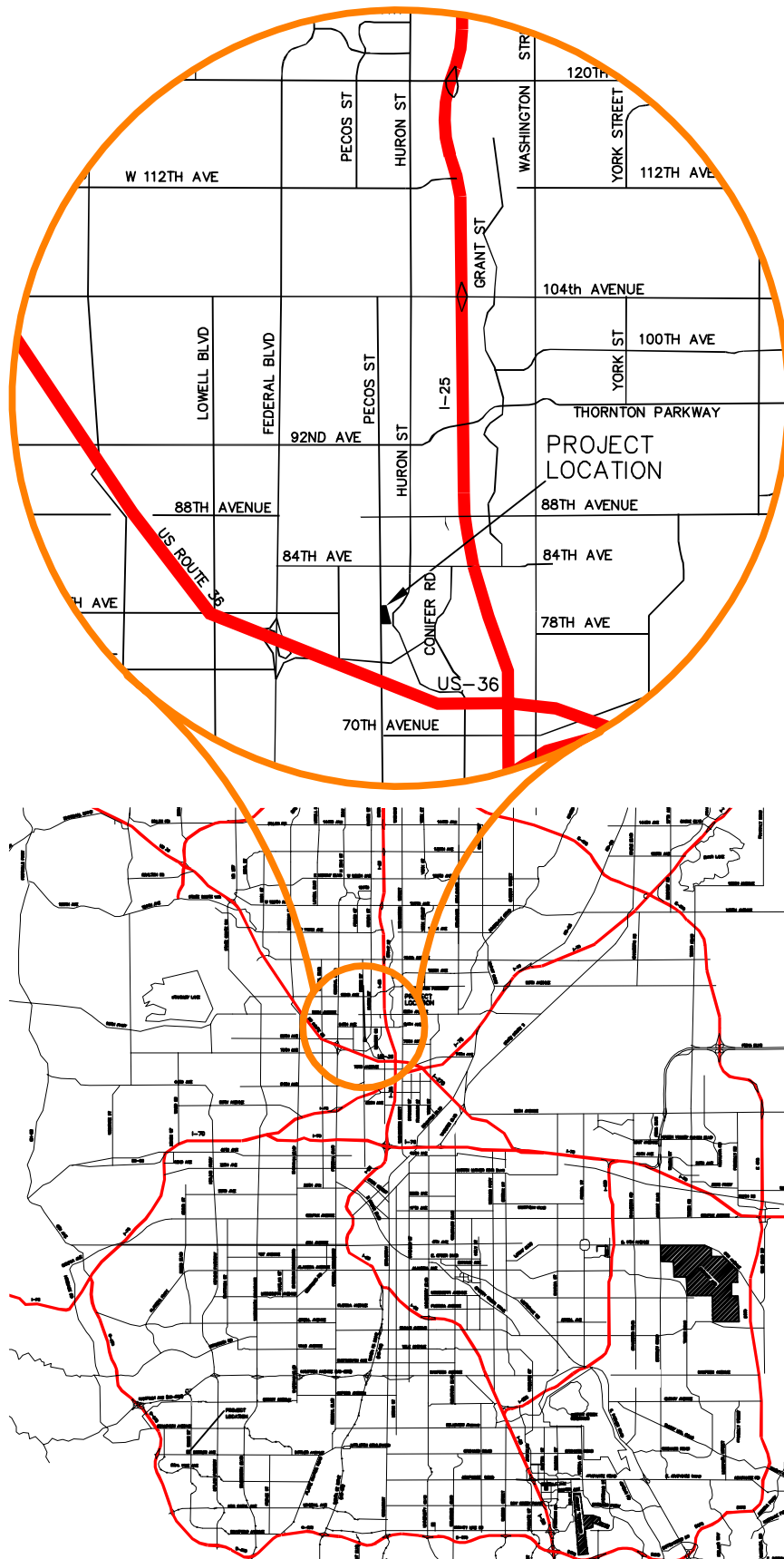
Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Curtis D. Rowe, P.E., PTOE
Vice President





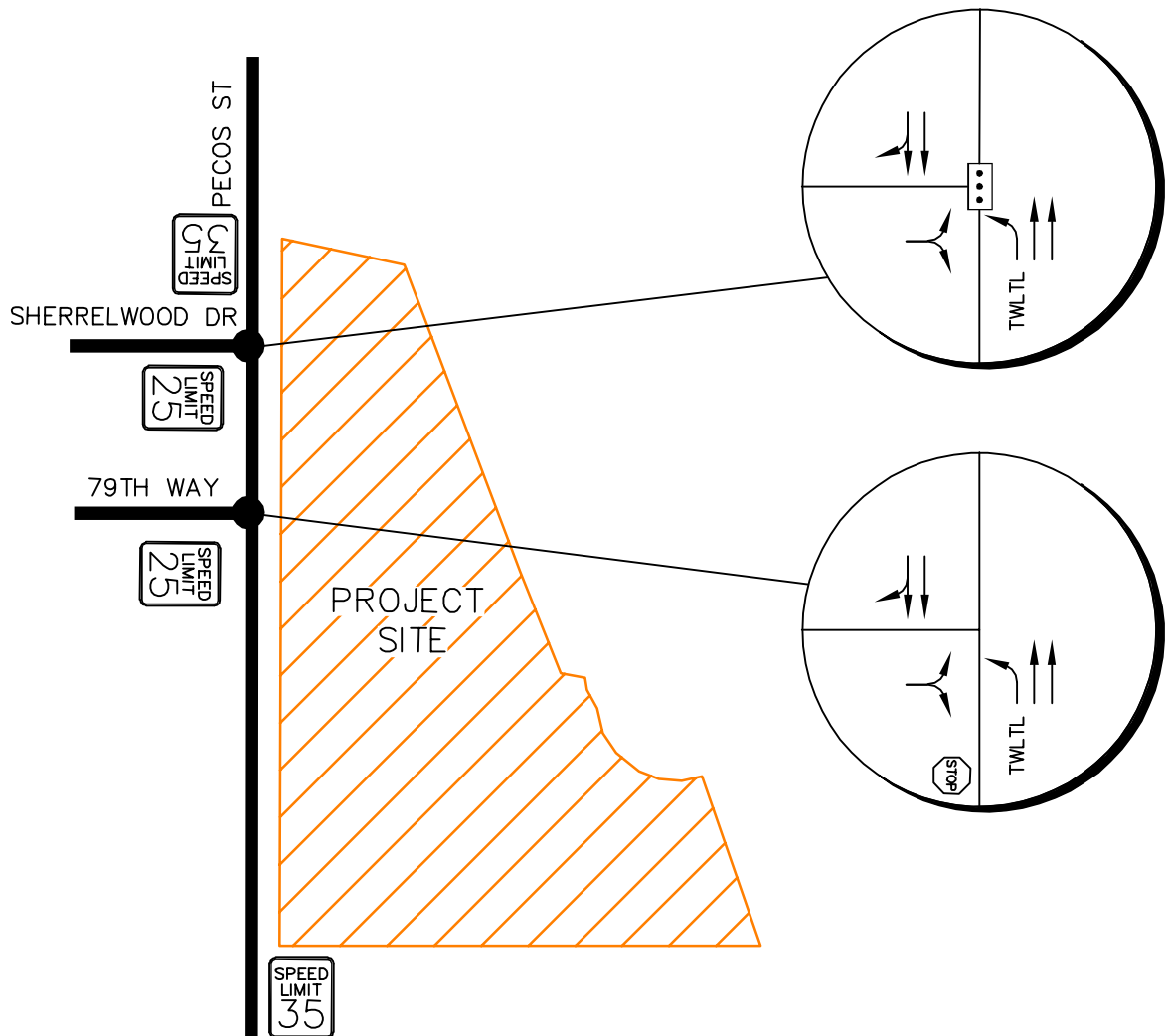
ELMWOOD NORTH
 ADAMS COUNTY, COLORADO
 VICINITY MAP

FIGURE 1



ELMWOOD NORTH
ADAMS COUNTY, COLORADO
SITE AREA

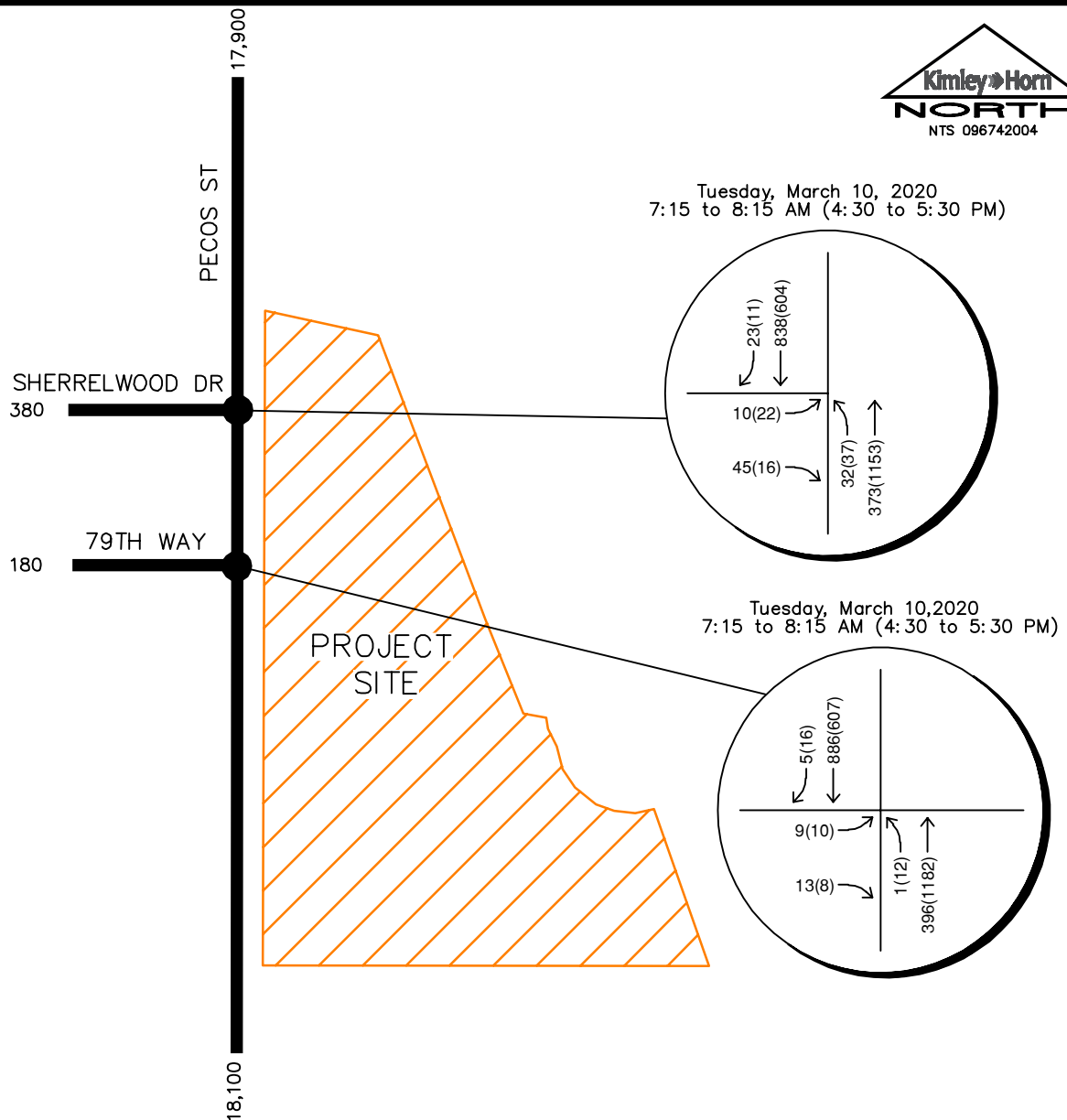
FIGURE 2



ELMWOOD NORTH
ADAMS COUNTY, COLORADO
EXISTING LANE CONFIGURATIONS

LEGEND	
	Study Area Key Intersection
	Signalized Intersection
	Stop Controlled Approach
	Roadway Speed Limit
100'	Turn Lane Length (feet)
TWLT	Two-Way Left Turn Lane

FIGURE 3

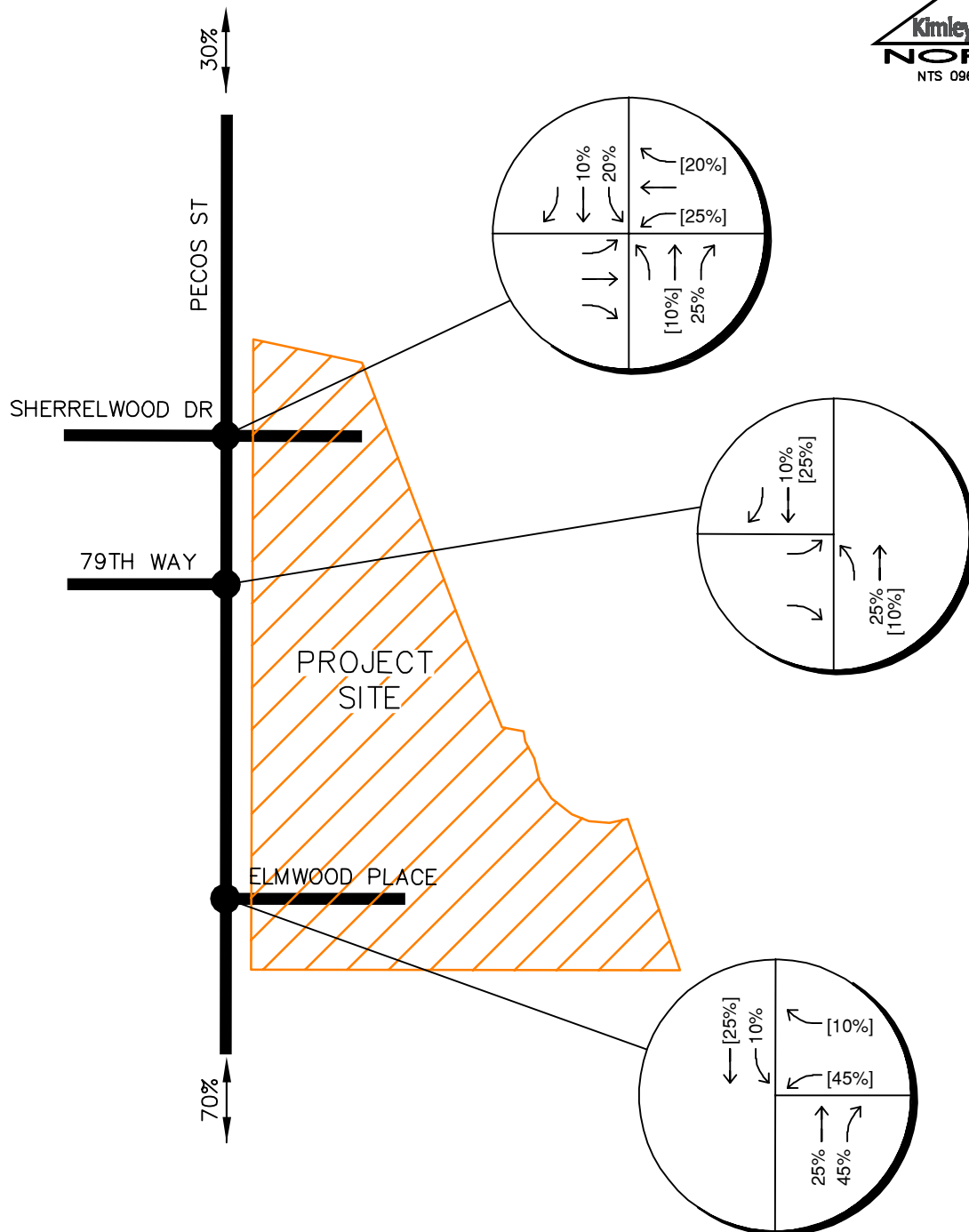


LEGEND

- Study Area Key Intersection
- xxx(xxx) Weekday AM(PM)
Peak Hour Traffic Volumes
- xx,x00 Estimated Daily Traffic Volume

ELMWOOD NORTH
 ADAMS COUNTY, COLORADO
 2020 EXISTING TRAFFIC VOLUMES

FIGURE 4

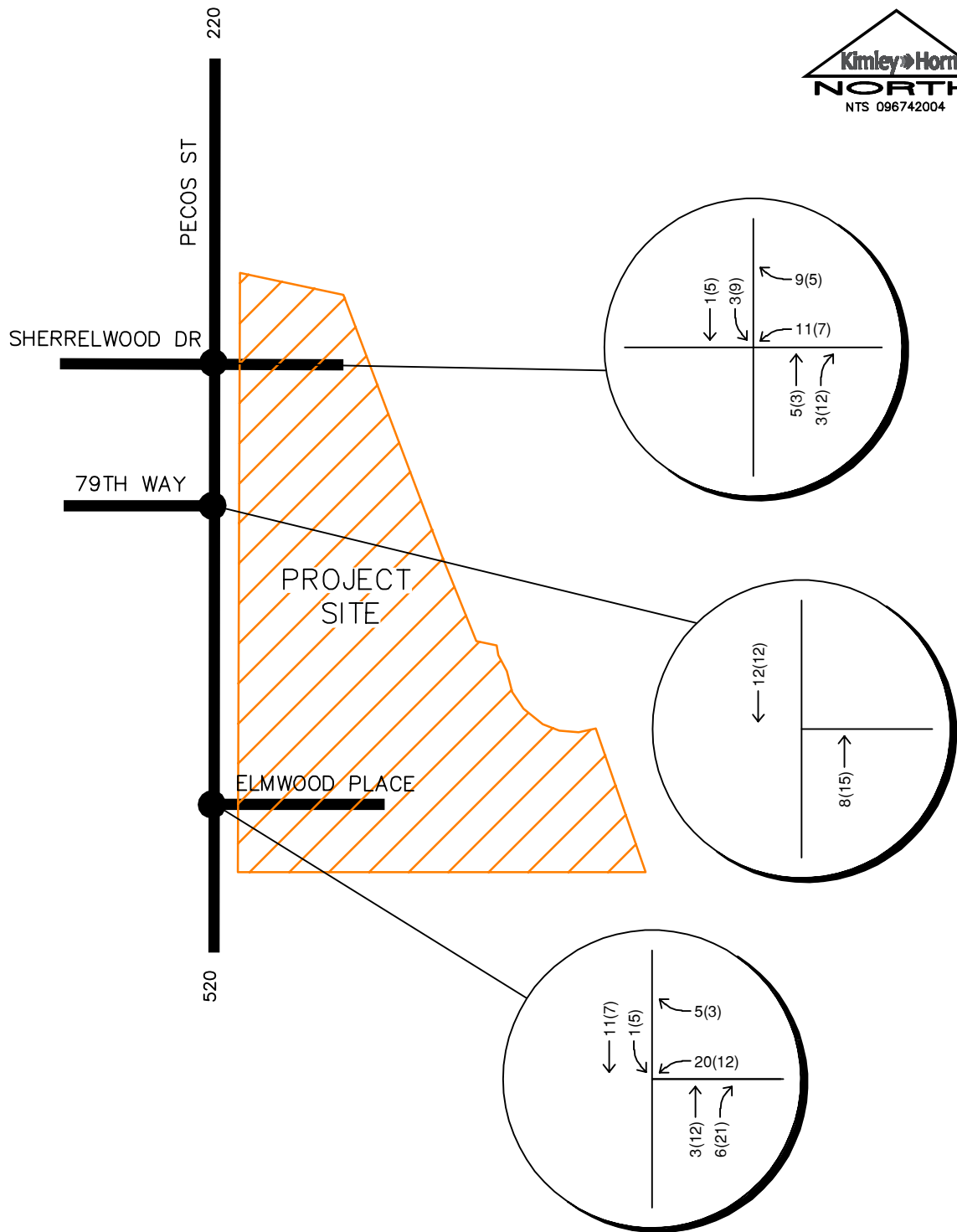


LEGEND

- Study Area Key Intersection
- XX% External Trip Distribution Percentage
- XX%[XX%] Entering[Exiting] Trip Distribution Percentage

ELMWOOD NORTH
 ADAMS COUNTY, COLORADO
 PROJECT TRIP DISTRIBUTION

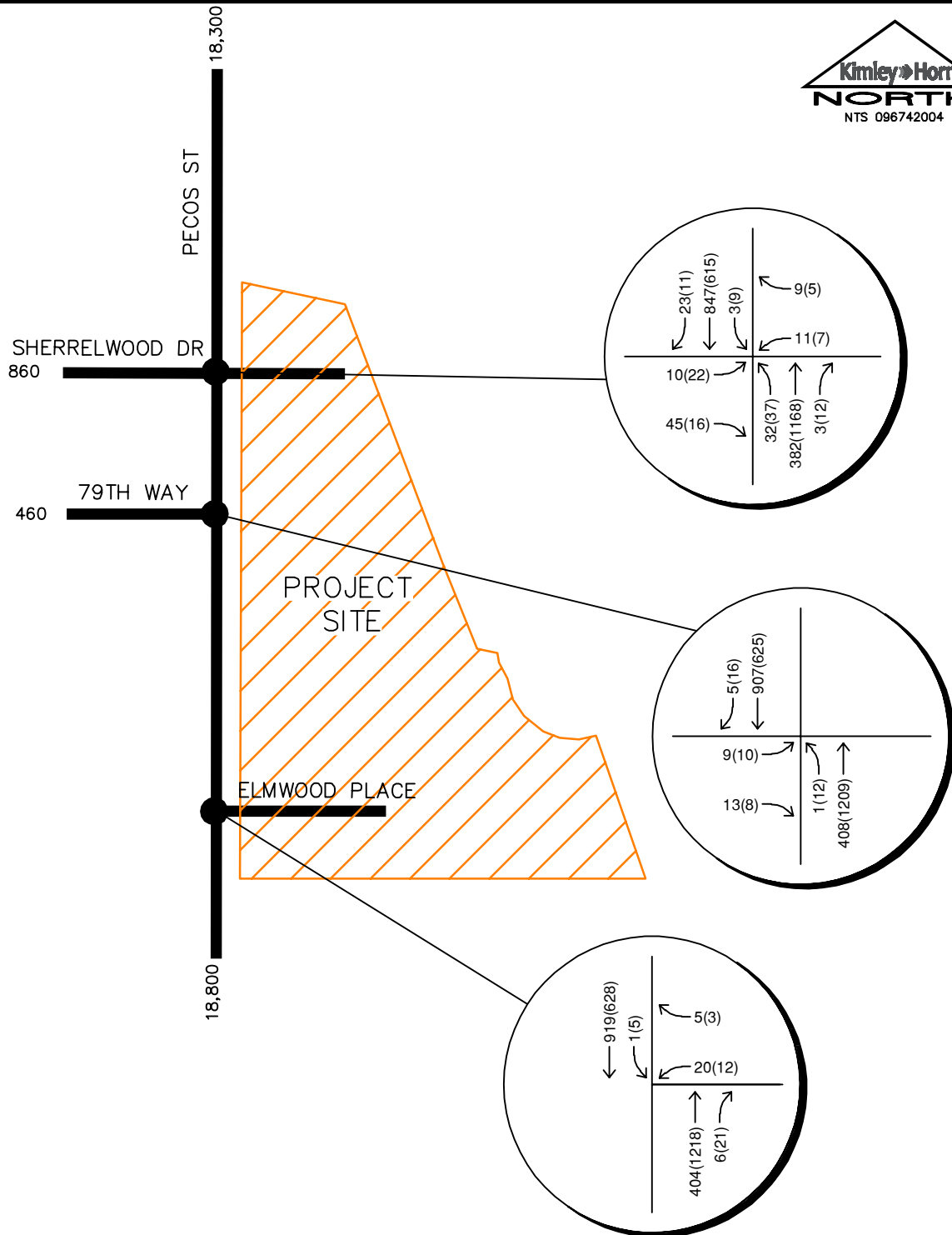
FIGURE 5



LEGEND	
	Study Area Key Intersection
xxx(xxx)	Weekday AM(PM) Peak Hour Traffic Volumes
xx,x00	Estimated Daily Traffic Volume

ELMWOOD NORTH
 ADAMS COUNTY, COLORADO
 TRIP ASSIGNMENT

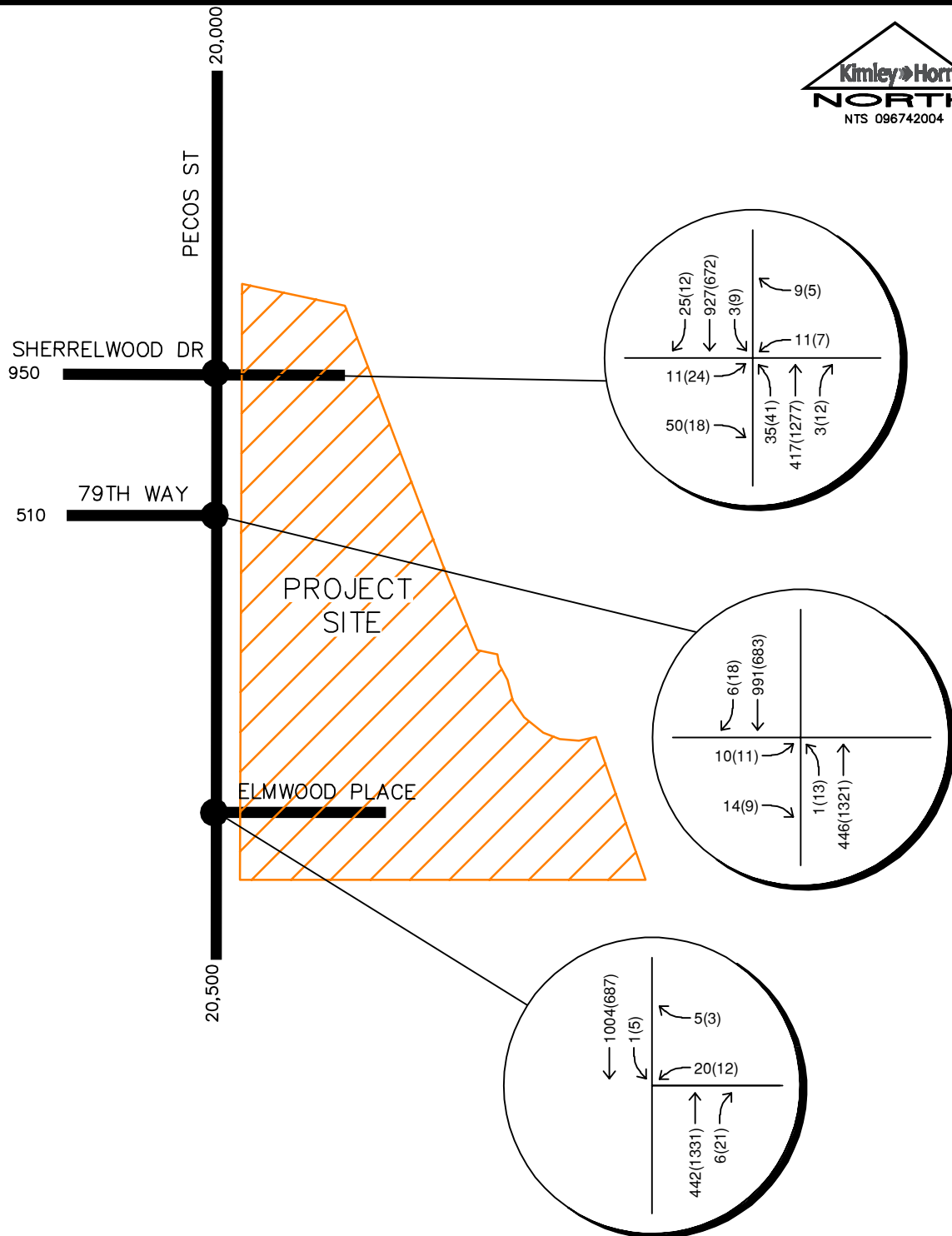
FIGURE 6



LEGEND	
	Study Area Key Intersection
xxx(xxx)	Weekday AM(PM) Peak Hour Traffic Volumes
	Estimated Daily Traffic Volume

ELMWOOD NORTH
 ADAMS COUNTY, COLORADO
 2022 BACKGROUND
 PLUS PROJECT TRAFFIC VOLUMES

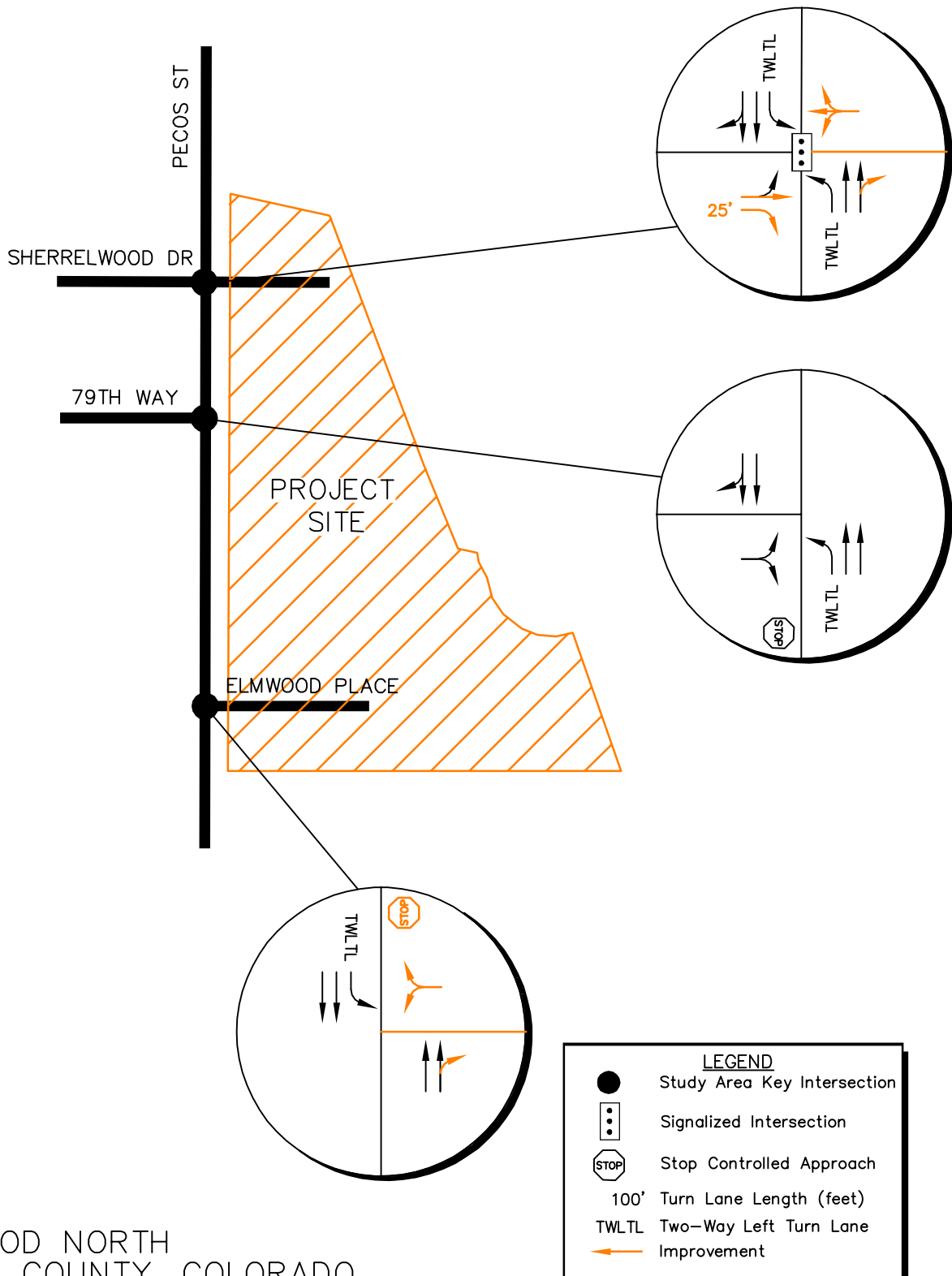
FIGURE 7



LEGEND	
	Study Area Key Intersection
xxx(xxx)	Weekday AM(PM) Peak Hour Traffic Volumes
xx,x00	Estimated Daily Traffic Volume

ELMWOOD NORTH
ADAMS COUNTY, COLORADO
2040 BACKGROUND
PLUS PROJECT TRAFFIC VOLUMES

FIGURE 8



ELMWOOD NORTH
ADAMS COUNTY, COLORADO
2022 & 2040 RECOMMENDED
LANE CONFIGURATIONS AND CONTROL

FIGURE 9



Adams, CO
Elmwood North
AM Peak
79th Way and Pecos St

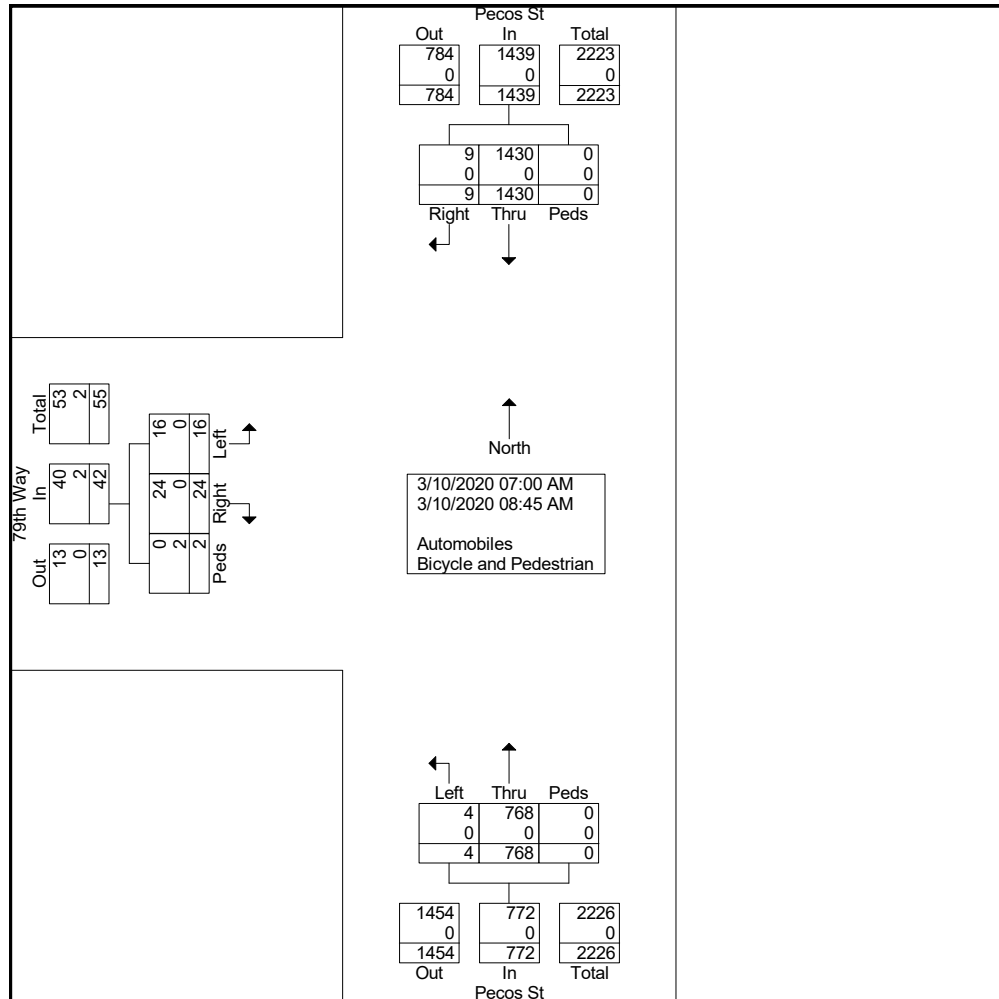
File Name : 79th and Pecos AM
Site Code : IPO 494
Start Date : 3/10/2020
Page No : 1

Groups Printed- Automobiles - Bicycle and Pedestrian

[illegible]

Adams, CO
Elmwood North
AM Peak
79th Way and Pecos St

File Name : 79th and Pecos AM
Site Code : IPO 494
Start Date : 3/10/2020
Page No : 2

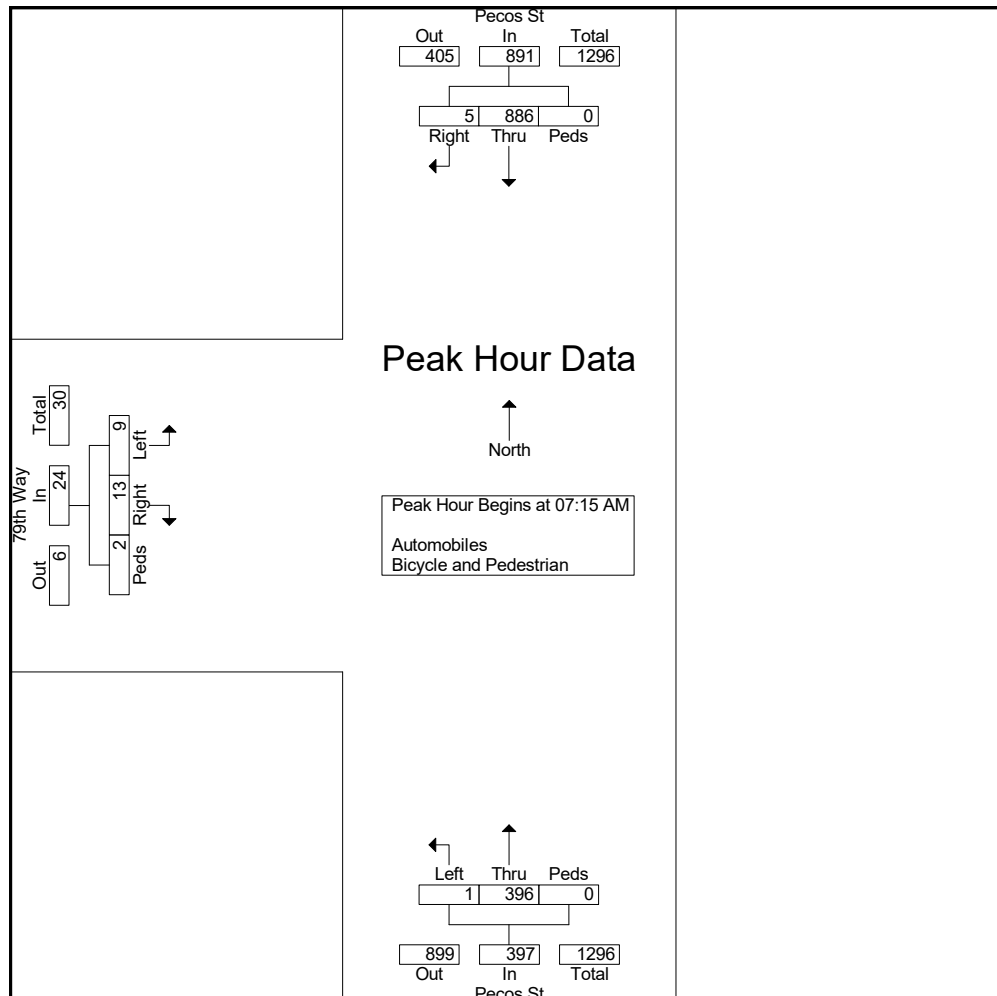




Adams, CO
Elmwood North
AM Peak
79th Way and Pecos St

File Name : 79th and Pecos AM
Site Code : IPO 494
Start Date : 3/10/2020
Page No : 3

	79th Way Eastbound				Pecos St Northbound				Pecos St Southbound				
Start Time	Left	Right	Peds	App. Total	Left	Thru	Peds	App. Total	Thru	Right	Peds	App. Total	Int. Total
Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1													
Peak Hour for Entire Intersection Begins at 07:15 AM													
07:15 AM	1	3	0	4	0	78	0	78	216	1	0	217	299
07:30 AM	4	4	0	8	1	97	0	98	225	0	0	225	331
07:45 AM	2	2	2	6	0	111	0	111	233	1	0	234	351
08:00 AM	2	4	0	6	0	110	0	110	212	3	0	215	331
Total Volume	9	13	2	24	1	396	0	397	886	5	0	891	1312
% App. Total	37.5	54.2	8.3		0.3	99.7	0		99.4	0.6	0		
PHF	.563	.813	.250	.750	.250	.892	.000	.894	.951	.417	.000	.952	.934





Adams, CO
Elmwood North
PM Peak
79th Way and Pecos St

File Name : 79th and Pecos PM
Site Code : IPO 494
Start Date : 3/10/2020
Page No : 1

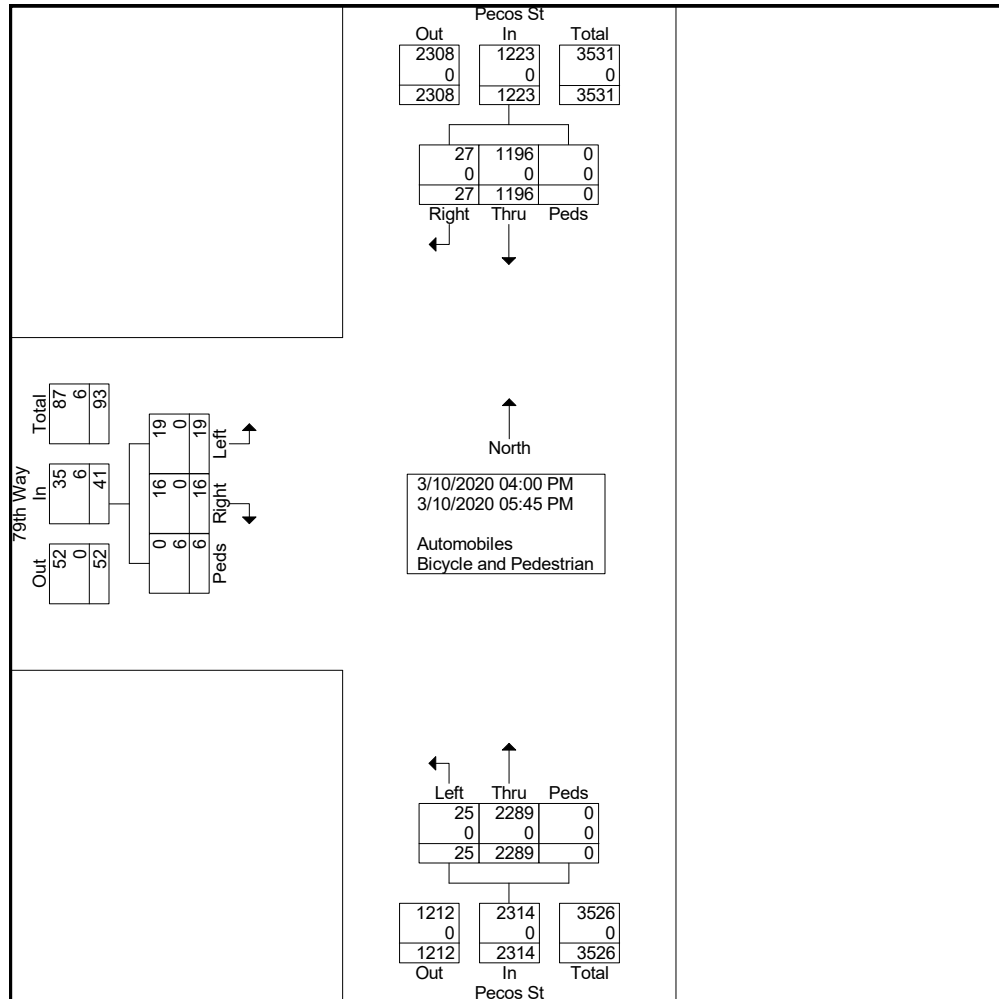
Groups Printed- Automobiles - Bicycle and Pedestrian

[illegible]



Adams, CO
 Elmwood North
 PM Peak
 79th Way and Pecos St

File Name : 79th and Pecos PM
 Site Code : IPO 494
 Start Date : 3/10/2020
 Page No : 2

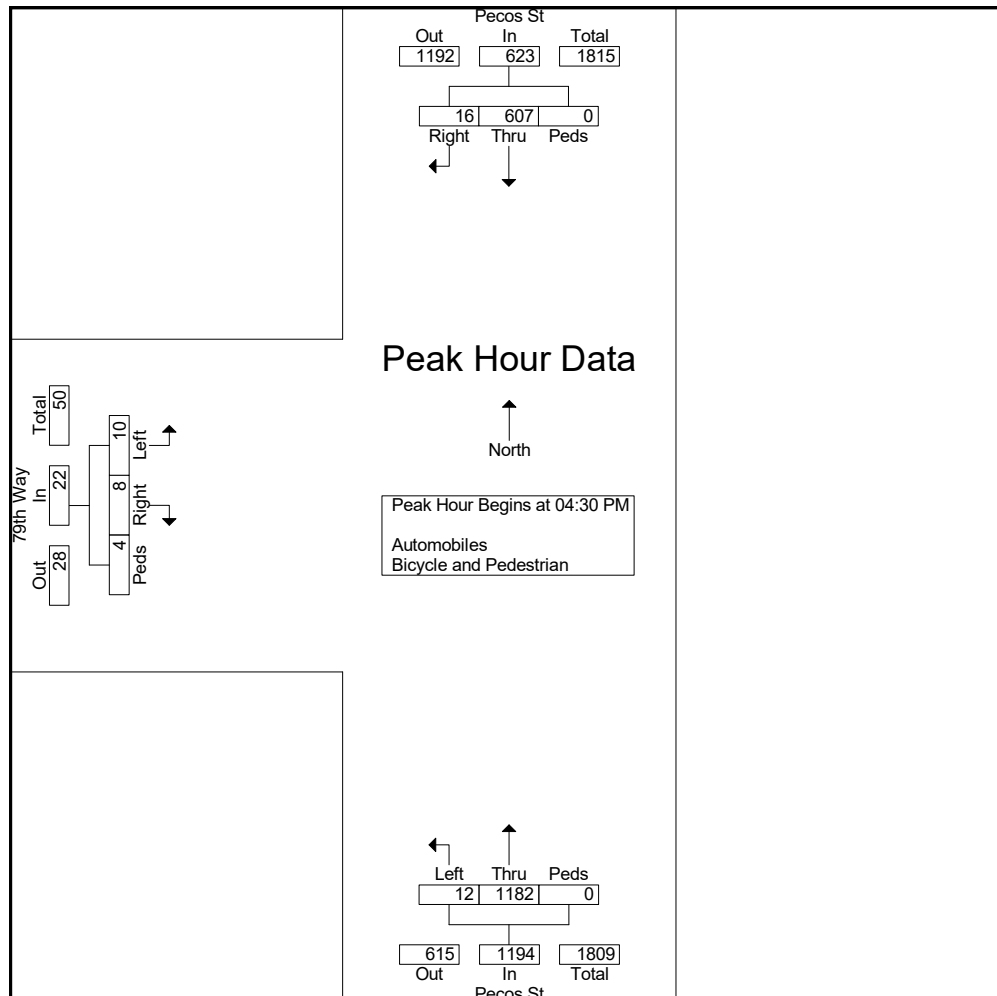




Adams, CO
 Elmwood North
 PM Peak
 79th Way and Pecos St

File Name : 79th and Pecos PM
 Site Code : IPO 494
 Start Date : 3/10/2020
 Page No : 3

	79th Way Eastbound				Pecos St Northbound				Pecos St Southbound				
Start Time	Left	Right	Peds	App. Total	Left	Thru	Peds	App. Total	Thru	Right	Peds	App. Total	Int. Total
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1													
Peak Hour for Entire Intersection Begins at 04:30 PM													
04:30 PM	0	5	3	8	4	282	0	286	153	6	0	159	453
04:45 PM	3	3	1	7	4	274	0	278	141	3	0	144	429
05:00 PM	3	0	0	3	2	288	0	290	156	3	0	159	452
05:15 PM	4	0	0	4	2	338	0	340	157	4	0	161	505
Total Volume	10	8	4	22	12	1182	0	1194	607	16	0	623	1839
% App. Total	45.5	36.4	18.2		1	99	0		97.4	2.6	0		
PHF	.625	.400	.333	.688	.750	.874	.000	.878	.967	.667	.000	.967	.910





Adams, CO
 Elmwood North
 AM Peak
 Sherrelwood Dr and Pecos St

File Name : Sherrelwood and Pecos AM
 Site Code : IPO 494
 Start Date : 3/10/2020
 Page No : 1

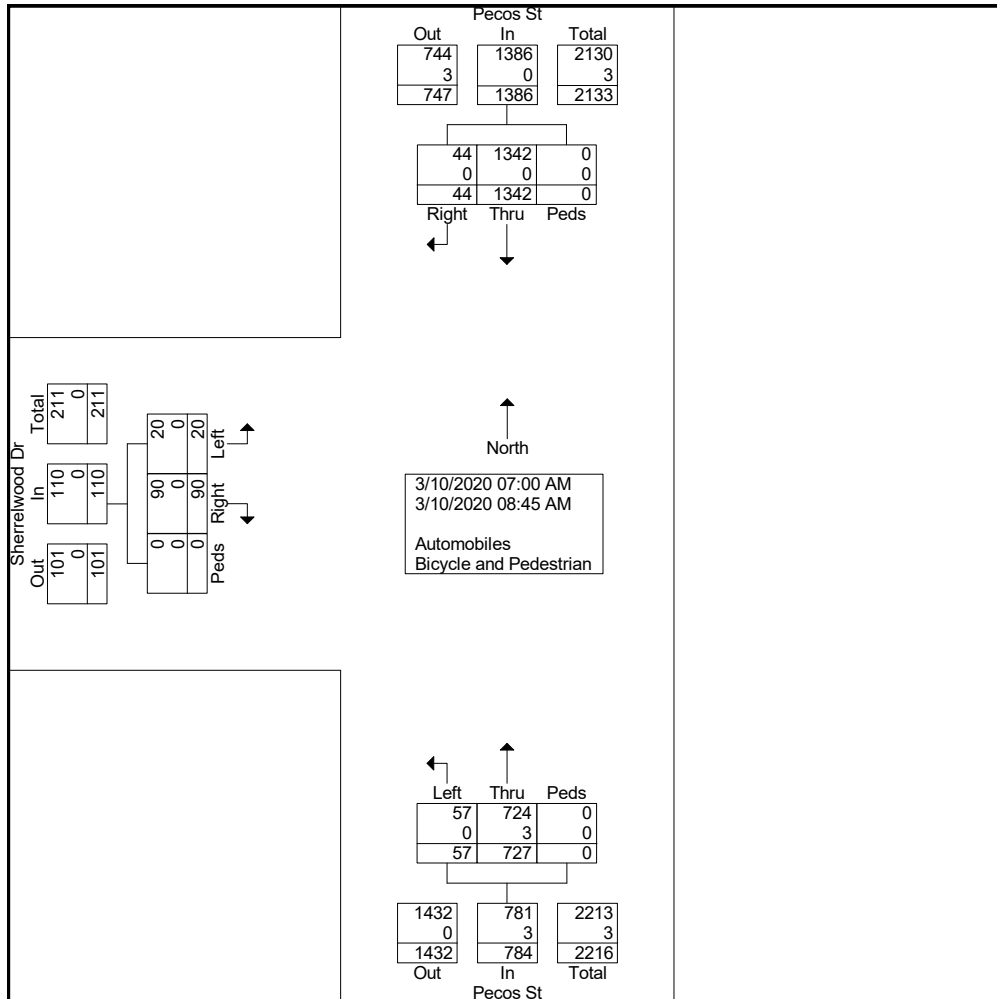
Groups Printed- Automobiles - Bicycle and Pedestrian

Start Time	Sherrelwood Dr Eastbound				Pecos St Northbound				Pecos St Southbound				Int. Total
	Left	Right	Peds	App. Total	Left	Thru	Peds	App. Total	Thru	Right	Peds	App. Total	
07:00 AM	0	11	0	11	0	59	0	59	178	6	0	184	254
07:15 AM	2	14	0	16	4	77	0	81	201	4	0	205	302
07:30 AM	2	8	0	10	5	96	0	101	218	4	0	222	333
07:45 AM	2	10	0	12	11	101	0	112	214	6	0	220	344
Total	6	43	0	49	20	333	0	353	811	20	0	831	1233
08:00 AM	4	13	0	17	12	99	0	111	205	9	0	214	342
08:15 AM	2	10	0	12	5	113	0	118	123	6	0	129	259
08:30 AM	7	14	0	21	16	93	0	109	123	8	0	131	261
08:45 AM	1	10	0	11	4	89	0	93	80	1	0	81	185
Total	14	47	0	61	37	394	0	431	531	24	0	555	1047
Grand Total	20	90	0	110	57	727	0	784	1342	44	0	1386	2280
Apprch %	18.2	81.8	0		7.3	92.7	0		96.8	3.2	0		
Total %	0.9	3.9	0	4.8	2.5	31.9	0	34.4	58.9	1.9	0	60.8	
Automobiles	20	90	0	110	57	724	0	781	1342	44	0	1386	2277
% Automobiles	100	100	0	100	100	99.6	0	99.6	100	100	0	100	99.9
Bicycle and Pedestrian	0	0	0	0	0	3	0	3	0	0	0	0	3
% Bicycle and Pedestrian	0	0	0	0	0	0.4	0	0.4	0	0	0	0	0.1



Adams, CO
 Elmwood North
 AM Peak
 Sherrelwood Dr and Pecos St

File Name : Sherrelwood and Pecos AM
 Site Code : IPO 494
 Start Date : 3/10/2020
 Page No : 2

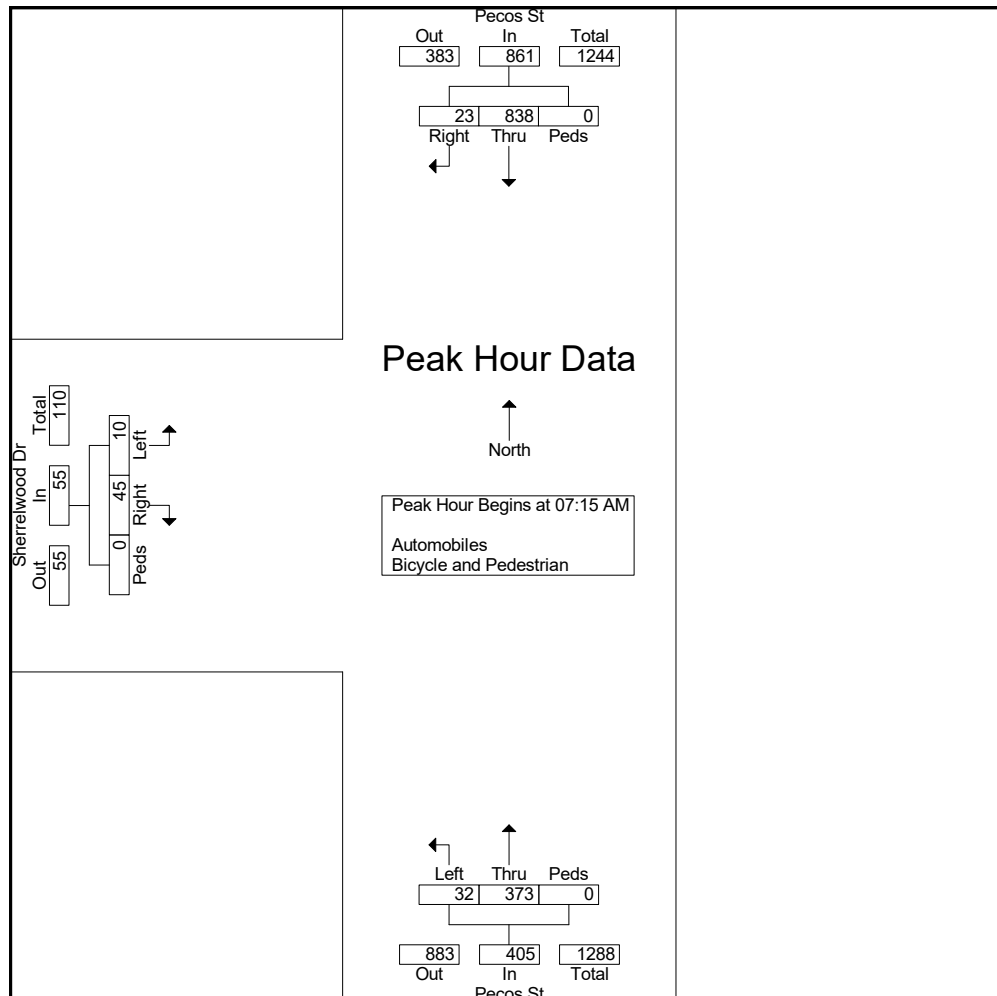




Adams, CO
 Elmwood North
 AM Peak
 Sherrelwood Dr and Pecos St

File Name : Sherrelwood and Pecos AM
 Site Code : IPO 494
 Start Date : 3/10/2020
 Page No : 3

	Sherrelwood Dr Eastbound				Pecos St Northbound				Pecos St Southbound				
Start Time	Left	Right	Peds	App. Total	Left	Thru	Peds	App. Total	Thru	Right	Peds	App. Total	Int. Total
Peak Hour Analysis From 07:00 AM to 08:45 AM - Peak 1 of 1													
Peak Hour for Entire Intersection Begins at 07:15 AM													
07:15 AM	2	14	0	16	4	77	0	81	201	4	0	205	302
07:30 AM	2	8	0	10	5	96	0	101	218	4	0	222	333
07:45 AM	2	10	0	12	11	101	0	112	214	6	0	220	344
08:00 AM	4	13	0	17	12	99	0	111	205	9	0	214	342
Total Volume	10	45	0	55	32	373	0	405	838	23	0	861	1321
% App. Total	18.2	81.8	0		7.9	92.1	0		97.3	2.7	0		
PHF	.625	.804	.000	.809	.667	.923	.000	.904	.961	.639	.000	.970	.960





Adams, CO
 Elmwood North
 PM Peak
 Sherrelwood Dr and Pecos St

File Name : Sherrelwood and Pecos PM
 Site Code : IPO 494
 Start Date : 3/10/2020
 Page No : 1

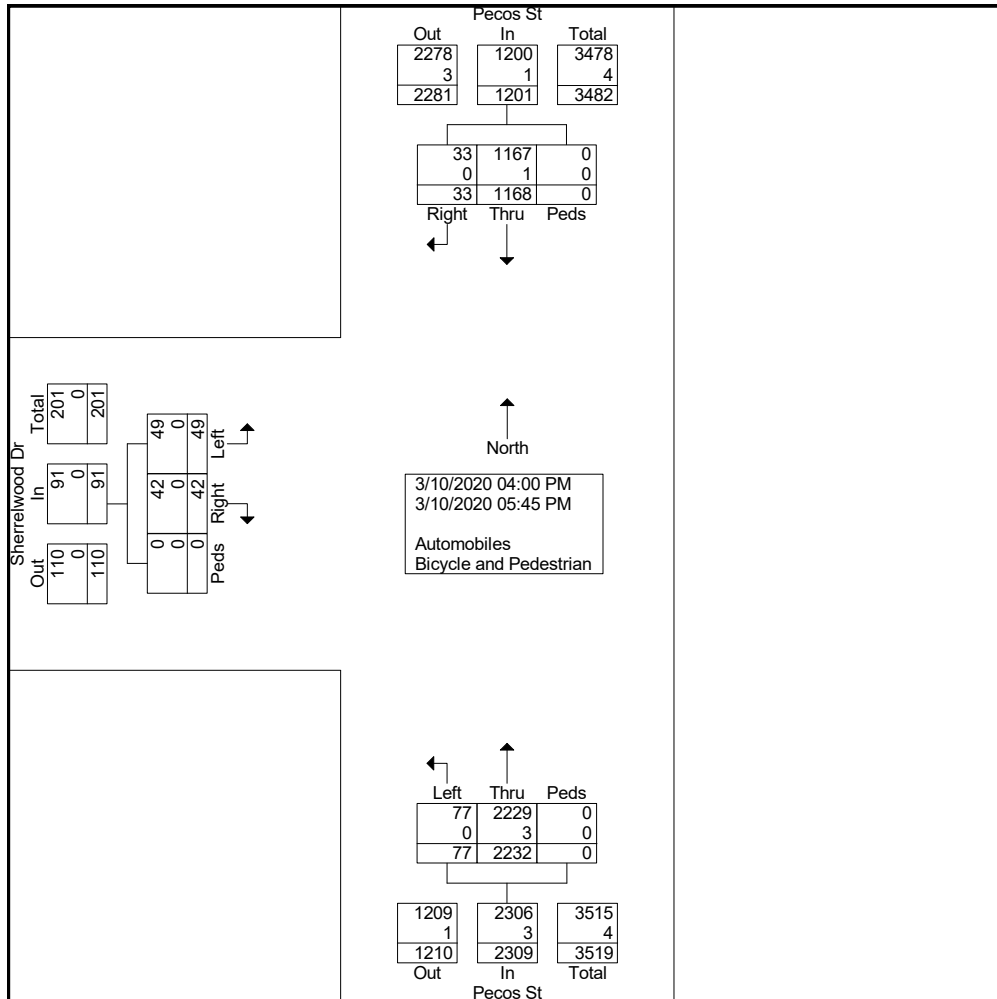
Groups Printed- Automobiles - Bicycle and Pedestrian

Start Time	Sherrelwood Dr Eastbound				Pecos St Northbound				Pecos St Southbound				Int. Total
	Left	Right	Peds	App. Total	Left	Thru	Peds	App. Total	Thru	Right	Peds	App. Total	
04:00 PM	12	13	0	25	13	279	0	292	160	11	0	171	488
04:15 PM	11	5	0	16	9	300	0	309	127	3	0	130	455
04:30 PM	5	4	0	9	9	274	0	283	158	6	0	164	456
04:45 PM	5	5	0	10	8	268	0	276	135	1	0	136	422
Total	33	27	0	60	39	1121	0	1160	580	21	0	601	1821
05:00 PM	5	6	0	11	11	280	0	291	153	2	0	155	457
05:15 PM	7	1	0	8	9	331	0	340	158	2	0	160	508
05:30 PM	1	3	0	4	11	242	0	253	142	3	0	145	402
05:45 PM	3	5	0	8	7	258	0	265	135	5	0	140	413
Total	16	15	0	31	38	1111	0	1149	588	12	0	600	1780
Grand Total	49	42	0	91	77	2232	0	2309	1168	33	0	1201	3601
Apprch %	53.8	46.2	0		3.3	96.7	0		97.3	2.7	0		
Total %	1.4	1.2	0	2.5	2.1	62	0	64.1	32.4	0.9	0	33.4	
Automobiles	49	42	0	91	77	2229	0	2306	1167	33	0	1200	3597
% Automobiles	100	100	0	100	100	99.9	0	99.9	99.9	100	0	99.9	99.9
Bicycle and Pedestrian	0	0	0	0	0	3	0	3	1	0	0	1	4
% Bicycle and Pedestrian	0	0	0	0	0	0.1	0	0.1	0.1	0	0	0.1	0.1



Adams, CO
 Elmwood North
 PM Peak
 Sherrelwood Dr and Pecos St

File Name : Sherrelwood and Pecos PM
 Site Code : IPO 494
 Start Date : 3/10/2020
 Page No : 2

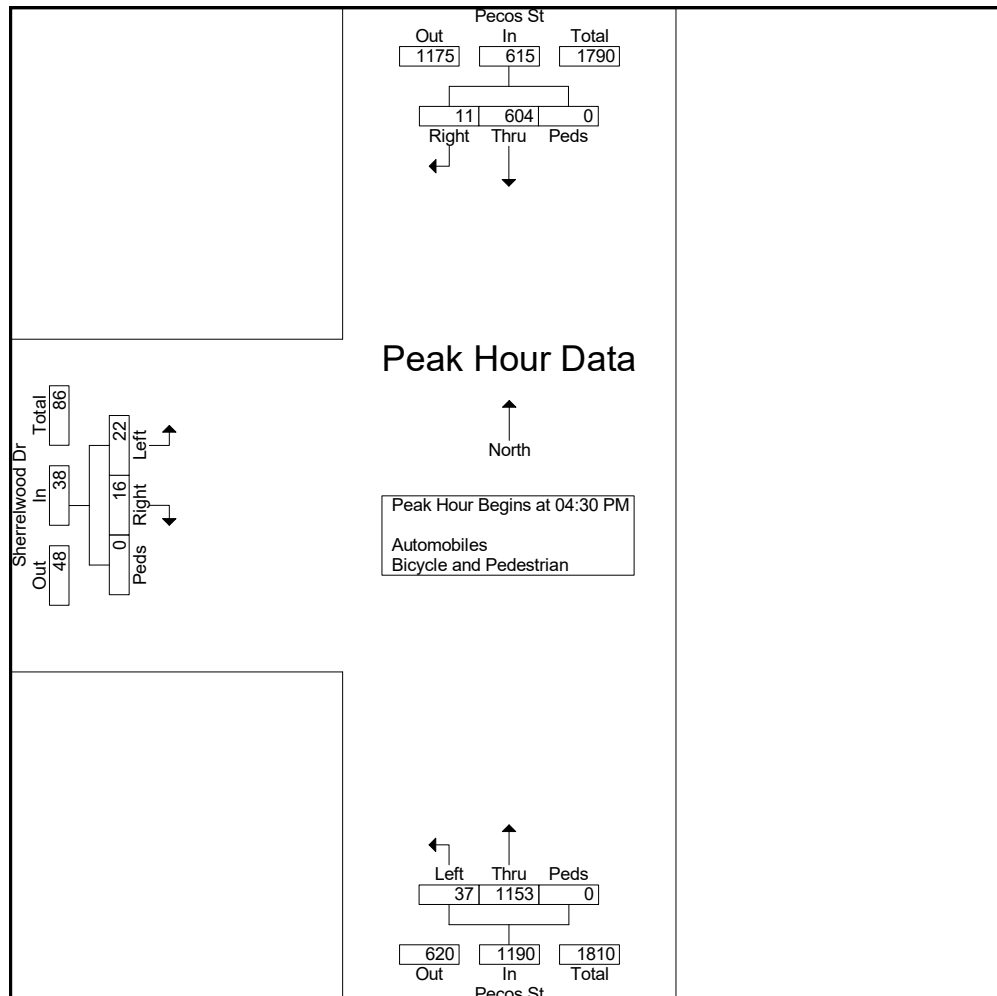




Adams, CO
 Elmwood North
 PM Peak
 Sherrelwood Dr and Pecos St

File Name : Sherrelwood and Pecos PM
 Site Code : IPO 494
 Start Date : 3/10/2020
 Page No : 3

	Sherrelwood Dr Eastbound				Pecos St Northbound				Pecos St Southbound				
Start Time	Left	Right	Peds	App. Total	Left	Thru	Peds	App. Total	Thru	Right	Peds	App. Total	Int. Total
Peak Hour Analysis From 04:00 PM to 05:45 PM - Peak 1 of 1													
Peak Hour for Entire Intersection Begins at 04:30 PM													
04:30 PM	5	4	0	9	9	274	0	283	158	6	0	164	456
04:45 PM	5	5	0	10	8	268	0	276	135	1	0	136	422
05:00 PM	5	6	0	11	11	280	0	291	153	2	0	155	457
05:15 PM	7	1	0	8	9	331	0	340	158	2	0	160	508
Total Volume	22	16	0	38	37	1153	0	1190	604	11	0	615	1843
% App. Total	57.9	42.1	0		3.1	96.9	0		98.2	1.8	0		
PHF	.786	.667	.000	.864	.841	.871	.000	.875	.956	.458	.000	.938	.907



Project	Elmwood North		
Subject	Trip Generation for Single-Family Detached Housing		
Designed by	TES	Date	April 01, 2020
Job No.	96742004.000		
Checked by		Date	
Sheet No.		of	

TRIP GENERATION MANUAL TECHNIQUES

ITE Trip Generation Manual 10th Edition, Fitted Curve Equations

Land Use Code - Single-Family Detached Housing (210)

Independant Variable - Dwelling Units (X)

$$X = 41$$

T = Average Vehicle Trip Ends

Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m. (200 Series Page 3)

Average Weekday	Directional Distribution:	25% ent.	75% exit.
$(T) = 0.71 (X) + 4.80$	T = 34	Average Vehicle Trip Ends	
$(T) = 0.71 * (41) + 4.80$	7 entering	26	exiting
	7 + 27 = 34		

Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m. (200 Series Page 4)

Average Weekday	Directional Distribution:	63% ent.	37% exit.
$\ln(T) = 0.96 \ln(X) + 0.20$	T = 43	Average Vehicle Trip Ends	
$\ln(T) = 0.96 * \ln(41) + 0.20$	27 entering	16	exiting
	27 + 16 = 43		

Peak Hour of Generator, Saturday (200 Series Page 8)

Average Saturday	Directional Distribution:	54% ent.	46% exit.
$(T) = 0.84 (X) + 17.99$	T = 52	Average Vehicle Trip Ends	
$(T) = 0.84 * (41) + 17.99$	28 entering	24	exiting
	28 + 24 = 52		

Weekday (200 Series Page 2)

Average Weekday	Directional Distribution:	50% entering,	50% exiting
$\ln(T) = 0.92 \ln(X) + 2.71$	T = 458	Average Vehicle Trip Ends	
$\ln(T) = 0.92 * \ln(41) + 2.71$	229 entering	229	exiting
	229 + 229 = 458		

Project	Elmwood North		
Subject	Trip Generation for Multifamily Housing (Low-Rise)		
Designed by	TES	Date	April 01, 2020
Job No.	96742004.000		
Checked by		Date	
Sheet No.	1	of	1

TRIP GENERATION MANUAL TECHNIQUES

ITE Trip Generation Manual 10th Edition, Fitted Curve Equations

Land Use Code - Multifamily Housing (Low-Rise) (220)

Independant Variable - Dwelling Units (X)

$$X = 48$$

T = Average Vehicle Trip Ends

Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m. (Series 200 Page 32)

$\ln(T) = 0.95 \ln(X) - 0.51$ $\ln(T) = 0.95 * \ln(48.0) - 0.51$	Directional Distribution: 23% ent. 77% exit. T = 24 Average Vehicle Trip Ends 6 entering 18 exiting 6 + 18 = 24
--	--

Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m. (Series 200 Page 33)

$\ln(T) = 0.89 \ln(X) - 0.02$ $\ln(T) = 0.89 * \ln(48.0) - 0.02$	Directional Distribution: 63% ent. 37% exit. T = 31 Average Vehicle Trip Ends 20 entering 11 exiting 20 + 11 = 31
--	--

Weekday (Series 200 Page 31)

$(T) = 7.56*(X) - 40.86$ $(T) = 7.56 * 48 - 40.86$	Directional Distribution: 50% ent. 50% exit. T = 322 Average Vehicle Trip Ends 161 entering 161 exiting 161 + 161 = 322
--	--

Peak Hour of Generator, Saturday (Series 200 Page 37)

$(T) = 1.08*(X) - 33.24$ $(T) = 1.08 * 48 - 33.24$	Directional Distribution: 50% ent. 50% exit. T = 19 Average Vehicle Trip Ends 8 entering 10 exiting 8 + 10 = not ok
--	--

Timings

2020 Existing AM.syn

04/02/2020

1: Pecos St & Sherrelwood Dr



Lane Group	EBL	NBL	NBT	SBT
Lane Configurations				
Traffic Volume (vph)	10	32	373	838
Future Volume (vph)	10	32	373	838
Turn Type	Prot	Perm	NA	NA
Protected Phases	4		2	6
Permitted Phases		2		
Detector Phase	4	2	2	6
Switch Phase				
Minimum Initial (s)	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	24.5	24.5	24.5
Total Split (s)	30.0	60.0	60.0	60.0
Total Split (%)	33.3%	66.7%	66.7%	66.7%
Yellow Time (s)	4.5	4.5	4.5	4.5
All-Red Time (s)	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.5	6.5	6.5	6.5
Lead/Lag				
Lead-Lag Optimize?				
Recall Mode	None	C-Max	C-Max	C-Max
Act Effect Green (s)	7.1	73.6	73.6	73.6
Actuated g/C Ratio	0.08	0.82	0.82	0.82
v/c Ratio	0.40	0.10	0.14	0.32
Control Delay	21.8	3.4	2.6	3.1
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	21.8	3.4	2.6	3.1
LOS	C	A	A	A
Approach Delay	21.8		2.6	3.1
Approach LOS	C		A	A

Intersection Summary

Cycle Length: 90

Actuated Cycle Length: 90

Offset: 0 (0%), Referenced to phase 2:NBT and 6:SBT, Start of Green

Natural Cycle: 50

Control Type: Actuated-Coordinated

Maximum v/c Ratio: 0.40

Intersection Signal Delay: 3.9

Intersection LOS: A

Intersection Capacity Utilization 41.6%

ICU Level of Service A

Analysis Period (min) 15

Splits and Phases: 1: Pecos St & Sherrelwood Dr







HCM 6th Signalized Intersection Summary

1: Pecos St & Sherrelwood Dr

2020 Existing AM.syn









04/02/2020



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (veh/h)	10	45	32	373	838	23
Future Volume (veh/h)	10	45	32	373	838	23
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00	1.00	1.00			1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No	No	
Adj Sat Flow, veh/h/ln	1900	1900	1870	1870	1870	1870
Adj Flow Rate, veh/h	16	56	48	405	873	36
Peak Hour Factor	0.63	0.80	0.67	0.92	0.96	0.64
Percent Heavy Veh, %	0	0	2	2	2	2
Cap, veh/h	20	71	528	2837	2777	115
Arrive On Green	0.06	0.06	0.80	0.80	0.80	0.80
Sat Flow, veh/h	357	1249	614	3647	3571	143
Grp Volume(v), veh/h	73	0	48	405	446	463
Grp Sat Flow(s),veh/h/ln	1628	0	614	1777	1777	1845
Q Serve(g_s), s	4.0	0.0	2.1	2.3	6.1	6.1
Cycle Q Clear(g_c), s	4.0	0.0	8.1	2.3	6.1	6.1
Prop In Lane	0.22	0.77	1.00			0.08
Lane Grp Cap(c), veh/h	93	0	528	2837	1419	1473
V/C Ratio(X)	0.78	0.00	0.09	0.14	0.31	0.31
Avail Cap(c_a), veh/h	425	0	528	2837	1419	1473
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	41.9	0.0	3.5	2.1	2.4	2.4
Incr Delay (d2), s/veh	13.4	0.0	0.3	0.1	0.6	0.6
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.9	0.0	0.2	0.5	1.4	1.4
Unsig. Movement Delay, s/veh						
LnGrp Delay(d),s/veh	55.2	0.0	3.9	2.2	3.0	3.0
LnGrp LOS	E	A	A	A	A	A
Approach Vol, veh/h	73			453	909	
Approach Delay, s/veh	55.2			2.4	3.0	
Approach LOS	E			A	A	
Timer - Assigned Phs	2		4		6	
Phs Duration (G+Y+Rc), s	78.4		11.6		78.4	
Change Period (Y+Rc), s	6.5		6.5		6.5	
Max Green Setting (Gmax), s	53.5		23.5		53.5	
Max Q Clear Time (g_c+I1), s	10.1		6.0		8.1	
Green Ext Time (p_c), s	3.4		0.2		6.7	
Intersection Summary						
HCM 6th Ctrl Delay			5.5			
HCM 6th LOS			A			
Notes						

Timings
1: Pecos St & Sherrelwood Dr

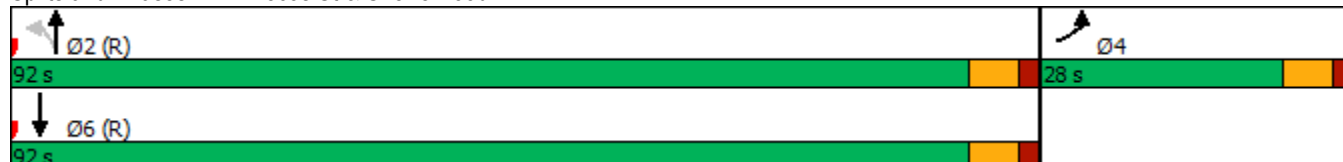
2020 Existing PM.syn
04/01/2020

				
Lane Group	EBL	NBL	NBT	SBT
Lane Configurations				
Traffic Volume (vph)	22	37	1153	604
Future Volume (vph)	22	37	1153	604
Turn Type	Prot	Perm	NA	NA
Protected Phases	4		2	6
Permitted Phases		2		
Detector Phase	4	2	2	6
Switch Phase				
Minimum Initial (s)	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	24.5	24.5	24.5
Total Split (s)	28.0	92.0	92.0	92.0
Total Split (%)	23.3%	76.7%	76.7%	76.7%
Yellow Time (s)	4.5	4.5	4.5	4.5
All-Red Time (s)	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.5	6.5	6.5	6.5
Lead/Lag				
Lead-Lag Optimize?				
Recall Mode	None	C-Max	C-Max	C-Max
Act Effct Green (s)	7.7	103.0	103.0	103.0
Actuated g/C Ratio	0.06	0.86	0.86	0.86
v/c Ratio	0.39	0.07	0.44	0.22
Control Delay	41.7	2.5	3.2	2.2
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	41.7	2.5	3.2	2.2
LOS	D	A	A	A
Approach Delay	41.7		3.2	2.2
Approach LOS	D		A	A

Intersection Summary

Cycle Length: 120
Actuated Cycle Length: 120
Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBT, Start of Green
Natural Cycle: 60
Control Type: Actuated-Coordinated
Maximum v/c Ratio: 0.44
Intersection Signal Delay: 3.8
Intersection Capacity Utilization 46.9%
Analysis Period (min) 15
Intersection LOS: A
ICU Level of Service A

Splits and Phases: 1: Pecos St & Sherrelwood Dr







HCM 6th Signalized Intersection Summary

2020 Existing PM.syn

04/01/2020

1: Pecos St & Sherrelwood Dr



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (veh/h)	22	16	37	1153	604	11
Future Volume (veh/h)	22	16	37	1153	604	11
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00	1.00	1.00			1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No	No	
Adj Sat Flow, veh/h/ln	1900	1900	1870	1870	1870	1870
Adj Flow Rate, veh/h	28	24	44	1325	629	24
Peak Hour Factor	0.79	0.67	0.84	0.87	0.96	0.46
Percent Heavy Veh, %	0	0	2	2	2	2
Cap, veh/h	36	31	698	3026	2972	113
Arrive On Green	0.04	0.04	0.85	0.85	0.85	0.85
Sat Flow, veh/h	892	764	779	3647	3584	133
Grp Volume(v), veh/h	53	0	44	1325	320	333
Grp Sat Flow(s),veh/h/ln	1688	0	779	1777	1777	1846
Q Serve(g_s), s	3.7	0.0	1.3	10.6	3.9	3.9
Cycle Q Clear(g_c), s	3.7	0.0	5.2	10.6	3.9	3.9
Prop In Lane	0.53	0.45	1.00			0.07
Lane Grp Cap(c), veh/h	68	0	698	3026	1513	1572
V/C Ratio(X)	0.78	0.00	0.06	0.44	0.21	0.21
Avail Cap(c_a), veh/h	302	0	698	3026	1513	1572
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	57.1	0.0	2.1	2.1	1.6	1.6
Incr Delay (d2), s/veh	17.4	0.0	0.2	0.5	0.3	0.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.9	0.0	0.2	2.1	0.9	0.9
Unsig. Movement Delay, s/veh						
LnGrp Delay(d),s/veh	74.4	0.0	2.3	2.6	1.9	1.9
LnGrp LOS	E	A	A	A	A	A
Approach Vol, veh/h	53			1369	653	
Approach Delay, s/veh	74.4			2.6	1.9	
Approach LOS	E			A	A	
Timer - Assigned Phs	2		4		6	
Phs Duration (G+Y+Rc), s	108.7		11.3		108.7	
Change Period (Y+Rc), s	6.5		6.5		6.5	
Max Green Setting (Gmax), s	85.5		21.5		85.5	
Max Q Clear Time (g_c+I1), s	12.6		5.7		5.9	
Green Ext Time (p_c), s	15.2		0.1		4.4	
Intersection Summary						
HCM 6th Ctrl Delay			4.2			
HCM 6th LOS			A			

Notes

User approved volume balancing among the lanes for turning movement.

Timings

2022 Background AM.syn

04/02/2020

1: Pecos St & Sherrelwood Dr



Lane Group	EBL	NBL	NBT	SBT
Lane Configurations				
Traffic Volume (vph)	10	32	377	846
Future Volume (vph)	10	32	377	846
Turn Type	Prot	Perm	NA	NA
Protected Phases	4		2	6
Permitted Phases		2		
Detector Phase	4	2	2	6
Switch Phase				
Minimum Initial (s)	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	24.5	24.5	24.5
Total Split (s)	30.0	60.0	60.0	60.0
Total Split (%)	33.3%	66.7%	66.7%	66.7%
Yellow Time (s)	4.5	4.5	4.5	4.5
All-Red Time (s)	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.5	6.5	6.5	6.5
Lead/Lag				
Lead-Lag Optimize?				
Recall Mode	None	C-Max	C-Max	C-Max
Act Effect Green (s)	7.1	73.6	73.6	73.6
Actuated g/C Ratio	0.08	0.82	0.82	0.82
v/c Ratio	0.40	0.10	0.14	0.32
Control Delay	21.8	3.4	2.6	3.1
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	21.8	3.4	2.6	3.1
LOS	C	A	A	A
Approach Delay	21.8		2.6	3.1
Approach LOS	C		A	A

Intersection Summary

Cycle Length: 90

Actuated Cycle Length: 90

Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBT, Start of Green

Natural Cycle: 50

Control Type: Actuated-Coordinated

Maximum v/c Ratio: 0.40

Intersection Signal Delay: 3.9

Intersection LOS: A

Intersection Capacity Utilization 41.6%

ICU Level of Service A





Analysis Period (min) 15

Splits and Phases: 1: Pecos St & Sherrelwood Dr



1: Pecos St & Sherrelwood Dr











Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (veh/h)	10	45	32	377	846	23
Future Volume (veh/h)	10	45	32	377	846	23
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00	1.00	1.00			1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No	No	
Adj Sat Flow, veh/h/ln	1900	1900	1870	1870	1870	1870
Adj Flow Rate, veh/h	16	56	48	410	881	36
Peak Hour Factor	0.63	0.80	0.67	0.92	0.96	0.64
Percent Heavy Veh, %	0	0	2	2	2	2
Cap, veh/h	20	71	525	2837	2778	114
Arrive On Green	0.06	0.06	0.80	0.80	0.80	0.80
Sat Flow, veh/h	357	1249	609	3647	3573	142
Grp Volume(v), veh/h	73	0	48	410	450	467
Grp Sat Flow(s),veh/h/ln	1628	0	609	1777	1777	1845
Q Serve(g_s), s	4.0	0.0	2.1	2.4	6.2	6.2
Cycle Q Clear(g_c), s	4.0	0.0	8.2	2.4	6.2	6.2
Prop In Lane	0.22	0.77	1.00			0.08
Lane Grp Cap(c), veh/h	93	0	525	2837	1419	1473
V/C Ratio(X)	0.78	0.00	0.09	0.14	0.32	0.32
Avail Cap(c_a), veh/h	425	0	525	2837	1419	1473
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	41.9	0.0	3.6	2.1	2.4	2.4
Incr Delay (d2), s/veh	13.4	0.0	0.3	0.1	0.6	0.6
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.9	0.0	0.2	0.5	1.4	1.4
Unsig. Movement Delay, s/veh						
LnGrp Delay(d),s/veh	55.2	0.0	3.9	2.2	3.0	3.0
LnGrp LOS	E	A	A	A	A	A
Approach Vol, veh/h	73			458	917	
Approach Delay, s/veh	55.2			2.4	3.0	
Approach LOS	E			A	A	
Timer - Assigned Phs	2		4		6	
Phs Duration (G+Y+Rc), s	78.4		11.6		78.4	
Change Period (Y+Rc), s	6.5		6.5		6.5	
Max Green Setting (Gmax), s	53.5		23.5		53.5	
Max Q Clear Time (g_c+l1), s	10.2		6.0		8.2	
Green Ext Time (p_c), s	3.5		0.2		6.8	
Intersection Summary						
HCM 6th Ctrl Delay			5.4			
HCM 6th LOS			A			

Notes

User approved volume balancing among the lanes for turning movement.

Timings
1: Pecos St & Sherrelwood Dr

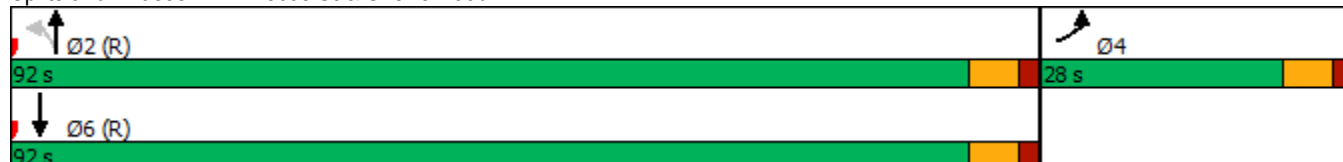
2022 Background PM.syn
04/01/2020

				
Lane Group	EBL	NBL	NBT	SBT
Lane Configurations				
Traffic Volume (vph)	22	37	1165	610
Future Volume (vph)	22	37	1165	610
Turn Type	Prot	Perm	NA	NA
Protected Phases	4		2	6
Permitted Phases		2		
Detector Phase	4	2	2	6
Switch Phase				
Minimum Initial (s)	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	24.5	24.5	24.5
Total Split (s)	28.0	92.0	92.0	92.0
Total Split (%)	23.3%	76.7%	76.7%	76.7%
Yellow Time (s)	4.5	4.5	4.5	4.5
All-Red Time (s)	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.5	6.5	6.5	6.5
Lead/Lag				
Lead-Lag Optimize?				
Recall Mode	None	C-Max	C-Max	C-Max
Act Effct Green (s)	7.7	103.0	103.0	103.0
Actuated g/C Ratio	0.06	0.86	0.86	0.86
v/c Ratio	0.39	0.07	0.44	0.22
Control Delay	41.7	2.5	3.2	2.2
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	41.7	2.5	3.2	2.2
LOS	D	A	A	A
Approach Delay	41.7		3.2	2.2
Approach LOS	D		A	A

Intersection Summary

Cycle Length: 120
Actuated Cycle Length: 120
Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBT, Start of Green
Natural Cycle: 60
Control Type: Actuated-Coordinated
Maximum v/c Ratio: 0.44
Intersection Signal Delay: 3.8
Intersection Capacity Utilization 47.2%
Analysis Period (min) 15
Intersection LOS: A
ICU Level of Service A

Splits and Phases: 1: Pecos St & Sherrelwood Dr







HCM 6th Signalized Intersection Summary

2022 Background PM.syn

04/01/2020

1: Pecos St & Sherrelwood Dr



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (veh/h)	22	16	37	1165	610	11
Future Volume (veh/h)	22	16	37	1165	610	11
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00	1.00	1.00			1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No	No	
Adj Sat Flow, veh/h/ln	1900	1900	1870	1870	1870	1870
Adj Flow Rate, veh/h	28	24	44	1339	635	24
Peak Hour Factor	0.79	0.67	0.84	0.87	0.96	0.46
Percent Heavy Veh, %	0	0	2	2	2	2
Cap, veh/h	36	31	694	3026	2973	112
Arrive On Green	0.04	0.04	0.85	0.85	0.85	0.85
Sat Flow, veh/h	892	764	775	3647	3585	132
Grp Volume(v), veh/h	53	0	44	1339	323	336
Grp Sat Flow(s),veh/h/ln	1688	0	775	1777	1777	1847
Q Serve(g_s), s	3.7	0.0	1.3	10.8	4.0	4.0
Cycle Q Clear(g_c), s	3.7	0.0	5.3	10.8	4.0	4.0
Prop In Lane	0.53	0.45	1.00			0.07
Lane Grp Cap(c), veh/h	68	0	694	3026	1513	1572
V/C Ratio(X)	0.78	0.00	0.06	0.44	0.21	0.21
Avail Cap(c_a), veh/h	302	0	694	3026	1513	1572
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	57.1	0.0	2.1	2.1	1.6	1.6
Incr Delay (d2), s/veh	17.4	0.0	0.2	0.5	0.3	0.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.9	0.0	0.2	2.2	0.9	0.9
Unsig. Movement Delay, s/veh						
LnGrp Delay(d),s/veh	74.4	0.0	2.3	2.6	1.9	1.9
LnGrp LOS	E	A	A	A	A	A
Approach Vol, veh/h	53			1383	659	
Approach Delay, s/veh	74.4			2.6	1.9	
Approach LOS	E			A	A	
Timer - Assigned Phs	2		4		6	
Phs Duration (G+Y+Rc), s	108.7		11.3		108.7	
Change Period (Y+Rc), s	6.5		6.5		6.5	
Max Green Setting (Gmax), s	85.5		21.5		85.5	
Max Q Clear Time (g_c+l1), s	12.8		5.7		6.0	
Green Ext Time (p_c), s	15.5		0.1		4.4	
Intersection Summary						
HCM 6th Ctrl Delay			4.2			
HCM 6th LOS			A			

Notes

User approved volume balancing among the lanes for turning movement.

Timings
1: Pecos St & Sherrelwood Dr

2022 Total AM.syn
04/02/2020

	→	←	↖	↑	↘	↓		
Lane Group	EBT	WBT	NBL	NBT	SBL	SBT	Ø3	Ø7
Lane Configurations	↕	↕	↖	↑	↘	↕		
Traffic Volume (vph)	0	0	32	382	3	847		
Future Volume (vph)	0	0	32	382	3	847		
Turn Type	NA	NA	Perm	NA	Perm	NA		
Protected Phases	4	8		2		6	3	7
Permitted Phases			2		6			
Detector Phase	4	8	2	2	6	6		
Switch Phase								
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	22.5	24.5	24.5	24.5	24.5	9.5	24.5
Total Split (s)	37.5	22.5	43.0	43.0	43.0	43.0	9.5	24.5
Total Split (%)	41.7%	25.0%	47.8%	47.8%	47.8%	47.8%	11%	27%
Yellow Time (s)	4.5	3.5	4.5	4.5	4.5	4.5	3.5	4.5
All-Red Time (s)	2.0	1.0	2.0	2.0	2.0	2.0	1.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0		
Total Lost Time (s)	6.5	4.5	6.5	6.5	6.5	6.5		
Lead/Lag	Lag	Lag					Lead	Lead
Lead-Lag Optimize?	Yes	Yes					Yes	Yes
Recall Mode	None	None	C-Max	C-Max	C-Max	C-Max	None	None
Act Effect Green (s)	0.0	0.0	68.2	68.2	68.2	68.2		
Actuated g/C Ratio	0.00	0.00	0.76	0.76	0.76	0.76		
v/c Ratio	0.60	0.11	0.11	0.16	0.00	0.34		
Control Delay	23.1	1.1	10.0	6.7	10.3	7.9		
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0		
Total Delay	23.1	1.1	10.0	6.7	10.3	7.9		
LOS	C	A	A	A	B	A		
Approach Delay	23.1	1.1		7.1		7.9		
Approach LOS	C	A		A		A		

Intersection Summary

Cycle Length: 90

Actuated Cycle Length: 90

Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green

Natural Cycle: 75

Control Type: Actuated-Coordinated

Maximum v/c Ratio: 0.60

Intersection Signal Delay: 8.3

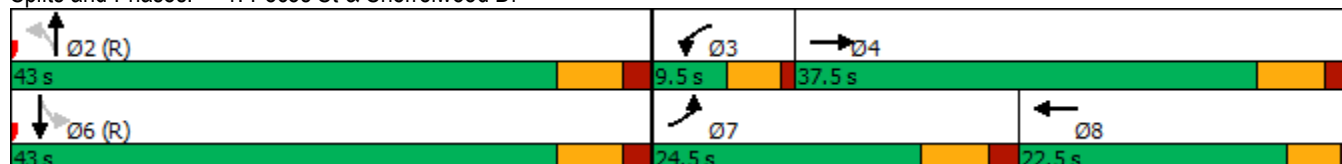
Intersection LOS: A

Intersection Capacity Utilization 41.6%

ICU Level of Service A

Analysis Period (min) 15

Splits and Phases: 1: Pecos St & Sherrelwood Dr





















HCM 6th Signalized Intersection Summary

2022 Total AM.syn

1: Pecos St & Sherrelwood Dr

04/02/2020

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	10	0	45	11	0	9	32	382	3	3	847	23
Future Volume (veh/h)	10	0	45	11	0	9	32	382	3	3	847	23
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No			No			No		
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	16	0	56	12	0	10	48	415	3	3	882	36
Peak Hour Factor	0.63	0.92	0.80	0.92	0.92	0.92	0.67	0.92	0.92	0.92	0.96	0.64
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	0	0	83	0	0	83	528	2905	21	833	2795	114
Arrive On Green	0.00	0.00	0.05	0.00	0.00	0.05	0.80	0.80	0.80	0.80	0.80	0.80
Sat Flow, veh/h	0	0	1585	0	0	1585	609	3616	26	969	3480	142
Grp Volume(v), veh/h	0	0	56	0	0	10	48	204	214	3	450	468
Grp Sat Flow(s),veh/h/ln	0	0	1585	0	0	1585	609	1777	1866	969	1777	1845
Q Serve(g_s), s	0.0	0.0	3.1	0.0	0.0	0.5	2.0	2.3	2.3	0.1	6.0	6.0
Cycle Q Clear(g_c), s	0.0	0.0	3.1	0.0	0.0	0.5	8.0	2.3	2.3	2.4	6.0	6.0
Prop In Lane	0.00		1.00	0.00		1.00	1.00		0.01	1.00		0.08
Lane Grp Cap(c), veh/h	0	0	83	0	0	83	528	1427	1499	833	1427	1482
V/C Ratio(X)	0.00	0.00	0.68	0.00	0.00	0.12	0.09	0.14	0.14	0.00	0.32	0.32
Avail Cap(c_a), veh/h	0	0	546	0	0	317	528	1427	1499	833	1427	1482
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	0.00	0.00	1.00	0.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	0.0	0.0	41.9	0.0	0.0	40.7	3.4	2.0	2.0	2.2	2.3	2.3
Incr Delay (d2), s/veh	0.0	0.0	9.3	0.0	0.0	0.6	0.3	0.2	0.2	0.0	0.6	0.6
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.0	0.0	1.4	0.0	0.0	0.2	0.2	0.5	0.5	0.0	1.3	1.4
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	0.0	0.0	51.2	0.0	0.0	41.3	3.7	2.2	2.2	2.2	2.9	2.9
LnGrp LOS	A	A	D	A	A	D	A	A	A	A	A	A
Approach Vol, veh/h	56			10			466			921		
Approach Delay, s/veh	51.2			41.3			2.3			2.9		
Approach LOS	D			D			A			A		
Timer - Assigned Phs	2		3	4		6	7	8				
Phs Duration (G+Y+Rc), s	78.8		0.0	11.2		78.8	0.0	11.2				
Change Period (Y+Rc), s	6.5		4.5	6.5		6.5	6.5	* 6.5				
Max Green Setting (Gmax), s	36.5		5.0	31.0		36.5	18.0	* 18				
Max Q Clear Time (g_c+I1), s	10.0		0.0	5.1		8.0	0.0	2.5				
Green Ext Time (p_c), s	2.9		0.0	0.3		6.4	0.0	0.0				
Intersection Summary												
HCM 6th Ctrl Delay			4.8									
HCM 6th LOS			A									
Notes												

* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.

Timings
1: Pecos St & Sherrelwood Dr

2022 Total PM.syn
04/01/2020

	→	←	↖	↑	↘	↓		
Lane Group	EBT	WBT	NBL	NBT	SBL	SBT	Ø3	Ø7
Lane Configurations	↕	↕	↖	↑	↘	↕		
Traffic Volume (vph)	0	0	37	1168	9	615		
Future Volume (vph)	0	0	37	1168	9	615		
Turn Type	NA	NA	Perm	NA	Perm	NA		
Protected Phases	4	8		2		6	3	7
Permitted Phases			2		6			
Detector Phase	4	8	2	2	6	6		
Switch Phase								
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	22.5	24.5	24.5	24.5	24.5	9.5	9.5
Total Split (s)	24.5	24.5	86.0	86.0	86.0	86.0	9.5	9.5
Total Split (%)	20.4%	20.4%	71.7%	71.7%	71.7%	71.7%	8%	8%
Yellow Time (s)	4.5	3.5	4.5	4.5	4.5	4.5	3.5	3.5
All-Red Time (s)	2.0	1.0	2.0	2.0	2.0	2.0	1.0	1.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0		
Total Lost Time (s)	6.5	4.5	6.5	6.5	6.5	6.5		
Lead/Lag	Lag	Lag					Lead	Lead
Lead-Lag Optimize?	Yes	Yes					Yes	Yes
Recall Mode	None	None	C-Max	C-Max	C-Max	C-Max	None	None
Act Effect Green (s)	0.0	0.0	100.8	100.8	100.8	100.8		
Actuated g/C Ratio	0.00	0.00	0.84	0.84	0.84	0.84		
v/c Ratio	0.60	0.14	0.09	0.43	0.03	0.22		
Control Delay	29.8	3.2	4.3	4.7	4.8	3.5		
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0		
Total Delay	29.8	3.2	4.3	4.7	4.8	3.5		
LOS	C	A	A	A	A	A		
Approach Delay	29.8	3.3		4.7		3.5		
Approach LOS	C	A		A		A		

Intersection Summary

Cycle Length: 120
 Actuated Cycle Length: 120
 Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green
 Natural Cycle: 65
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.60
 Intersection Signal Delay: 5.0
 Intersection Capacity Utilization 47.7%
 Analysis Period (min) 15

Intersection LOS: A
 ICU Level of Service A

Splits and Phases: 1: Pecos St & Sherrelwood Dr



















↑ Ø2 (R)	↖ Ø3	→ Ø4
86 s	9.5 s	24.5 s
↓ Ø6 (R)	↘ Ø7	← Ø8
86 s	9.5 s	24.5 s

HCM 6th Signalized Intersection Summary

2022 Total PM.syn









1: Pecos St & Sherrelwood Dr

04/01/2020

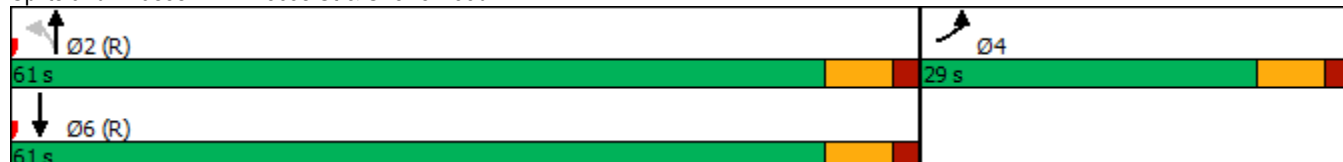
												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	22	0	16	7	0	5	37	1168	12	9	615	11
Future Volume (veh/h)	22	0	16	7	0	5	37	1168	12	9	615	11
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No			No			No		
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	35	0	20	8	0	5	55	1270	13	10	641	17
Peak Hour Factor	0.63	0.92	0.80	0.92	0.92	0.92	0.67	0.92	0.92	0.92	0.96	0.64
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	0	0	57	0	0	57	699	3083	32	395	3026	80
Arrive On Green	0.00	0.00	0.04	0.00	0.00	0.04	0.86	0.86	0.86	0.86	0.86	0.86
Sat Flow, veh/h	0	0	1585	0	0	1585	776	3604	37	431	3537	94
Grp Volume(v), veh/h	0	0	20	0	0	5	55	626	657	10	322	336
Grp Sat Flow(s),veh/h/ln	0	0	1585	0	0	1585	776	1777	1864	431	1777	1853
Q Serve(g_s), s	0.0	0.0	1.5	0.0	0.0	0.4	1.6	9.4	9.4	0.6	3.8	3.8
Cycle Q Clear(g_c), s	0.0	0.0	1.5	0.0	0.0	0.4	5.5	9.4	9.4	10.1	3.8	3.8
Prop In Lane	0.00		1.00	0.00		1.00	1.00		0.02	1.00		0.05
Lane Grp Cap(c), veh/h	0	0	57	0	0	57	699	1520	1595	395	1520	1586
V/C Ratio(X)	0.00	0.00	0.35	0.00	0.00	0.09	0.08	0.41	0.41	0.03	0.21	0.21
Avail Cap(c_a), veh/h	0	0	238	0	0	264	699	1520	1595	395	1520	1586
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	0.00	0.00	1.00	0.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	0.0	0.0	56.5	0.0	0.0	55.9	2.0	1.9	1.9	3.1	1.5	1.5
Incr Delay (d2), s/veh	0.0	0.0	3.6	0.0	0.0	0.7	0.2	0.8	0.8	0.1	0.3	0.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.0	0.0	0.7	0.0	0.0	0.2	0.2	2.0	2.1	0.1	0.8	0.8
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	0.0	0.0	60.1	0.0	0.0	56.6	2.2	2.8	2.7	3.2	1.8	1.8
LnGrp LOS	A	A	E	A	A	E	A	A	A	A	A	A
Approach Vol, veh/h	20			5			1338			668		
Approach Delay, s/veh	60.1			56.6			2.7			1.9		
Approach LOS	E			E			A			A		
Timer - Assigned Phs	2		3	4		6		7	8			
Phs Duration (G+Y+Rc), s	109.2		0.0	10.8		109.2		0.0	10.8			
Change Period (Y+Rc), s	6.5		4.5	6.5		6.5		4.5	* 6.5			
Max Green Setting (Gmax), s	79.5		5.0	18.0		79.5		5.0	* 20			
Max Q Clear Time (g_c+I1), s	11.4		0.0	3.5		12.1		0.0	2.4			
Green Ext Time (p_c), s	12.8		0.0	0.0		4.6		0.0	0.0			
Intersection Summary												
HCM 6th Ctrl Delay			3.1									
HCM 6th LOS			A									
Notes												

Timings
1: Pecos St & Sherrelwood Dr

2040 Background AM.syn
04/02/2020

				
Lane Group	EBL	NBL	NBT	SBT
Lane Configurations				
Traffic Volume (vph)	11	35	412	926
Future Volume (vph)	11	35	412	926
Turn Type	Prot	Perm	NA	NA
Protected Phases	4		2	6
Permitted Phases		2		
Detector Phase	4	2	2	6
Switch Phase				
Minimum Initial (s)	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	24.5	24.5	24.5
Total Split (s)	29.0	61.0	61.0	61.0
Total Split (%)	32.2%	67.8%	67.8%	67.8%
Yellow Time (s)	4.5	4.5	4.5	4.5
All-Red Time (s)	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.5	6.5	6.5	6.5
Lead/Lag				
Lead-Lag Optimize?				
Recall Mode	None	C-Max	C-Max	C-Max
Act Effct Green (s)	6.9	73.8	73.8	73.8
Actuated g/C Ratio	0.08	0.82	0.82	0.82
v/c Ratio	0.38	0.09	0.15	0.34
Control Delay	20.9	3.3	2.5	3.2
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	20.9	3.3	2.5	3.2
LOS	C	A	A	A
Approach Delay	20.9		2.6	3.2
Approach LOS	C		A	A
Intersection Summary				
Cycle Length: 90				
Actuated Cycle Length: 90				
Offset: 0 (0%), Referenced to phase 2:NBT and 6:SBT, Start of Green				
Natural Cycle: 50				
Control Type: Actuated-Coordinated				
Maximum v/c Ratio: 0.38				
Intersection Signal Delay: 3.8			Intersection LOS: A	
Intersection Capacity Utilization 44.1%			ICU Level of Service A	
Analysis Period (min) 15				

Splits and Phases: 1: Pecos St & Sherrelwood Dr







HCM 6th Signalized Intersection Summary

2040 Background AM.syn

04/02/2020









1: Pecos St & Sherrelwood Dr



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (veh/h)	11	50	35	412	926	25
Future Volume (veh/h)	11	50	35	412	926	25
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00	1.00	1.00			1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No	No	
Adj Sat Flow, veh/h/ln	1900	1900	1870	1870	1870	1870
Adj Flow Rate, veh/h	12	54	38	448	965	27
Peak Hour Factor	0.92	0.92	0.92	0.92	0.96	0.92
Percent Heavy Veh, %	0	0	2	2	2	2
Cap, veh/h	15	69	494	2854	2835	79
Arrive On Green	0.05	0.05	0.80	0.80	0.80	0.80
Sat Flow, veh/h	290	1306	568	3647	3624	99
Grp Volume(v), veh/h	67	0	38	448	486	506
Grp Sat Flow(s),veh/h/ln	1621	0	568	1777	1777	1853
Q Serve(g_s), s	3.7	0.0	1.7	2.6	6.7	6.7
Cycle Q Clear(g_c), s	3.7	0.0	8.4	2.6	6.7	6.7
Prop In Lane	0.18	0.81	1.00			0.05
Lane Grp Cap(c), veh/h	85	0	494	2854	1427	1488
V/C Ratio(X)	0.79	0.00	0.08	0.16	0.34	0.34
Avail Cap(c_a), veh/h	405	0	494	2854	1427	1488
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	42.1	0.0	3.5	2.0	2.4	2.4
Incr Delay (d2), s/veh	14.7	0.0	0.3	0.1	0.6	0.6
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.8	0.0	0.2	0.5	1.5	1.5
Unsig. Movement Delay, s/veh						
LnGrp Delay(d),s/veh	56.9	0.0	3.8	2.1	3.0	3.0
LnGrp LOS	E	A	A	A	A	A
Approach Vol, veh/h	67			486	992	
Approach Delay, s/veh	56.9			2.2	3.0	
Approach LOS	E			A	A	
Timer - Assigned Phs	2		4		6	
Phs Duration (G+Y+Rc), s	78.8		11.2		78.8	
Change Period (Y+Rc), s	6.5		6.5		6.5	
Max Green Setting (Gmax), s	54.5		22.5		54.5	
Max Q Clear Time (g_c+l1), s	10.4		5.7		8.7	
Green Ext Time (p_c), s	3.7		0.1		7.6	
Intersection Summary						
HCM 6th Ctrl Delay			5.1			
HCM 6th LOS			A			
Notes						

Timings
1: Pecos St & Sherrelwood Dr

2040 Background PM.syn
04/01/2020

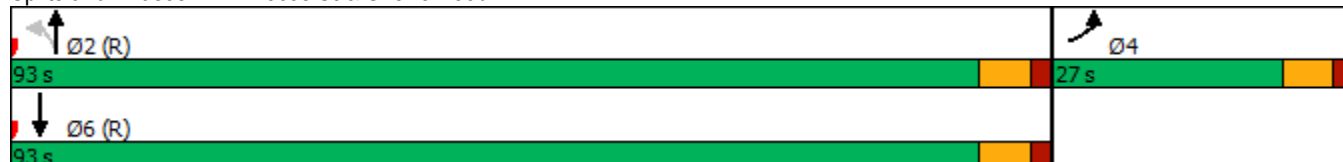
				
Lane Group	EBL	NBL	NBT	SBT
Lane Configurations				
Traffic Volume (vph)	24	41	1274	667
Future Volume (vph)	24	41	1274	667
Turn Type	Prot	Perm	NA	NA
Protected Phases	4		2	6
Permitted Phases		2		
Detector Phase	4	2	2	6
Switch Phase				
Minimum Initial (s)	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	24.5	24.5	24.5
Total Split (s)	27.0	93.0	93.0	93.0
Total Split (%)	22.5%	77.5%	77.5%	77.5%
Yellow Time (s)	4.5	4.5	4.5	4.5
All-Red Time (s)	2.0	2.0	2.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0
Total Lost Time (s)	6.5	6.5	6.5	6.5
Lead/Lag				
Lead-Lag Optimize?				
Recall Mode	None	C-Max	C-Max	C-Max
Act Effct Green (s)	7.6	103.1	103.1	103.1
Actuated g/C Ratio	0.06	0.86	0.86	0.86
v/c Ratio	0.37	0.07	0.46	0.23
Control Delay	42.5	2.5	3.2	2.3
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	42.5	2.5	3.2	2.3
LOS	D	A	A	A
Approach Delay	42.5		3.2	2.3
Approach LOS	D		A	A

Intersection Summary

Cycle Length: 120
 Actuated Cycle Length: 120
 Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBT, Start of Green
 Natural Cycle: 60
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.46
 Intersection Signal Delay: 3.7
 Intersection Capacity Utilization 50.2%
 Analysis Period (min) 15

Intersection LOS: A
 ICU Level of Service A

Splits and Phases: 1: Pecos St & Sherrelwood Dr







HCM 6th Signalized Intersection Summary

2040 Background PM.syn

04/01/2020

1: Pecos St & Sherrelwood Dr



Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (veh/h)	24	18	41	1274	667	12
Future Volume (veh/h)	24	18	41	1274	667	12
Initial Q (Qb), veh	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00	1.00	1.00			1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No	No	
Adj Sat Flow, veh/h/ln	1900	1900	1870	1870	1870	1870
Adj Flow Rate, veh/h	26	20	45	1385	695	13
Peak Hour Factor	0.92	0.92	0.92	0.92	0.96	0.92
Percent Heavy Veh, %	0	0	2	2	2	2
Cap, veh/h	33	26	668	3043	3055	57
Arrive On Green	0.04	0.04	0.86	0.86	0.86	0.86
Sat Flow, veh/h	937	721	741	3647	3662	67
Grp Volume(v), veh/h	47	0	45	1385	346	362
Grp Sat Flow(s),veh/h/ln	1694	0	741	1777	1777	1858
Q Serve(g_s), s	3.3	0.0	1.4	11.0	4.2	4.2
Cycle Q Clear(g_c), s	3.3	0.0	5.6	11.0	4.2	4.2
Prop In Lane	0.55	0.43	1.00			0.04
Lane Grp Cap(c), veh/h	60	0	668	3043	1521	1591
V/C Ratio(X)	0.78	0.00	0.07	0.46	0.23	0.23
Avail Cap(c_a), veh/h	289	0	668	3043	1521	1591
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	0.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	57.4	0.0	2.0	2.0	1.5	1.5
Incr Delay (d2), s/veh	19.5	0.0	0.2	0.5	0.3	0.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.8	0.0	0.2	2.1	0.9	0.9
Unsig. Movement Delay, s/veh						
LnGrp Delay(d),s/veh	76.9	0.0	2.2	2.5	1.9	1.9
LnGrp LOS	E	A	A	A	A	A
Approach Vol, veh/h	47			1430	708	
Approach Delay, s/veh	76.9			2.5	1.9	
Approach LOS	E			A	A	
Timer - Assigned Phs	2		4		6	
Phs Duration (G+Y+Rc), s	109.2		10.8		109.2	
Change Period (Y+Rc), s	6.5		6.5		6.5	
Max Green Setting (Gmax), s	86.5		20.5		86.5	
Max Q Clear Time (g_c+l1), s	13.0		5.3		6.2	
Green Ext Time (p_c), s	16.6		0.1		4.9	
Intersection Summary						
HCM 6th Ctrl Delay			3.9			
HCM 6th LOS			A			
Notes						

Timings
1: Pecos St & Sherrelwood Dr

2040 Total AM.syn
04/02/2020

	→	←	↖	↑	↘	↓		
Lane Group	EBT	WBT	NBL	NBT	SBL	SBT	Ø3	Ø7
Lane Configurations	↕	↕	↖	↑	↘	↕		
Traffic Volume (vph)	0	0	35	417	3	927		
Future Volume (vph)	0	0	35	417	3	927		
Turn Type	NA	NA	Perm	NA	Perm	NA		
Protected Phases	4	8		2		6	3	7
Permitted Phases			2		6			
Detector Phase	4	8	2	2	6	6		
Switch Phase								
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	22.5	24.5	24.5	24.5	24.5	9.5	24.5
Total Split (s)	37.5	22.5	43.0	43.0	43.0	43.0	9.5	24.5
Total Split (%)	41.7%	25.0%	47.8%	47.8%	47.8%	47.8%	11%	27%
Yellow Time (s)	4.5	3.5	4.5	4.5	4.5	4.5	3.5	4.5
All-Red Time (s)	2.0	1.0	2.0	2.0	2.0	2.0	1.0	2.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0		
Total Lost Time (s)	6.5	4.5	6.5	6.5	6.5	6.5		
Lead/Lag	Lag	Lag					Lead	Lead
Lead-Lag Optimize?	Yes	Yes					Yes	Yes
Recall Mode	None	None	C-Max	C-Max	C-Max	C-Max	None	None
Act Effect Green (s)	0.0	0.0	68.2	68.2	68.2	68.2		
Actuated g/C Ratio	0.00	0.00	0.76	0.76	0.76	0.76		
v/c Ratio	0.55	0.11	0.10	0.17	0.00	0.37		
Control Delay	18.5	1.1	10.1	6.8	10.3	8.1		
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0		
Total Delay	18.5	1.1	10.1	6.8	10.3	8.1		
LOS	B	A	B	A	B	A		
Approach Delay	18.5	1.1		7.0		8.2		
Approach LOS	B	A		A		A		

Intersection Summary

Cycle Length: 90

Actuated Cycle Length: 90

Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green

Natural Cycle: 75

Control Type: Actuated-Coordinated

Maximum v/c Ratio: 0.55

Intersection Signal Delay: 8.1

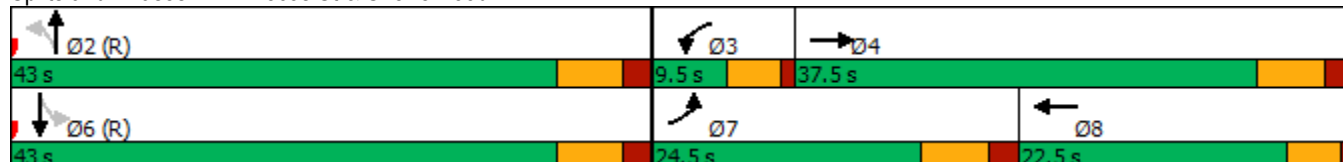
Intersection LOS: A

Intersection Capacity Utilization 44.1%

ICU Level of Service A

Analysis Period (min) 15

Splits and Phases: 1: Pecos St & Sherrelwood Dr





















HCM 6th Signalized Intersection Summary

2040 Total AM.syn

1: Pecos St & Sherrelwood Dr

04/02/2020

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	11	0	50	11	0	9	35	417	3	3	927	25
Future Volume (veh/h)	11	0	50	11	0	9	35	417	3	3	927	25
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No			No			No		
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	12	0	54	12	0	10	38	453	3	3	966	27
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.96	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	0	0	79	0	0	79	495	2916	19	808	2845	80
Arrive On Green	0.00	0.00	0.05	0.00	0.00	0.05	0.81	0.81	0.81	0.81	0.81	0.81
Sat Flow, veh/h	0	0	1585	0	0	1585	567	3619	24	935	3531	99
Grp Volume(v), veh/h	0	0	54	0	0	10	38	222	234	3	486	507
Grp Sat Flow(s),veh/h/ln	0	0	1585	0	0	1585	567	1777	1866	935	1777	1853
Q Serve(g_s), s	0.0	0.0	3.0	0.0	0.0	0.5	1.7	2.5	2.5	0.1	6.6	6.6
Cycle Q Clear(g_c), s	0.0	0.0	3.0	0.0	0.0	0.5	8.3	2.5	2.5	2.6	6.6	6.6
Prop In Lane	0.00		1.00	0.00		1.00	1.00		0.01	1.00		0.05
Lane Grp Cap(c), veh/h	0	0	79	0	0	79	495	1432	1504	808	1432	1493
V/C Ratio(X)	0.00	0.00	0.68	0.00	0.00	0.13	0.08	0.16	0.16	0.00	0.34	0.34
Avail Cap(c_a), veh/h	0	0	546	0	0	317	495	1432	1504	808	1432	1493
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	0.00	0.00	1.00	0.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	0.0	0.0	42.1	0.0	0.0	40.9	3.4	1.9	1.9	2.2	2.3	2.3
Incr Delay (d2), s/veh	0.0	0.0	10.0	0.0	0.0	0.7	0.3	0.2	0.2	0.0	0.6	0.6
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.0	0.0	1.4	0.0	0.0	0.2	0.2	0.5	0.6	0.0	1.4	1.5
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	0.0	0.0	52.0	0.0	0.0	41.6	3.8	2.2	2.2	2.2	3.0	3.0
LnGrp LOS	A	A	D	A	A	D	A	A	A	A	A	A
Approach Vol, veh/h	54			10			494			996		
Approach Delay, s/veh	52.0			41.6			2.3			3.0		
Approach LOS	D			D			A			A		
Timer - Assigned Phs	2		3	4		6		7	8			
Phs Duration (G+Y+Rc), s	79.0		0.0	11.0		79.0		0.0	11.0			
Change Period (Y+Rc), s	6.5		4.5	6.5		6.5		6.5	* 6.5			
Max Green Setting (Gmax), s	36.5		5.0	31.0		36.5		18.0	* 18			
Max Q Clear Time (g_c+l1), s	10.3		0.0	5.0		8.6		0.0	2.5			
Green Ext Time (p_c), s	3.1		0.0	0.3		7.0		0.0	0.0			
Intersection Summary												
HCM 6th Ctrl Delay			4.7									
HCM 6th LOS			A									
Notes												

* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.

Timings
1: Pecos St & Sherrelwood Dr

2040 Total PM.syn
04/01/2020

	→	←	↖	↑	↘	↓		
Lane Group	EBT	WBT	NBL	NBT	SBL	SBT	Ø3	Ø7
Lane Configurations	↕	↕	↖	↑	↘	↕		
Traffic Volume (vph)	0	0	41	1277	9	672		
Future Volume (vph)	0	0	41	1277	9	672		
Turn Type	NA	NA	Perm	NA	Perm	NA		
Protected Phases	4	8		2		6	3	7
Permitted Phases			2		6			
Detector Phase	4	8	2	2	6	6		
Switch Phase								
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0
Minimum Split (s)	24.5	22.5	24.5	24.5	24.5	24.5	9.5	9.5
Total Split (s)	24.5	24.5	86.0	86.0	86.0	86.0	9.5	9.5
Total Split (%)	20.4%	20.4%	71.7%	71.7%	71.7%	71.7%	8%	8%
Yellow Time (s)	4.5	3.5	4.5	4.5	4.5	4.5	3.5	3.5
All-Red Time (s)	2.0	1.0	2.0	2.0	2.0	2.0	1.0	1.0
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0		
Total Lost Time (s)	6.5	4.5	6.5	6.5	6.5	6.5		
Lead/Lag	Lag	Lag					Lead	Lead
Lead-Lag Optimize?	Yes	Yes					Yes	Yes
Recall Mode	None	None	C-Max	C-Max	C-Max	C-Max	None	None
Act Effect Green (s)	0.0	0.0	100.8	100.8	100.8	100.8		
Actuated g/C Ratio	0.00	0.00	0.84	0.84	0.84	0.84		
v/c Ratio	0.51	0.14	0.08	0.47	0.04	0.24		
Control Delay	19.4	3.2	4.3	5.0	4.9	3.6		
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0		
Total Delay	19.4	3.2	4.3	5.0	4.9	3.6		
LOS	B	A	A	A	A	A		
Approach Delay	19.4	3.3		5.0		3.6		
Approach LOS	B	A		A		A		

Intersection Summary

Cycle Length: 120
Actuated Cycle Length: 120
Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green
Natural Cycle: 70
Control Type: Actuated-Coordinated
Maximum v/c Ratio: 0.51
Intersection Signal Delay: 4.8
Intersection Capacity Utilization 50.7%
Analysis Period (min) 15
Intersection LOS: A
ICU Level of Service A

Splits and Phases: 1: Pecos St & Sherrelwood Dr



















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HCM 6th Signalized Intersection Summary





2040 Total PM.syn






1: Pecos St & Sherrelwood Dr





04/01/2020





												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	24	0	18	7	0	5	41	1277	12	9	672	12
Future Volume (veh/h)	24	0	18	7	0	5	41	1277	12	9	672	12
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No			No			No		
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	26	0	20	8	0	5	45	1388	13	10	700	13
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.96	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	0	0	54	0	0	54	667	3094	29	356	3061	57
Arrive On Green	0.00	0.00	0.03	0.00	0.00	0.03	0.86	0.86	0.86	0.86	0.86	0.86
Sat Flow, veh/h	0	0	1585	0	0	1585	737	3607	34	385	3569	66
Grp Volume(v), veh/h	0	0	20	0	0	5	45	683	718	10	348	365
Grp Sat Flow(s),veh/h/ln	0	0	1585	0	0	1585	737	1777	1864	385	1777	1858
Q Serve(g_s), s	0.0	0.0	1.5	0.0	0.0	0.4	1.4	10.7	10.7	0.7	4.2	4.2
Cycle Q Clear(g_c), s	0.0	0.0	1.5	0.0	0.0	0.4	5.6	10.7	10.7	11.4	4.2	4.2
Prop In Lane	0.00		1.00	0.00		1.00	1.00		0.02	1.00		0.04
Lane Grp Cap(c), veh/h	0	0	54	0	0	54	667	1524	1599	356	1524	1594
V/C Ratio(X)	0.00	0.00	0.37	0.00	0.00	0.09	0.07	0.45	0.45	0.03	0.23	0.23
Avail Cap(c_a), veh/h	0	0	238	0	0	264	667	1524	1599	356	1524	1594
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	0.00	0.00	1.00	0.00	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	0.0	0.0	56.7	0.0	0.0	56.2	2.0	2.0	2.0	3.3	1.5	1.5
Incr Delay (d2), s/veh	0.0	0.0	4.2	0.0	0.0	0.7	0.2	1.0	0.9	0.1	0.3	0.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.0	0.0	0.7	0.0	0.0	0.2	0.2	2.2	2.3	0.1	0.9	0.9
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	0.0	0.0	60.9	0.0	0.0	56.9	2.2	2.9	2.9	3.4	1.9	1.8
LnGrp LOS	A	A	E	A	A	E	A	A	A	A	A	A
Approach Vol, veh/h	20			5			1446			723		
Approach Delay, s/veh	60.9			56.9			2.9			1.9		
Approach LOS	E			E			A			A		
Timer - Assigned Phs	2		3	4		6		7	8			
Phs Duration (G+Y+Rc), s	109.4		0.0	10.6		109.4		0.0	10.6			
Change Period (Y+Rc), s	6.5		4.5	6.5		6.5		4.5	* 6.5			
Max Green Setting (Gmax), s	79.5		5.0	18.0		79.5		5.0	* 20			
Max Q Clear Time (g_c+I1), s	12.7		0.0	3.5		13.4		0.0	2.4			
Green Ext Time (p_c), s	15.0		0.0	0.0		5.1		0.0	0.0			
Intersection Summary												
HCM 6th Ctrl Delay			3.2									
HCM 6th LOS			A									
Notes												





* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.






Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	9	13	1	396	886	5
Future Vol, veh/h	9	13	1	396	886	5
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	0	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	56	81	25	89	95	42
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	16	4	445	933	12
Major/Minor	Minor2	Major1		Major2		
Conflicting Flow All	1170	473	945	0	-	0
Stage 1	939	-	-	-	-	-
Stage 2	231	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*479	*720	*1077	-	-	-
Stage 1	*679	-	-	-	-	-
Stage 2	*785	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*477	*720	*1077	-	-	-
Mov Cap-2 Maneuver	*603	-	-	-	-	-
Stage 1	*676	-	-	-	-	-
Stage 2	*785	-	-	-	-	-
Approach	EB	NB		SB		
HCM Control Delay, s	10.8	0.1		0		
HCM LOS	B					
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR	
Capacity (veh/h)	* 1077	-	656	-	-	
HCM Lane V/C Ratio	0.004	-	0.049	-	-	
HCM Control Delay (s)	8.4	-	10.8	-	-	
HCM Lane LOS	A	-	B	-	-	
HCM 95th %tile Q(veh)	0	-	0.2	-	-	
Notes						
~: Volume exceeds capacity		\$: Delay exceeds 300s		+: Computation Not Defined		*: All major volume in platoon





Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	10	8	12	1182	607	16
Future Vol, veh/h	10	8	12	1182	607	16
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	0	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	63	40	75	87	97	67
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	20	16	1359	626	24
Major/Minor	Minor2	Major1		Major2		
Conflicting Flow All	1350	325	650	0	-	0
Stage 1	638	-	-	-	-	-
Stage 2	712	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*221	*846	*1265	-	-	-
Stage 1	*798	-	-	-	-	-
Stage 2	*447	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*218	*846	*1265	-	-	-
Mov Cap-2 Maneuver	*402	-	-	-	-	-
Stage 1	*788	-	-	-	-	-
Stage 2	*447	-	-	-	-	-
Approach	EB	NB		SB		
HCM Control Delay, s	11.8	0.1		0		
HCM LOS	B					
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR	
Capacity (veh/h)	* 1265	-	568	-	-	
HCM Lane V/C Ratio	0.013	-	0.063	-	-	
HCM Control Delay (s)	7.9	-	11.8	-	-	
HCM Lane LOS	A	-	B	-	-	
HCM 95th %tile Q(veh)	0	-	0.2	-	-	
Notes						
~: Volume exceeds capacity		\$: Delay exceeds 300s		+: Computation Not Defined		*: All major volume in platoon





Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	9	13	1	400	895	5
Future Vol, veh/h	9	13	1	400	895	5
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	0	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	56	81	25	89	95	42
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	16	4	449	942	12
Major/Minor	Minor2	Major1		Major2		
Conflicting Flow All	1181	477	954	0	-	0
Stage 1	948	-	-	-	-	-
Stage 2	233	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*468	*720	*1077	-	-	-
Stage 1	*679	-	-	-	-	-
Stage 2	*784	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*466	*720	*1077	-	-	-
Mov Cap-2 Maneuver	*600	-	-	-	-	-
Stage 1	*676	-	-	-	-	-
Stage 2	*784	-	-	-	-	-
Approach	EB	NB		SB		
HCM Control Delay, s	10.8	0.1		0		
HCM LOS	B					
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR	
Capacity (veh/h)	* 1077	-	655	-	-	
HCM Lane V/C Ratio	0.004	-	0.049	-	-	
HCM Control Delay (s)	8.4	-	10.8	-	-	
HCM Lane LOS	A	-	B	-	-	
HCM 95th %tile Q(veh)	0	-	0.2	-	-	
Notes						
~: Volume exceeds capacity		\$: Delay exceeds 300s		+: Computation Not Defined		*: All major volume in platoon





Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	10	8	12	1194	613	16
Future Vol, veh/h	10	8	12	1194	613	16
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	0	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	63	40	75	87	97	67
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	20	16	1372	632	24
Major/Minor	Minor2	Major1		Major2		
Conflicting Flow All	1362	328	656	0	-	0
Stage 1	644	-	-	-	-	-
Stage 2	718	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*216	*846	*1265	-	-	-
Stage 1	*798	-	-	-	-	-
Stage 2	*444	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*214	*846	*1265	-	-	-
Mov Cap-2 Maneuver	*399	-	-	-	-	-
Stage 1	*788	-	-	-	-	-
Stage 2	*444	-	-	-	-	-
Approach	EB	NB		SB		
HCM Control Delay, s	11.8	0.1		0		
HCM LOS	B					
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR	
Capacity (veh/h)	* 1265	-	566	-	-	
HCM Lane V/C Ratio	0.013	-	0.063	-	-	
HCM Control Delay (s)	7.9	-	11.8	-	-	
HCM Lane LOS	A	-	B	-	-	
HCM 95th %tile Q(veh)	0	-	0.2	-	-	
Notes						
~: Volume exceeds capacity		\$: Delay exceeds 300s		+: Computation Not Defined		*: All major volume in platoon





Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	9	13	1	408	907	5
Future Vol, veh/h	9	13	1	408	907	5
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	540	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	56	81	25	89	95	42
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	16	4	458	955	12
Major/Minor	Minor2	Major1		Major2		
Conflicting Flow All	1198	484	967	0	-	0
Stage 1	961	-	-	-	-	-
Stage 2	237	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*484	*703	*1051	-	-	-
Stage 1	*663	-	-	-	-	-
Stage 2	*780	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*482	*703	*1051	-	-	-
Mov Cap-2 Maneuver	*596	-	-	-	-	-
Stage 1	*660	-	-	-	-	-
Stage 2	*780	-	-	-	-	-
Approach	EB	NB		SB		
HCM Control Delay, s	10.9	0.1		0		
HCM LOS	B					
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR	
Capacity (veh/h)	* 1051	-	645	-	-	
HCM Lane V/C Ratio	0.004	-	0.05	-	-	
HCM Control Delay (s)	8.4	-	10.9	-	-	
HCM Lane LOS	A	-	B	-	-	
HCM 95th %tile Q(veh)	0	-	0.2	-	-	
Notes						
~: Volume exceeds capacity		\$: Delay exceeds 300s		+: Computation Not Defined		*: All major volume in platoon

Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	10	8	12	1209	625	16
Future Vol, veh/h	10	8	12	1209	625	16
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	540	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	63	40	75	87	97	67
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	16	20	16	1390	644	24
Major/Minor	Minor2	Major1		Major2		
Conflicting Flow All	1383	334	668	0	-	0
Stage 1	656	-	-	-	-	-
Stage 2	727	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*208	*846	1252	-	-	-
Stage 1	*798	-	-	-	-	-
Stage 2	*439	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*205	*846	1252	-	-	-
Mov Cap-2 Maneuver	*394	-	-	-	-	-
Stage 1	*788	-	-	-	-	-
Stage 2	*439	-	-	-	-	-
Approach	EB	NB		SB		
HCM Control Delay, s	11.9	0.1		0		
HCM LOS	B					
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR	
Capacity (veh/h)	1252	-	561	-	-	
HCM Lane V/C Ratio	0.013	-	0.064	-	-	
HCM Control Delay (s)	7.9	-	11.9	-	-	
HCM Lane LOS	A	-	B	-	-	
HCM 95th %tile Q(veh)	0	-	0.2	-	-	
Notes						
~: Volume exceeds capacity		\$: Delay exceeds 300s		+: Computation Not Defined		*: All major volume in platoon

Intersection						
Int Delay, s/veh	0.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	10	14	1	438	979	6
Future Vol, veh/h	10	14	1	438	979	6
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	0	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	95	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	11	15	1	476	1031	7
Major/Minor	Minor2	Major1		Major2		
Conflicting Flow All	1275	519	1038	0	-	0
Stage 1	1035	-	-	-	-	-
Stage 2	240	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*472	*668	*1000	-	-	-
Stage 1	*631	-	-	-	-	-
Stage 2	*777	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*471	*668	*1000	-	-	-
Mov Cap-2 Maneuver	*575	-	-	-	-	-
Stage 1	*630	-	-	-	-	-
Stage 2	*777	-	-	-	-	-
Approach	EB	NB		SB		
HCM Control Delay, s	11	0		0		
HCM LOS	B					
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR	
Capacity (veh/h)	* 1000	-	626	-	-	
HCM Lane V/C Ratio	0.001	-	0.042	-	-	
HCM Control Delay (s)	8.6	-	11	-	-	
HCM Lane LOS	A	-	B	-	-	
HCM 95th %tile Q(veh)	0	-	0.1	-	-	
Notes						
~: Volume exceeds capacity		\$: Delay exceeds 300s		+: Computation Not Defined		*: All major volume in platoon

Intersection						
Int Delay, s/veh	0.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	11	9	13	1306	671	18
Future Vol, veh/h	11	9	13	1306	671	18
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	0	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	97	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	12	10	14	1420	692	20
Major/Minor	Minor2	Major1		Major2		
Conflicting Flow All	1440	356	712	0	-	0
Stage 1	702	-	-	-	-	-
Stage 2	738	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*198	*820	*1227	-	-	-
Stage 1	*774	-	-	-	-	-
Stage 2	*434	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*196	*820	*1227	-	-	-
Mov Cap-2 Maneuver	*387	-	-	-	-	-
Stage 1	*765	-	-	-	-	-
Stage 2	*434	-	-	-	-	-
Approach	EB	NB		SB		
HCM Control Delay, s	12.4	0.1		0		
HCM LOS	B					
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR	
Capacity (veh/h)	* 1227	-	508	-	-	
HCM Lane V/C Ratio	0.012	-	0.043	-	-	
HCM Control Delay (s)	8	-	12.4	-	-	
HCM Lane LOS	A	-	B	-	-	
HCM 95th %tile Q(veh)	0	-	0.1	-	-	
Notes						
~: Volume exceeds capacity		\$: Delay exceeds 300s		+: Computation Not Defined		*: All major volume in platoon

Intersection						
Int Delay, s/veh	0.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	10	14	1	446	991	6
Future Vol, veh/h	10	14	1	446	991	6
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	540	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	95	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	11	15	1	485	1043	7
Major/Minor	Minor2	Major1		Major2		
Conflicting Flow All	1292	525	1050	0	-	0
Stage 1	1047	-	-	-	-	-
Stage 2	245	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*454	*668	*1000	-	-	-
Stage 1	*631	-	-	-	-	-
Stage 2	*773	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*453	*668	*1000	-	-	-
Mov Cap-2 Maneuver	*570	-	-	-	-	-
Stage 1	*630	-	-	-	-	-
Stage 2	*773	-	-	-	-	-
Approach	EB	NB		SB		
HCM Control Delay, s	11	0		0		
HCM LOS	B					
Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR	
Capacity (veh/h)	* 1000	-	623	-	-	
HCM Lane V/C Ratio	0.001	-	0.042	-	-	
HCM Control Delay (s)	8.6	-	11	-	-	
HCM Lane LOS	A	-	B	-	-	
HCM 95th %tile Q(veh)	0	-	0.1	-	-	
Notes						
~: Volume exceeds capacity		\$: Delay exceeds 300s		+: Computation Not Defined		*: All major volume in platoon





Intersection						
Int Delay, s/veh	0.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	11	9	13	1321	683	18
Future Vol, veh/h	11	9	13	1321	683	18
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	540	-	-	-
Veh in Median Storage, #	2	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	97	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	12	10	14	1436	704	20

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	1460	362	724	0	-	0
Stage 1	714	-	-	-	-	-
Stage 2	746	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	*191	*820	*1227	-	-	-
Stage 1	*774	-	-	-	-	-
Stage 2	*430	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*189	*820	*1227	-	-	-
Mov Cap-2 Maneuver	*383	-	-	-	-	-
Stage 1	*765	-	-	-	-	-
Stage 2	*430	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	12.5	0.1	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	* 1227	-	504	-	-
HCM Lane V/C Ratio	0.012	-	0.043	-	-
HCM Control Delay (s)	8	-	12.5	-	-
HCM Lane LOS	A	-	B	-	-
HCM 95th %tile Q(veh)	0	-	0.1	-	-

Notes			
~: Volume exceeds capacity	\$: Delay exceeds 300s	+: Computation Not Defined	*: All major volume in platoon





Intersection						
Int Delay, s/veh	0.2					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	20	5	404	6	1	919
Future Vol, veh/h	20	5	404	6	1	919
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	540	-
Veh in Median Storage, #	2	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	22	5	439	7	1	999





Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	945	223	0	0	446
Stage 1	443	-	-	-	-
Stage 2	502	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22
Pot Cap-1 Maneuver	*662	780	-	-	1111
Stage 1	*614	-	-	-	-
Stage 2	*663	-	-	-	-
Platoon blocked, %	1	-	-	-	-
Mov Cap-1 Maneuver	*662	780	-	-	1111
Mov Cap-2 Maneuver	-	-	-	-	-
Stage 1	*614	-	-	-	-
Stage 2	*662	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	9.8	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	780	1111
HCM Lane V/C Ratio	-	-	0.035	0.001
HCM Control Delay (s)	-	-	9.8	8.2
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0.1	0

Notes			
~: Volume exceeds capacity	\$: Delay exceeds 300s	+: Computation Not Defined	*: All major volume in platoon

Intersection						
Int Delay, s/veh	0.2					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	12	3	1218	21	5	628
Future Vol, veh/h	12	3	1218	21	5	628
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	540	-
Veh in Median Storage, #	2	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	13	3	1324	23	5	683
Major/Minor	Minor1	Major1		Major2		
Conflicting Flow All	1688	674	0	0	1347	0
Stage 1	1336	-	-	-	-	-
Stage 2	352	-	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22	-
Pot Cap-1 Maneuver	*116	397	-	-	507	-
Stage 1	*210	-	-	-	-	-
Stage 2	*798	-	-	-	-	-
Platoon blocked, %	1	-	-	-	-	-
Mov Cap-1 Maneuver	*114	397	-	-	507	-
Mov Cap-2 Maneuver	*198	-	-	-	-	-
Stage 1	*210	-	-	-	-	-
Stage 2	*790	-	-	-	-	-
Approach	WB	NB		SB		
HCM Control Delay, s	22.7	0		0.1		
HCM LOS	C					
Minor Lane/Major Mvmt	NBT	NBRWBLn1		SBL	SBT	
Capacity (veh/h)	-	-	220	507	-	
HCM Lane V/C Ratio	-	-	0.074	0.011	-	
HCM Control Delay (s)	-	-	22.7	12.2	-	
HCM Lane LOS	-	-	C	B	-	
HCM 95th %tile Q(veh)	-	-	0.2	0	-	
Notes						
~: Volume exceeds capacity		\$: Delay exceeds 300s		+: Computation Not Defined		*: All major volume in platoon





Intersection						
Int Delay, s/veh	0.2					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	20	5	442	6	1	1004
Future Vol, veh/h	20	5	442	6	1	1004
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	540	-
Veh in Median Storage, #	2	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	22	5	480	7	1	1091

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	1032	244	0	0	487
Stage 1	484	-	-	-	-
Stage 2	548	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14
Critical Hdwy Stg 1	5.84	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22
Pot Cap-1 Maneuver	*630	757	-	-	1072
Stage 1	*585	-	-	-	-
Stage 2	*631	-	-	-	-
Platoon blocked, %	1	-	-	-	-
Mov Cap-1 Maneuver	*630	757	-	-	1072
Mov Cap-2 Maneuver	-	-	-	-	-
Stage 1	*585	-	-	-	-
Stage 2	*630	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	9.9	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	757	1072
HCM Lane V/C Ratio	-	-	0.036	0.001
HCM Control Delay (s)	-	-	9.9	8.4
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0.1	0

Notes			
~: Volume exceeds capacity	\$: Delay exceeds 300s	+: Computation Not Defined	*: All major volume in platoon

Intersection						
Int Delay, s/veh	0.2					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	12	3	1331	21	5	687
Future Vol, veh/h	12	3	1331	21	5	687
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	540	-
Veh in Median Storage, #	2	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	13	3	1447	23	5	747
Major/Minor	Minor1	Major1		Major2		
Conflicting Flow All	1843	735	0	0	1470	0
Stage 1	1459	-	-	-	-	-
Stage 2	384	-	-	-	-	-
Critical Hdwy	6.84	6.94	-	-	4.14	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	-	-	2.22	-
Pot Cap-1 Maneuver	*89	362	-	-	455	-
Stage 1	*180	-	-	-	-	-
Stage 2	*774	-	-	-	-	-
Platoon blocked, %	1	-	-	-	-	-
Mov Cap-1 Maneuver	*88	362	-	-	455	-
Mov Cap-2 Maneuver	*169	-	-	-	-	-
Stage 1	*180	-	-	-	-	-
Stage 2	*765	-	-	-	-	-
Approach	WB	NB		SB		
HCM Control Delay, s	25.8	0		0.1		
HCM LOS	D					
Minor Lane/Major Mvmt	NBT	NBRWBLn1		SBL	SBT	
Capacity (veh/h)	-	-	189	455	-	
HCM Lane V/C Ratio	-	-	0.086	0.012	-	
HCM Control Delay (s)	-	-	25.8	13	-	
HCM Lane LOS	-	-	D	B	-	
HCM 95th %tile Q(veh)	-	-	0.3	0	-	
Notes						
~: Volume exceeds capacity		\$: Delay exceeds 300s		+: Computation Not Defined		*: All major volume in platoon

Queues

2020 Existing AM.syn

04/02/2020

1: Pecos St & Sherrelwood Dr



Lane Group	EBL	NBL	NBT	SBT
Lane Group Flow (vph)	72	48	405	909
v/c Ratio	0.40	0.10	0.14	0.32
Control Delay	21.8	3.4	2.6	3.1
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	21.8	3.4	2.6	3.1
Queue Length 50th (ft)	9	5	22	58
Queue Length 95th (ft)	24	11	41	99
Internal Link Dist (ft)	198		190	486
Turn Bay Length (ft)				
Base Capacity (vph)	471	475	2895	2880
Starvation Cap Reductn	0	0	0	0
Spillback Cap Reductn	0	0	0	0
Storage Cap Reductn	0	0	0	0
Reduced v/c Ratio	0.15	0.10	0.14	0.32
Intersection Summary				

Queues

2020 Existing PM.syn

1: Pecos St & Sherrelwood Dr

04/01/2020



Lane Group	EBL	NBL	NBT	SBT
Lane Group Flow (vph)	52	44	1325	653
v/c Ratio	0.39	0.07	0.44	0.22
Control Delay	41.7	2.5	3.2	2.2
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	41.7	2.5	3.2	2.2
Queue Length 50th (ft)	21	5	111	41
Queue Length 95th (ft)	51	12	159	66
Internal Link Dist (ft)	198		190	486
Turn Bay Length (ft)				
Base Capacity (vph)	324	646	3036	3019
Starvation Cap Reductn	0	0	0	0
Spillback Cap Reductn	0	0	0	0
Storage Cap Reductn	0	0	0	0
Reduced v/c Ratio	0.16	0.07	0.44	0.22
Intersection Summary				

Queues

2022 Background AM.syn

04/02/2020

1: Pecos St & Sherrelwood Dr



Lane Group	EBL	NBL	NBT	SBT
Lane Group Flow (vph)	72	48	410	917
v/c Ratio	0.40	0.10	0.14	0.32
Control Delay	21.8	3.4	2.6	3.1
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	21.8	3.4	2.6	3.1
Queue Length 50th (ft)	9	5	22	59
Queue Length 95th (ft)	24	11	41	100
Internal Link Dist (ft)	198		190	486
Turn Bay Length (ft)				
Base Capacity (vph)	471	471	2895	2880
Starvation Cap Reductn	0	0	0	0
Spillback Cap Reductn	0	0	0	0
Storage Cap Reductn	0	0	0	0
Reduced v/c Ratio	0.15	0.10	0.14	0.32
Intersection Summary				

Queues

2022 Background PM.syn

04/01/2020

1: Pecos St & Sherrelwood Dr



Lane Group	EBL	NBL	NBT	SBT
Lane Group Flow (vph)	52	44	1339	659
v/c Ratio	0.39	0.07	0.44	0.22
Control Delay	41.7	2.5	3.2	2.2
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	41.7	2.5	3.2	2.2
Queue Length 50th (ft)	21	5	113	42
Queue Length 95th (ft)	51	12	162	67
Internal Link Dist (ft)	198		190	486
Turn Bay Length (ft)				
Base Capacity (vph)	324	641	3036	3023
Starvation Cap Reductn	0	0	0	0
Spillback Cap Reductn	0	0	0	0
Storage Cap Reductn	0	0	0	0
Reduced v/c Ratio	0.16	0.07	0.44	0.22
Intersection Summary				

Queues

2022 Total AM.syn

04/02/2020

1: Pecos St & Sherrelwood Dr



Lane Group	EBT	WBT	NBL	NBT	SBL	SBT
Lane Group Flow (vph)	72	22	48	418	3	918
v/c Ratio	0.60	0.11	0.11	0.16	0.00	0.34
Control Delay	23.1	1.1	10.0	6.7	10.3	7.9
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	23.1	1.1	10.0	6.7	10.3	7.9
Queue Length 50th (ft)	0	0	5	21	0	56
Queue Length 95th (ft)	#28	0	31	117	6	280
Internal Link Dist (ft)	198	98		190		486
Turn Bay Length (ft)						
Base Capacity (vph)	121	200	422	2679	715	2666
Starvation Cap Reductn	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0
Reduced v/c Ratio	0.60	0.11	0.11	0.16	0.00	0.34

Intersection Summary

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

Queues

2022 Total PM.syn

04/01/2020

1: Pecos St & Sherrelwood Dr



Lane Group	EBT	WBT	NBL	NBT	SBL	SBT
Lane Group Flow (vph)	55	13	55	1283	10	658
v/c Ratio	0.60	0.14	0.09	0.43	0.03	0.22
Control Delay	29.8	3.2	4.3	4.7	4.8	3.5
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	29.8	3.2	4.3	4.7	4.8	3.5
Queue Length 50th (ft)	0	0	5	92	1	36
Queue Length 95th (ft)	#31	0	22	308	9	129
Internal Link Dist (ft)	198	98		190		486
Turn Bay Length (ft)						
Base Capacity (vph)	91	91	629	2967	314	2962
Starvation Cap Reductn	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0
Reduced v/c Ratio	0.60	0.14	0.09	0.43	0.03	0.22

Intersection Summary

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

Queues

2040 Background AM.syn

04/02/2020

1: Pecos St & Sherrelwood Dr



Lane Group	EBL	NBL	NBT	SBT
Lane Group Flow (vph)	66	38	448	992
v/c Ratio	0.38	0.09	0.15	0.34
Control Delay	20.9	3.3	2.5	3.2
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	20.9	3.3	2.5	3.2
Queue Length 50th (ft)	7	4	24	65
Queue Length 95th (ft)	44	13	44	109
Internal Link Dist (ft)	198		190	486
Turn Bay Length (ft)				
Base Capacity (vph)	451	433	2901	2891
Starvation Cap Reductn	0	0	0	0
Spillback Cap Reductn	0	0	0	0
Storage Cap Reductn	0	0	0	0
Reduced v/c Ratio	0.15	0.09	0.15	0.34
Intersection Summary				

Queues

2040 Background PM.syn

1: Pecos St & Sherrelwood Dr

04/01/2020



Lane Group	EBL	NBL	NBT	SBT
Lane Group Flow (vph)	46	45	1385	708
v/c Ratio	0.37	0.07	0.46	0.23
Control Delay	42.5	2.5	3.2	2.3
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	42.5	2.5	3.2	2.3
Queue Length 50th (ft)	20	5	119	45
Queue Length 95th (ft)	57	13	177	72
Internal Link Dist (ft)	198		190	486
Turn Bay Length (ft)				
Base Capacity (vph)	308	611	3040	3032
Starvation Cap Reductn	0	0	0	0
Spillback Cap Reductn	0	0	0	0
Storage Cap Reductn	0	0	0	0
Reduced v/c Ratio	0.15	0.07	0.46	0.23
Intersection Summary				

Queues

2040 Total AM.syn

04/02/2020

1: Pecos St & Sherrelwood Dr



Lane Group	EBT	WBT	NBL	NBT	SBL	SBT
Lane Group Flow (vph)	66	22	38	456	3	993
v/c Ratio	0.55	0.11	0.10	0.17	0.00	0.37
Control Delay	18.5	1.1	10.1	6.8	10.3	8.1
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	18.5	1.1	10.1	6.8	10.3	8.1
Queue Length 50th (ft)	0	0	4	23	0	63
Queue Length 95th (ft)	#18	0	37	127	6	310
Internal Link Dist (ft)	198	98		190		486
Turn Bay Length (ft)						
Base Capacity (vph)	121	200	385	2679	690	2672
Starvation Cap Reductn	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0
Reduced v/c Ratio	0.55	0.11	0.10	0.17	0.00	0.37

Intersection Summary

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

Queues

2040 Total PM.syn

04/01/2020

1: Pecos St & Sherrelwood Dr



Lane Group	EBT	WBT	NBL	NBT	SBL	SBT
Lane Group Flow (vph)	46	13	45	1401	10	713
v/c Ratio	0.51	0.14	0.08	0.47	0.04	0.24
Control Delay	19.4	3.2	4.3	5.0	4.9	3.6
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	19.4	3.2	4.3	5.0	4.9	3.6
Queue Length 50th (ft)	0	0	4	106	1	40
Queue Length 95th (ft)	#8	0	26	353	9	142
Internal Link Dist (ft)	198	98		190		486
Turn Bay Length (ft)						
Base Capacity (vph)	91	91	596	2970	273	2964
Starvation Cap Reductn	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0
Reduced v/c Ratio	0.51	0.14	0.08	0.47	0.04	0.24

Intersection Summary

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN

IN THE COUNTY OF ADAMS, COLORADO

Total Site Acreage is 10.7 Ac
Required Open Space is 3.2 acres (30%)
Required Active Open Space is 0.8 acres (25% of Open Space)

TRACT A OPEN SPACE

TRACT B OPEN SPACE

TRACT C OPEN SPACE

TRACT D OPEN SPACE

TRACT E OPEN SPACE

TRACT F OPEN SPACE

OSAGE ST.

W. 79th WAY

N. 79th WAY (50' ROW)

ELMWOOD PLACE (50' ROW)

OSAGE STREET (50' ROW)

NORTH PECOS STREET

20' ROW DEDICATION

12 SPACES

9 SPACES

6 SPACES

OUT PARCEL

1

2

3

4

5

6

7

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10

11

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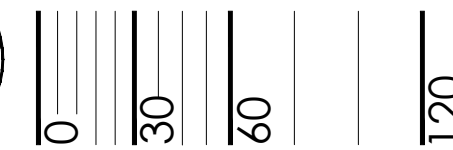
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NOT FOR
CONSTRUCTION



Neighborhood Meeting Summary Elmwood Estates of Sherrelwood Village

The following is a summary of the virtual neighborhood meeting held on August 25, 2020.

The mailed notice informing residents of the neighborhood meeting was sent on August 14, 2020. Additional residents were notified via email if they had previously commented on the submittal. The notice outlined how residents could email an email address to get the virtual meeting link and other information if requested.

8 residents requested to participate in the Virtual format, and the following questions/answers were:

Marilyn Shea

- Have the Townhomes been approved yet or are they still under review?
- I would like to discourage the use of high-density residences in this area because parking in the area is already limited.
- I am not impressed with how the storm water was dealt with in Clear Water Estates (another Delwest project). It seems to be a temporary fix and not completed. I'm concerned that stormwater structures will be an issue in the Elmwood Estates, and we will have to foot the bill in the future.
- This will lead to increased traffic congestion in the area. I've seen a lot of bad traffic situations in this area and I do not believe a three-way stop will make the situation any better.

Andrew Dauernheim

- Agrees with the previous points made by Marilyn especially with her statements on the traffic standpoint.
- Concerned with the gathering area/park amenity. In the presentation it seemed like an afterthought.

Craig Fitchett of Delwest (response to Marilyn & Andrew)

- I wanted to clarify Marilyn's comment about the Clear Lake Estates. We installed a \$175k, 58" pipe that will sit there for maybe 8 years until Urban drainage can access it. Its not going to be a burden for Sherrelwood taxpayers. In the interim we've made that site plug and play as soon as the rest of the drainage facility is there.

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- As far as parking, we do have a successful subdivision and I have not heard any complaints from any of the residents about parking. We are almost sold out there and we feel like we have parked this site adequately.
- The park to the east will allow for overflow parking. We will have integrated sidewalks that will allow pedestrian access from parking at the park to our neighborhood.
- One thing we were trying to do in Sherrelwood was to create an outdoor amenity and identify the park as a place to meet and create an annual outdoor activity. Whether it's a festival or music nights or something similar,
- We've partnered with Hyland Hills who owns Sherrelwood park. We are going to work with them to create the correct amenity. However, with Covid we've been thwarted in our efforts in designing the proper amenity there as of yet.
- I agree it feels as though it was a little bit of an afterthought. But we haven't truly designed that amenity space, we are working with Hyland Hills to do that. As soon as we get something, I promise it will be on the website and you will be the first to know about it.
- We look for your input to help us design what we are doing in the future and we will hopefully work with you to create community input that will help guide our design to create what you are looking for in a meeting place like that.

Kelly & Mike Adolf

- Why in our outdoor amenity space do we need to pay homage to the "bubble building"? Is there a group of people that requested homage be paid?
- I know that Covid has been an issue, but is there an expectation as to when the Children's Outreach Center ("Bubble building") will be torn down?
- Is Adams County/ Hyland Hills prepared to address the higher density/ use of the park area? Especially in terms of garbage and safety concerns?
- Will any of the existing trees be saved?

Craig Fitchett of Delwest (Kelly & Mike Adolf)

- We are working with the city council, community, and Hyland Hills to create neighborhood identity and a "rebirth" in some of these older communities and Sherrelwood Park gives us the perfect opportunity to do that.
- There is no proposal just yet for any events or festivals, but we are working on bringing an annual or quarterly event to the park.
- A million people have moved to the Denver area in the last 10 years, the metro area is under pressure for housing. We are here to create affordable housing for the growing population.
- Any opportunity for infill with a bias towards open space, density, and farer traffic conditions is a win for everyone.
- We attempted to get the COP (Children's Opportunity Project) relocated to a space to grow as a part of this project as the building did not fit their need and was in disrepair. Sadly, they had to shudder due to lack of funding.
- We've had a lot vandalism to the building and have paid at least \$6-\$7K on clean up. Anything of value has been taken by vandals and sold. Though some

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want to save and repurpose the building there isn't the budget to do that. It would take millions of dollars to get that building up to code and wouldn't be the best use of the site.

- We are going to map the site and attempt to save any trees possible, we have an green space area to the east that we should be able to keep existing trees. No promises but we will do our best to preserve as many of the existing trees as possible.

Joesph Valasquez

- Not everyone has open distain for the Children's Outreach Center ("Bubble building. I know that not everybody likes to see an old building standing and some would rather see progress than history last.
- I would like to make a counter point to Ms.Adolfs opinion: a building that is a bit beat up does not mean it's not decrepit. I've been in the building multiple times over the years and Its really sad to hear people talk about the building in a way that its disposable.
- If you are upset someone is throwing bottles, yell at them, call the cops. We have to protect our own communities and this is what this meeting is about.
- The development that went up south of Pecos had promises of a Recreation center that did not come through. How will we know you will fulfil all these promises without anything on paper?
- Also, I would like to support Marilyn's statements on traffic and density. I can't see how adding a stoplight and 40 families will relieve traffic congestion.
- I personally live in a townhome development and its packed; there are more than 3 cars per home.
- You using the city park area for overflow parking seems like you are using city tax dollars to fund extra parking for you guys which does not sound fair to me.
- You are buying/ using old school district 12 property. They would refuse to sell to anyone until you came along. I don't know if you taking the position that you are the stars of the neighborhood when the owners refused to sell it to anyone else is accurate.
- So are you really trying to leverage community space for private profits?
- 43 homes in that little area is crappy. Do you want 200 people living across from you. I've been in that area and its smaller than a city block and you are putting 40 homes.
- Finally, I am offended that you are talking like my community like some type of slum like it's a craphole. I would appreciate it if you didn't tear down the park to put another 200 people.

Craig (response to Joesph)

- Delwest has had a relationship with the previous owner, Adams county school district 50 (not district 12 as stated by Joseph), for 5 years now. We give money every time we sell a home to the Westminster foundation.
- We work with Westminster public schools. For example we used Westminster public school artwork in our new affordable project at Baker school apartments

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in the project we worked with elementary, middle, and high school students in creating the art on site.

- We asked the district to sell 3-4 years ago, and they were unable to sell it. It wasn't just us, everyone else did not get a chance to buy it. We did actively go after it but we were being told no by the district.
- We are not going to try to tear down the park we are going to enhance it with new structures. We believe the park is a fantastic community amenity.
- When you have a vacant building with weeds growing out of control, with nobody entering it and no controls over that from a security standpoint you get vandalism, breaking and entering, you get all sorts of crime. That happens because people break into a vacant building and take things from it.
- Unfortunately, COP (Children's Opportunity Project) wasn't able to stay in business and the building in the interim has been vandalized.

Joesph Valasquez

- I would like to ask how you came to own the property? I was personally interested in buying and building a single-family unit. I couldn't even get a hold of anyone to talk to me about selling it. I was told its unavailable, no one could buy the property, then all of sudden Delwest owns the property.
- You buy these properties for prime values and now you are going to make millions of dollars off of these 40 units. How does that work?

Craig Fitchett of Delwest (response to Joesph)

- We pay a lot more in property taxes.

Joesph Valasquez

- But how do you get ahead of me in purchasing this property?

Craig Fitchett of Delwest (response to Joesph)

- I don't know how that happened, but this is my job and I'm good at it. I apologize you didn't get to get an offer to the school district. I know many offers were made and we made a competitive offer.

Joesph Valasquez

- Do you know if this information is public information?

Craig Fitchett of Delwest (response to Joesph)

- I'm sure it is, I'm not sure how many offers were made.
- We don't just build single family homes; we build apartments where we bring in affordable housing. I have many housing choice vouchers for people that are unfortunately able to afford different locations throughout the city.
- Communication is the answer right now as we move forward, we would love your input. I know our intention is not to save the building, but to create community. So, help me build community by giving us your input.

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Joesph Valasquez

- How many people do you think will be living in this space once it is fully built out at 43 units?

Craig Fitchett of Delwest (response to Joesph)

- I am not totally sure, but it is close to 2.8 people per unit. The site would not be able to accommodate much more than that.

Joesph Valasquez

- I do not think it will be great to add 200 people to the community. There is no yards or place for the kids to play.

Craig Fitchett of Delwest (response to Joesph)

- I think there is a misconception that we are taking away from the park. When people say there is no place to play there is a 17AC park.
- We will try and enhance the park so we can get more utility from the park. Right now, the 17 ac will be maintained as a park as long as we know.

Sarah Garner

- My personal issue is that a development company that has only been Denver based since 1993 is going to come in and destroy one of the few nostalgic buildings in the area. I do want it known that the community doesn't feel like the "spaceship house" is a blighted building or ugly.
- The only reason it is vacant is because the Westminster School District refused to sell to a private party. I was told verbatim that they were waiting on "Developer money".
- I live across the street from the spaceship house and we keep eyes on the "bubble building" You mention its being vandalized, but I haven't seen it. All the windows are intact and there are security cameras on the outside of the building so if there are people throwing bottles at the building please call the cops and keep our neighborhood safe.
- Craig, you have a daughter from what I understand, what kind of community can our children have when every block is corner to corner with concrete and siding? They need outdoor recreation, outdoor space and parks. There are plenty of development complexes around the area
- I personally feel like you are trying to gentrify our neighborhoods with the sole intention of lining your pockets. I'm not personally comfortable with it. If you sell each unit for \$300k that would be \$14.5 million.
- I feel like you are trying to raise our property taxes and tear down our old buildings.
- As Joseph stated before, I attempted to buy the property and was told it's not a possibility, it was a commercial deal. I don't know, I just don't think its fair either.

Craig Fitchett of Delwest (response to Sarah)

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- We've been in business for a long time, 1993 seems like a long time to me. We've seen a lot of ups and downs in the building industry and we've pivoted in the last 5 years. We build affordable housing for people.
- With the average house going for \$600k we can offer housing for less than \$400k. We are going to open up opportunities for a massive supply of buyers that have nowhere to go.
- We didn't create the buyers or the traffic, but what we do is say there's a great amenity, lets take advantage of it. Let's make it better, lets make it safer and let's make this vacant land into something that will enrich lives and enrich the community.
- You bring up my daughter, she is an architectural student at CU, and she loves going on city walks with me. We really appreciate cities like NY where you can get to central park, you see these great pocket parks that are great gathering areas and a place to commune but they are surrounded by these high rises. It gives people a great way to live in the sense that they have a place to walk and gather.
- As we move forward, I really want to work with the community to create the best options for everyone.

Pat Hall (Messaged Questions/Comments)

- Listeners need to know this is a zoning change request to the County as a first effort.
- I want to know who is paying for the playground?
- No housing shortages in this neighborhood...
- Just build 4 new houses on this property.
- This is NOT blighted property and I have not heard of any vandalism...Is this a scare tactic?
- Where is this affordable housing?
- This is not NY City
- You won't be living here right?

-End of Meeting-

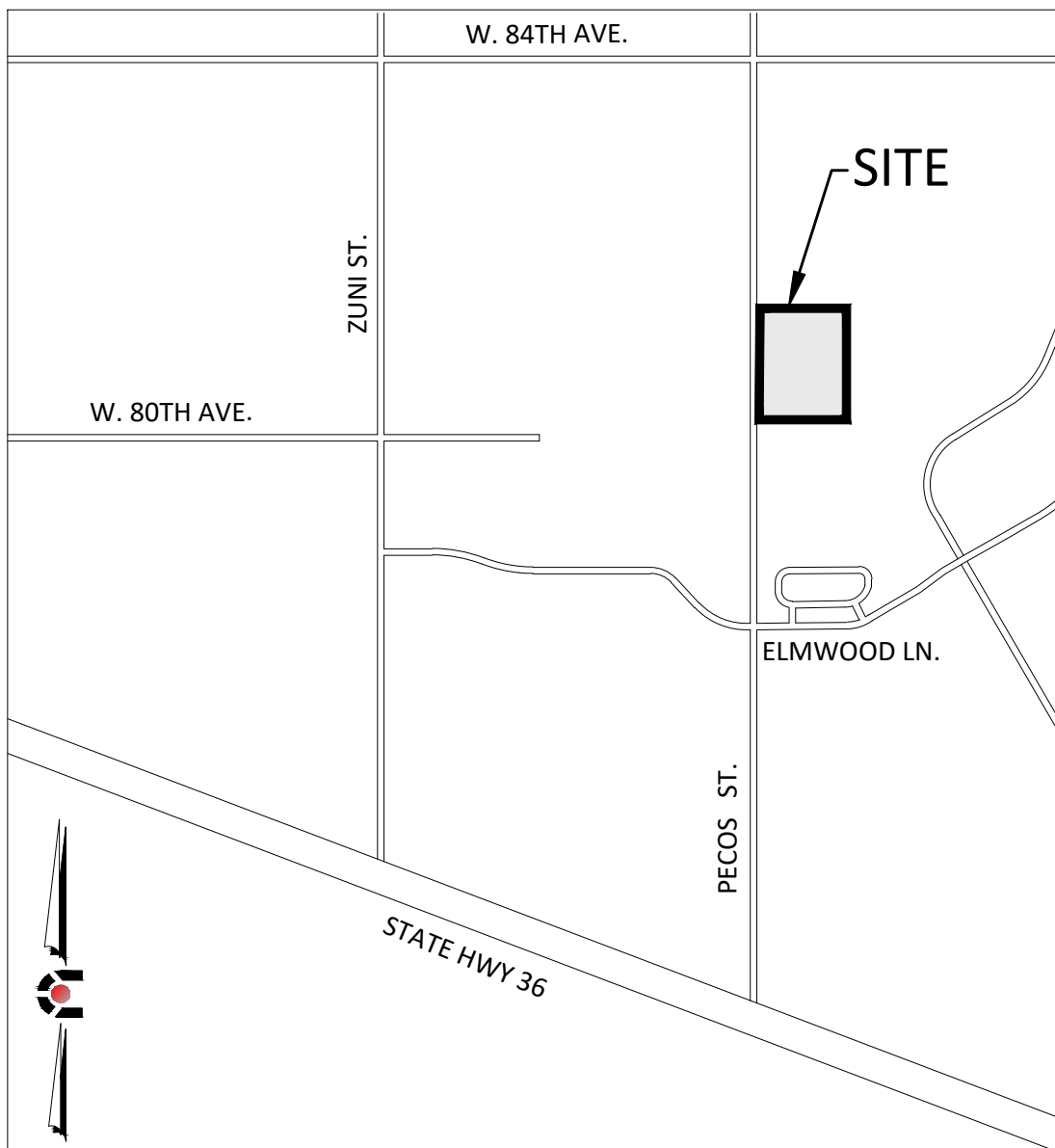
In attendance were Layla Rosales and Mike Weiher from Terracina Design, Craig Fitchett, Derrell Schreiner, and Bree Neely from Delwest, Alan Sielaff from Adams County, and local residents Marilyn Shea, Andrew Dauernheim, Kelly & Mike Adolf, Joseph Valasquez, Sarah Garner, and Pat Hall.

terraccina design

Landscape Architecture & Planning

10200 E. Girard Ave, Suite A-314 Denver, CO 80231 Phone: 303.632.8867

ELMWOOD ESTATES
EROSION AND SEDIMENT CONTROL PLANS
PART OF THE NORTHEAST QUARTER SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO



VICINITY MAP
NTS

Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL NOTES
3	INITIAL EROSION CONTROL PLAN
4	INTERIM EROSION CONTROL PLAN
5	FINAL EROSION CONTROL PLAN
6	EROSION CONTROL DETAILS

OWNER
DELWEST CAPITAL DEVELOPMENT CORP.
155 S. MADISON ST.
DENVER, COLORADO 80209
(720) 708-4065
CONTACT: DERRELL SCHREINER

ENGINEER
CORE CONSULTANTS, INC.
1950 WEST LITTLETON BLVD., SUITE 109
LITTLETON, CO 80120
(303) 703-4444, EXT 113
CONTACT: DAVID FORBES

LANDSCAPE
TERRACINA DESIGN
10200 E. GIRARD AVENUE, SUITE A-314
DENVER, CO 80231
(303) 632-8867
CONTACT: LAYLA ROSALES

SURVEY
CORE CONSULTANTS, INC.
1950 WEST LITTLETON BLVD., SUITE 109
LITTLETON, CO 80120
(303) 703-4444, EXT 119
CONTACT: TOM GIRARD

DISTRICT MANAGER
CITY DEVELOPMENT
9500 CIVIC CENTER DRIVE
THORNTON, CO 80229
(303) 538-7295
CONTACT: TBD

CITY ENGINEER
ADAMS COUNTY
4430 S. ADAMS COUNTY PARKWAY, W2000B
BRIGHTON, CO 80601
(720) 523-6826
CONTACT: MATT EMMENS

NOTE
PUBLIC IMPROVEMENTS SHALL CONFORM TO ADAMS COUNTY
STANDARDS AND SPECIFICATIONS AND LATEST EDITION OF COLORADO
DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

NOTICE TO CONTRACTOR
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES,
CONDUITS OR OTHER STRUCTURES SHOWN ON THESE PLANS WAS
OBTAINED BY THE SEARCH OF AVAILABLE RECORDS. THE ENGINEER
ASSUMES NO LIABILITY WHATSOEVER FOR THE ACCURACY OR
COMPLETENESS OF SUCH DATA. THE CONTRACTOR IS REQUIRED TO
TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ALL UTILITY
LINES, CONDUITS OR STRUCTURES WHETHER OR NOT SHOWN ON
THESE PLANS AND BY ACCEPTING AND UTILIZING THESE PLANS,
ASSUMES ALL RESPONSIBILITY FOR THE PROTECTION OR AND ANY
DAMAGE TO SAID FACILITIES.

NOTICE
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE
APPROPRIATE REVIEWING AGENCIES, CORE CONSULTANTS, INC.
APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY
WRITTEN AUTHORIZATION.

BASIS OF BEARINGS
BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE
OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH,
RANGE 68 WEST OF THE 6th P.M., BEING ASSUMED TO BEAR N
89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION
33, BEING A 3 ¼" ALUMINUM CAP IN RANGE BOX, PLS 23519 TO
THE NORTHEAST CORNER OF SAID SECTION 33 BEING A 3 ¼" ALUMINUM
CAP IN RANGE BOX, PLS 7276 WITH ALL BEARINGS
CONTAINED HEREIN RELATIVE THERETO.

BENCHMARK DESCRIPTION
NGS MONUMENT 547, P.I.D. "DJ8173, ADAMS COUNTY"
HAVING A PUBLISHED ELEVATION OF 5286.29 FEET. (NAVD 88)

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NATURAL RESOURCES CONSULTING
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1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND HEREBY UTILITIES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR
LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION. THE
UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED
FROM THE BEST AVAILABLE INFORMATION. TO THE EXTENT
POSSIBLE, THE LOCATION OF ALL UTILITIES PRIOR TO THE
CONSTRUCTION OF ANY CONSTRUCTION ACTIVITIES.

#	REVISION DESCRIPTION	DATE BY
1	DRAFT	XXXX/XX/XX

ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
EROSION CONTROL PLANS
COVER

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

JOB NO.
19-165

SHEET
1 OF 6

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EROSION AND SEDIMENT CONTROL NOTES

GENERAL NOTES:

1. OWNER/CONTRACTOR IS RESPONSIBLE FOR OBTAINING A STATE OF COLORADO, COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY COR-030000 PRIOR TO CONSTRUCTION (CDPS STORMWATER CONSTRUCTION PERMIT).
2. THE OWNER/CONTRACTOR SHALL PROVIDE ADAMS COUNTY WITH A COPY OF THIS CDPS STORMWATER CONSTRUCTION PERMIT LETTER OF APPROVAL AND CERTIFICATION FROM THE STATE PRIOR TO RECEIVING A COUNTY CONSTRUCTION/BUILDING PERMIT. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THIS CDPS STORMWATER CONSTRUCTION PERMIT.
3. A COPY OF THE CDPS STORMWATER CONSTRUCTION PERMIT FROM CDPHE AND THE APPROVED STORMWATER MANAGEMENT PLAN (SWMP) WITH AN EROSION AND SEDIMENT PLAN SHALL BE KEPT ON SITE AND UPDATED AT ALL TIMES IN COMPLIANCE WITH THE CDPS STORMWATER CONSTRUCTION PERMIT.
4. OWNER/CONTRACTOR IS RESPONSIBLE FOR FILING A CDPHE INACTIVATION NOTICE - CONSTRUCTION STORMWATER DISCHARGE GENERAL PERMIT CERTIFICATION; ONCE THE CONSTRUCTION SITE HAS BEEN FINALLY STABILIZED IN COMPLIANCE WITH THE CDPS STORMWATER CONSTRUCTION PERMIT.
5. THE OWNER/CONTRACTOR SHALL PROVIDE ADAMS COUNTY WITH A COPY OF THIS INACTIVATION NOTICE. THERE WILL BE NO FEE CHARGED TO ADAMS COUNTY FOR THE INACTIVATION NOTICE OR IF THE CONTRACTOR NEGLECTS TO FILE THIS NOTICE.
6. THE SWMP ADMINISTRATOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE SWMP SHALL BE MODIFIED IN COMPLIANCE TO THE CDPS STORMWATER CONSTRUCTION PERMIT.
7. STANDARD INSPECTIONS - A THOROUGH INSPECTION OF THE BEST MANAGEMENT PRACTICES (BMPS) SHALL BE PERFORMED EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS AFTER ANY PRECIPITATION OR SNOWMELT EVENT THAT CAUSES SURFACE EROSION.
8. USE BIODEGRADABLE EROSION CONTROL BLANKETS ON SLOPES 3:1 OR STEEPER AND IN SWALES OR LONG CHANNELS.
9. ALL SOIL IMPORTED TO OR EXPORTED FROM THE SITE SHALL BE PROPERLY COVERED TO PREVENT THE LOSS OF MATERIAL DURING TRANSPORT. HAUL ROUTES MUST BE PERMITTED BY THE COUNTY. NO MATERIAL SHALL BE TRANSPORTED TO ANOTHER SITE WITHOUT FIRST OBTAINING A HAULING PERMIT FROM ADAMS COUNTY PLANNING.
10. THE CONCRETE WASHOUT CONTAINMENT STRUCTURE SHALL CONTAIN ALL CONCRETE WASHOUT WATER. STORMWATER SHALL NOT CARRY WASTES FROM THE DESIGNATED CONCRETE WASHOUT LOCATION AND SHALL BE LOCATED A MINIMUM OF FIFTY (50) FEET HORIZONTAL FROM WATERS OF THE STATE.
11. THE ACTUAL SCHEDULE FOR IMPLEMENTING EROSION AND SEDIMENT CONTROL MEASURES WILL BE DETERMINED BY PROJECT CONSTRUCTION PROGRESS. DOWN SLOPE PROTECTIVE MEASURES (I.E. SEDIMENT CONTROL BARRIERS) MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED.
12. INSTALL SEDIMENT CONTROL BARRIERS DOWN SLOPE FROM CONSTRUCTION THAT DISTURB SITE SOIL. SEDIMENT CONTROL BARRIERS SHOULD BE INSTALLED IN THE LOCATIONS SHOWN ON THE EROSION AND SEDIMENT CONTROL DRAWINGS, AS WELL AS OTHER LOCATIONS AS DEEMED NECESSARY BY THE CONTRACTOR, INSPECTOR OR OWNER."

BMP MAINTENANCE NOTES:

1. IT IS ANTICIPATED THAT THE BMPS IMPLEMENTED AT THE SITE WILL HAVE TO BE MODIFIED TO ADAPT TO CHANGING CONDITIONS OR TO ENSURE THAT POTENTIAL POLLUTANTS ARE BEING PROPERLY MANAGED AT THE SITE. WHEN BMPS ARE MODIFIED, THE SWMP MUST BE MODIFIED TO ACCURATELY REFLECT THE ACTUAL FIELD CONDITIONS.
2. THE OWNER/CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL SILT FENCING SO THAT IT FUNCTIONS PROPERLY DURING CONSTRUCTION AND WORK SUSPENSIONS. ALL SILT FENCING SHALL BE REMOVED BY THE CONTRACTOR UPON SUBSTANTIAL PERMANENT STABILIZATION UNLESS OTHERWISE DIRECTED BY AUTHORIZED ADAMS COUNTY PERSONNEL.
3. SILT FENCE SHALL BE INSTALLED ALONG CONTOURS AND PRIOR TO ANY GRUBBING OR GRADING ACTIVITY. IT SHALL BE LOCATED TO CAPTURE OVERLAND, LOW-VELOCITY SHEET FLOWS IN WHICH IT SHALL BE INSTALLED AT A FAIRLY LEVEL GRADE.
4. IT IS RECOMMENDED THAT SILT FENCE SHALL BE INSTALLED FIVE (5) FEET AWAY FROM THE TOE OF THE SLOPE OR STOCKPILE, AND EVERY SEVENTY FIVE (75) TO ONE HUNDRED TWENTY FIVE (125) FEET APART ON LONG SLOPES.
5. DO NOT PLACE SILT FENCE IN OR ADJACENT TO EXISTING WETLANDS WHERE TRENCHING IMPACTS WETLANDS.
6. ALL INLET/OUTLET PROTECTION WILL BE CHECKED FOR MAINTENANCE AND FAILURE DAILY. SEDIMENT SHALL BE REMOVED AND PROPERLY DISPOSED OF ONCE IT HAS ACCUMULATED TO HALF THE DESIGN OF THE TRAP OR DAILY DURING PERIODS OF CONSISTENT PRECIPITATION.
7. THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE VEHICLE TRACKING CONTROL DURING CONSTRUCTION. THE VEHICLE TRACKING CONTROL SHALL BE REMOVED AT THE COMPLETION OF THIS PROJECT UNLESS OTHERWISE DIRECTED BY AUTHORIZED ADAMS COUNTY PERSONNEL.
8. TEMPORARY SEDIMENT TRAPS AND BASINS SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE TAKES PLACE IN THE DRAINAGE AREA. THE AREA UNDER THE EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ALL VEGETATION AND ROOT MAT. SEDIMENT SHALL BE REMOVED WHEN NO LONGER FUNCTIONAL AND DISPOSED OF AT AN APPROVED LOCATION.
9. ALL SEDIMENT FROM STORMWATER INFRASTRUCTURE (I.E. DETENTION PONDS, STORM SEWER PIPES, OUTLETS, INLETS, ROADSIDE DITCHES, ETC.) SHALL BE REMOVED PRIOR TO INITIAL ACCEPTANCE. THIS SEDIMENT SHALL NOT BE FLUSHED OFF-SITE, BUT SHALL BE CAPTURED ON-SITE AND DISPOSED OF AT AN APPROVED LOCATION.
10. TEMPORARY ROCK CHECK DAM - THE MAXIMUM HEIGHT OF THE CHECK DAM AT THE CENTER SHOULD NOT EXCEED ONE HALF THE DEPTH OF THE DITCH OR SWALE. THE MAXIMUM SPACING BETWEEN DAMS SHOULD BE SUCH THAT THE TOE OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM.
11. CONSTRUCTION SAFETY BARRIER FENCING (ORANGE CONSTRUCTION FENCE) MUST BE USED TO PROTECT WETLANDS AND OTHER SENSITIVE AREAS AND TO PREVENT ACCESS.
12. WATER FROM DEWATERING OPERATIONS SHALL NOT BE DIRECTLY DISCHARGED INTO ANY WATERS CONVEYANCE SYSTEMS INCLUDING WETLANDS, IRRIGATION DITCHES, CANALS, RIVERS, STREAMS OR STORM SEWER SYSTEMS, UNLESS ALLOWED BY A STATE CONSTRUCTION DEWATERING PERMIT.

PERFORMANCE NOTES:

1. TEMPORARY AND/OR PERMANENT BMPS INTENDED TO CONTROL EROSION OF AN EARTH DISTURBANCE OPERATION SHALL BE INSTALLED BEFORE ANY EARTH DISTURBANCE OPERATIONS TAKE PLACE IN SEQUENCE WITH PROPER PHASING.
2. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO MINIMIZE DISTURBED AREA AND PROTECT NATURAL FEATURES, SOIL AND VEGETATION.
3. PERSONS ENGAGED IN EARTH DISTURBANCES SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS ADOPTED BY ADAMS COUNTY AND IN COMPLIANCE WITH THE CDPS STORMWATER CONSTRUCTION PERMIT.
4. EARTH DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED AND COMPLETED IN SUCH A MANNER SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST POSSIBLE PERIOD OF TIME.
5. SEDIMENT CAUSED BY ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE IT LEAVES THE SITE OF THE EARTH DISTURBANCE.
6. EXCAVATED MATERIAL AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE STOCKPILED WITHIN THE ROADWAY SECTION. BACKFILL MATERIALS UP TO A MAXIMUM OF 130 CY MAY BE STOCKPILED, WITH APPROPRIATE EROSION CONTROL MEASURE, BUT MUST BE REMOVED OR PLACED BY THE END OF EACH WORK WEEK.
7. ANY CONSTRUCTION AREAS, NOT GRADED TO FINAL GRADE, REQUIRE TEMPORARY BMPS FOR SITE STABILIZATION.
8. AS NECESSARY, CONSTRUCT A TEMPORARY FACILITY DESIGNATED FOR CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE CONSTRUCTION SITE.
9. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING.
10. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY, OR CONTAINED UNTIL APPROPRIATE CLEANUP METHODS CAN BE EMPLOYED. MANUFACTURE'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE FOLLOWED, ALONG WITH PROPER DISPOSAL METHODS.
11. CONCRETE WASHOUTS SHALL NOT BE PLACED IN LOW AREAS, DITCHES OR ADJACENT TO STATE WATERS.
12. THE OWNER/CONTRACTOR SHALL CHECK THE CAPACITY FOR ALL CONCRETE WASHOUT AREAS. WASTE MATERIALS MUST BE REMOVED BY THE CONTRACTOR AND LEGALLY DISPOSED OF WHEN ACCUMULATIONS AMOUNT TO TWO-THIRDS (⅔) OF THE WET STORAGE CAPACITY OF THE STRUCTURE.
13. ALL CONCRETE WASHOUT AREAS SHALL BE CLEARLY MARKED. THE CONCRETE WASHOUT CONTAINMENT STRUCTURE WILL INCLUDE A 2'X3'SIGN POSTED WITH THE WORDS "CONCRETE WASHOUT". THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND/OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
14. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF. CONCRETE WASHOUT WASTE MUST NOT BE BURIED.
15. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE SHALL BE TEMPORARILY STABILIZED IMMEDIATELY AFTER INTERIM GRADING.
16. FINAL STABILIZATION IS REACHED WHEN ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND UNIFORM VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS OR EQUIVALENT PERMANENT, PHYSICAL EROSION REDUCTION METHODS HAS BEEN EMPLOYED.
17. RECORDS OF SPILLS, LEAKS, OR OVERFLOWS THAT RESULT IN THE DISCHARGE OF POLLUTANTS MUST BE DOCUMENTED AND MAINTAINED. SOME SPILLS MAY NEED TO BE REPORTED TO THE DIVISION IMMEDIATELY; SPECIFICALLY, A RELEASE OF ANY CHEMICAL, OIL, PETROLEUM PRODUCT, SEWAGE, ETC., WHICH MAY ENTER WATERS OF THE STATE, MUST BE REPORTED. MORE GUIDANCE IS AVAILABLE ON THE WEB AT WWW.CDPHE.STATE.CO.US/EMP/SPILLSANDRELEASED.HTM THE DIVISION'S TOLL FREE 24-HOUR ENVIRONMENTAL EMERGENCY SPILL REPORTING LINE IS 1-877-518-5608. ALSO IMMEDIATELY CALL ADAMS COUNTY AT 303-523-6400 AND THE TRI-COUNTY HEALTH DEPARTMENT AT 303-220-9200"

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CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND PUBLIC UTILITIES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS SHOWN ON THIS DRAWING HAVE BEEN RATTED FROM THE BEST AVAILABLE INFORMATION. TO SHOW OR NOT TO SHOW IS AT THE DISCRETION OF THE ENGINEER. THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
811
Call before you dig

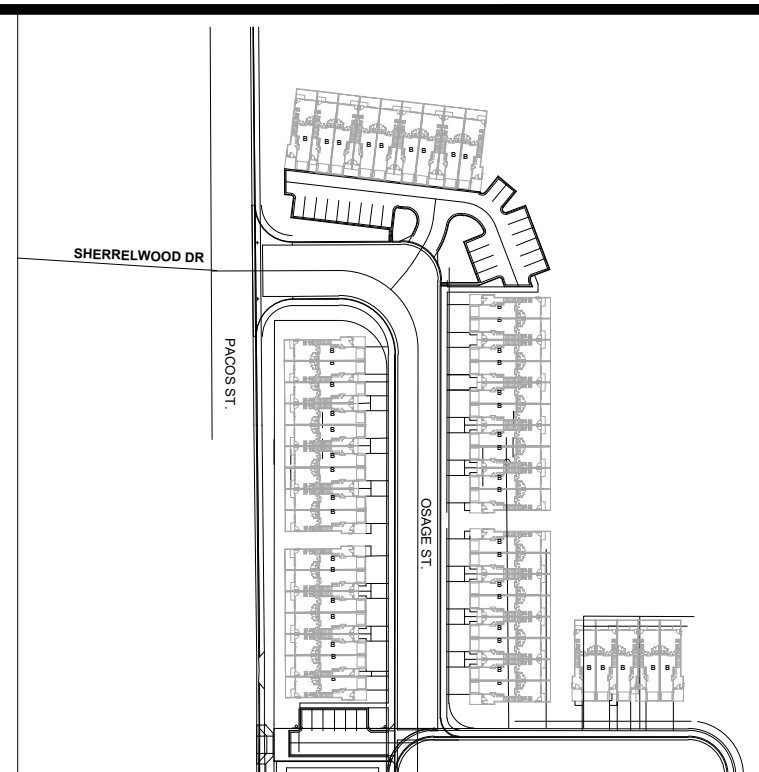
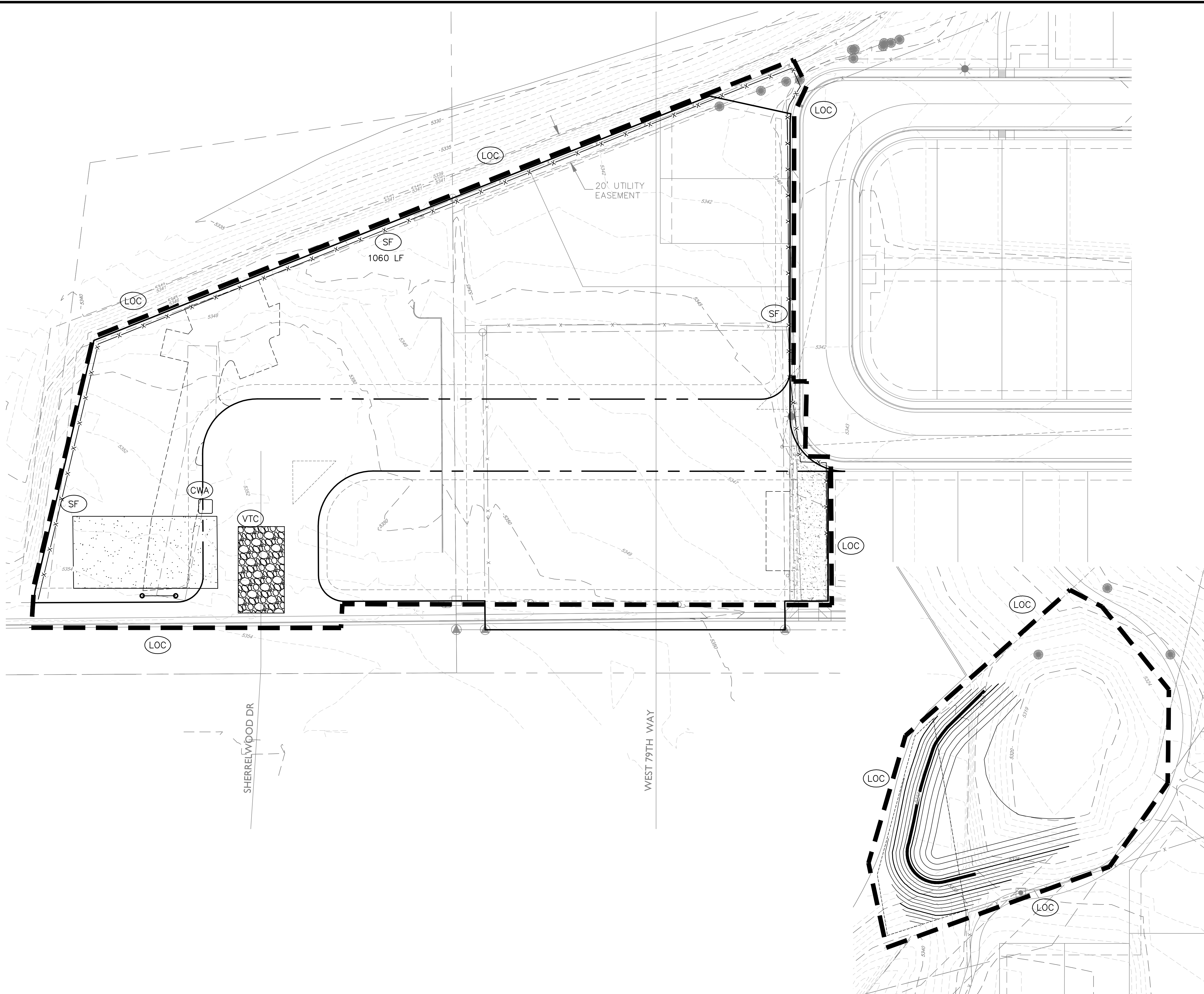
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ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
EROSION CONTROL PLANS
NOTES

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

JOB NO.
19-165
SHEET
2 OF 6

3/17/2021 9:59 AM: X:\19-165 ELMWOOD ESTATES\CIVIL\CAD\PLANS\ELING HEROSON CONTROL.DWG.

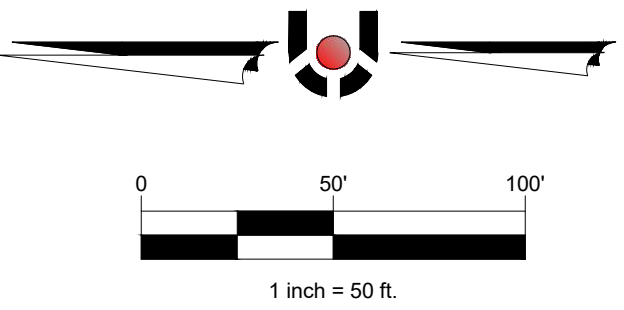


MAPPING LEGEND

- EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
PROPOSED MAJOR CONTOUR
PROPOSED MINOR CONTOUR
PROPERTY LINE
DIRECTIONAL FLOW ARROW
OVERFLOW DIRECTION
- BMP LEGEND
- CD CHECK DAM
CB COMPOST BLANKET
CFB COMPOST FILTER BERM
CWA CONCRETE WASHOUT AREA
CF CONSTRUCTION FENCE
CM CONSTRUCTION MARKER
DW DEWATERING
DD DIVERSION DITCH
ECB EROSION CONTROL BLANKET
IP INLET PROTECTION
RCD REINFORCED CHECK DAM
RRB REINFORCED ROCK BERM
RRB FOR CULVERT PROTECTION
SB SEDIMENT BASIN
SCL SEDIMENT CONTROL LOG
ST SEDIMENT TRAP
SM SEEDING AND MULCHING
SF SILT FENCE
SSA STABILIZED STAGING AREA
SR SURFACE ROUGHENING
TSD TEMPORARY SLOPE DRAIN
TSC TEMPORARY STREAM CROSSING
TER TERRACING
VTC VEHICLE TRACKING CONTROL
VTC WITH WHEEL WASH
RW ROCK AND RIPRAP GRADATIONS
LOC LIMITS OF CONSTRUCTION


NOTES

1. ADDITIONAL BMPs AT CURBSIDE & SIDEWALKS SHALL BE INSTALLED ABOVE THE CURB ONCE PAVEMENT IS INSTALLED.
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Litchton, CO 80120

CORE
CONSULTANTS


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#	REVISION DESCRIPTION	DATE BY
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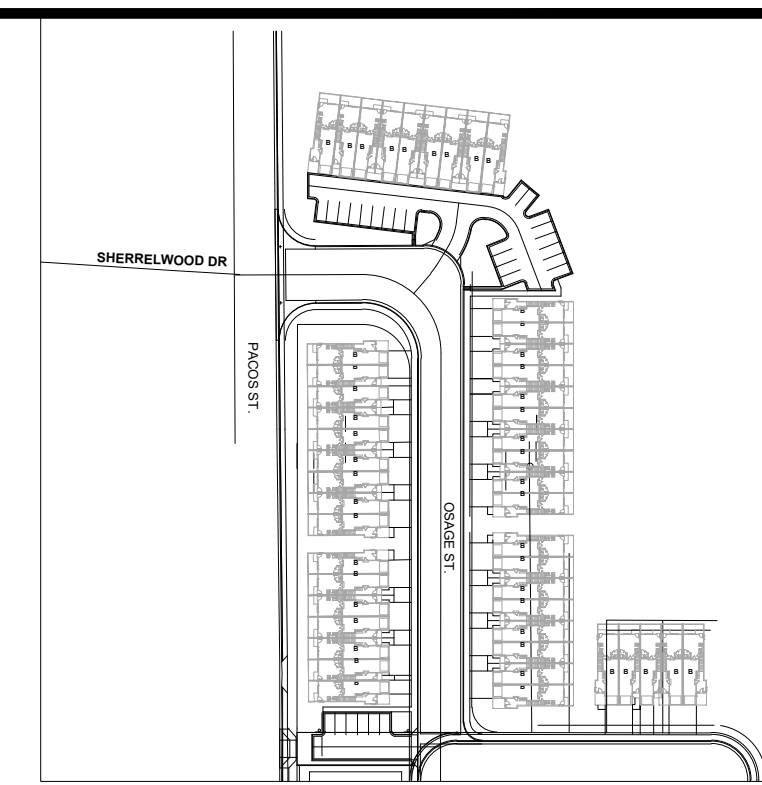
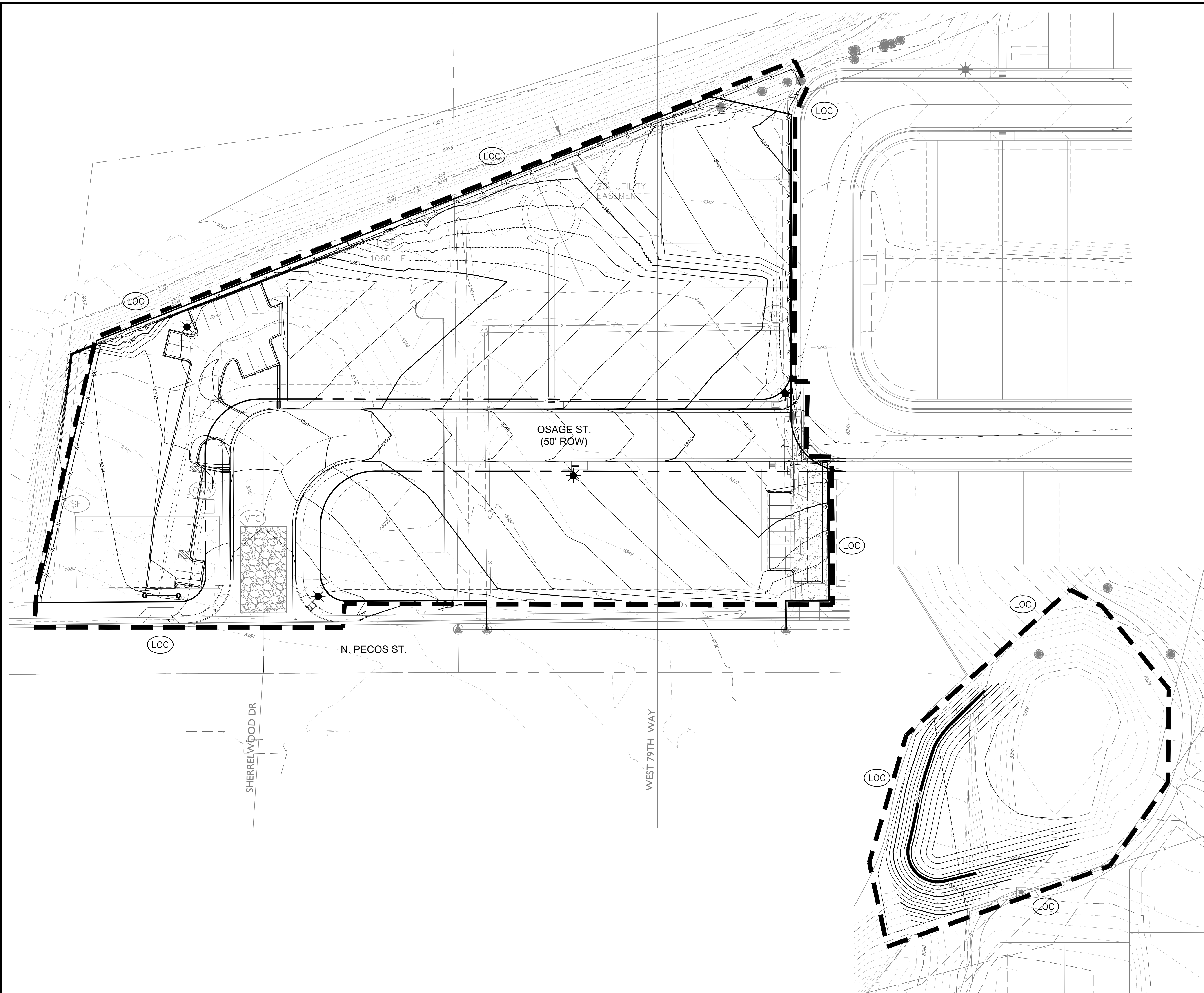
ELMWOOD ESTATES
ADAMS COUNTY, COLORADO

EROSION CONTROL PLANS
INITIAL EROSION CONTROL PLAN

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

JOB NO.
19-165

SHEET
3 OF 6

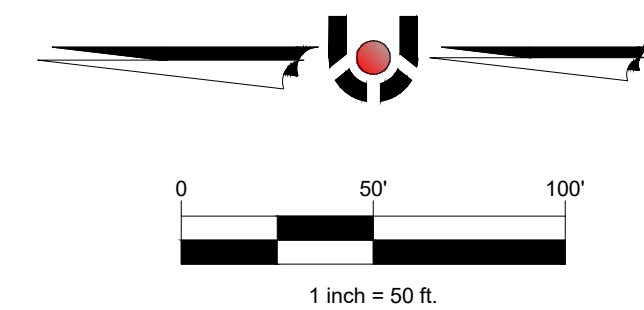


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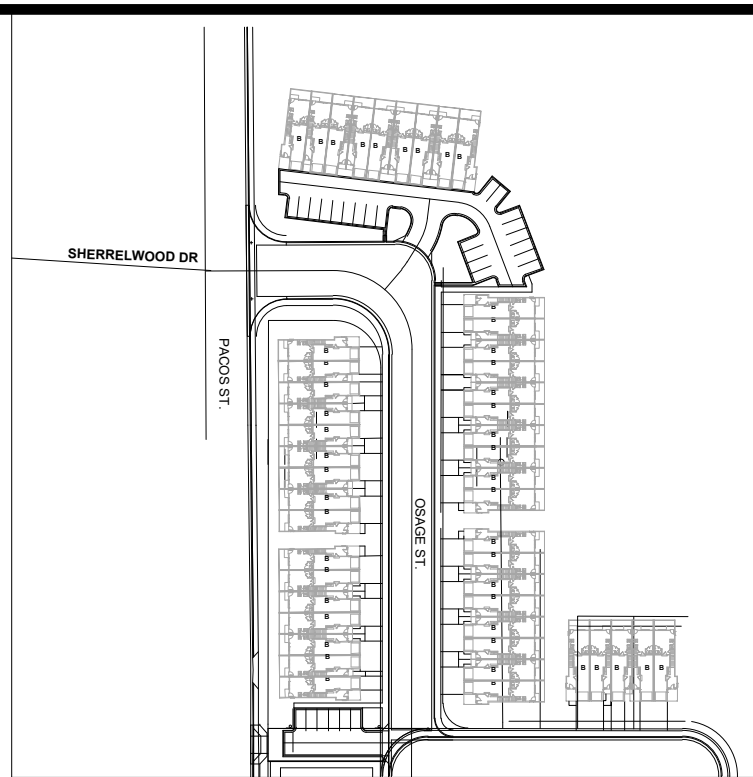
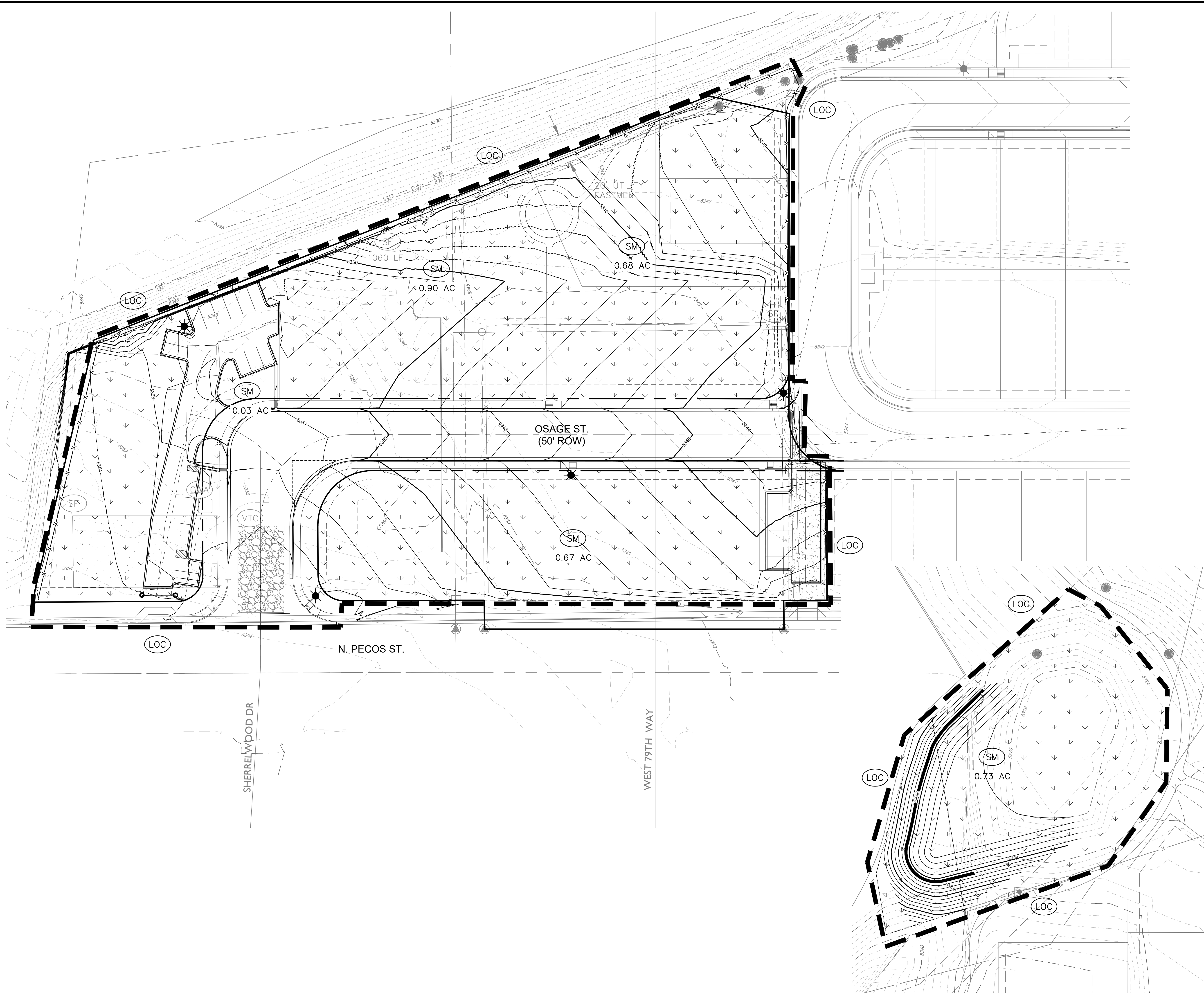
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| —5610— | EXISTING MINOR CONTOUR |
| —5610— | PROPOSED MAJOR CONTOUR |
| —5610— | PROPOSED MINOR CONTOUR |
| —5610— | PROPERTY LINE |
| → | DIRECTIONAL FLOW ARROW |
| → | OVERFLOW DIRECTION |
| BMP | LEGEND |
| | CHECK DAM |
| | COMPOST BLANKET |
| | COMPOST FILTER BERM |
| | CONCRETE WASHOUT AREA |
| | CONSTRUCTION FENCE |
| | CONSTRUCTION MARKER |
| | DEWATERING |
| | DIVERSION DITCH |
| | EROSION CONTROL BLANKET |
| | INLET PROTECTION |
| | REINFORCED CHECK DAM |
| | REINFORCED CULVERT BERM |
| | RRB FOR CULVERT PROTECTION |
| | SEDIMENT BASIN |
| | SEDIMENT CONTROL LOG |
| | SEDIMENT TRAP |
| | SEEDING AND MULCHING |
| | SILT FENCE |
| | STABILIZED STAGING AREA |
| | SURFACE ROUGHENING |
| | TEMPORARY SLOPE DRAIN |
| | TEMPORARY STREAM CROSSING |
| | TERRACING |
| | VEHICLE TRACKING CONTROL |
| | VTC WITH WHEEL WASH ROCK AND RIPRAP GRADATIONS |
| | LIMITS OF CONSTRUCTION |

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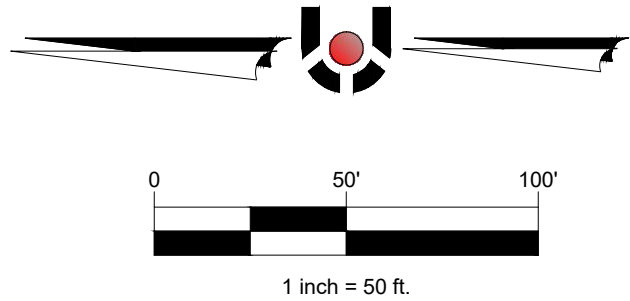


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Litchton, CO 80120

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UNDERGROUND HERBES UTILITIES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY
LOCATIONS. IT IS THE RESPONSIBILITY OF THE USER
TO OBTAIN THE LATEST AVAILABLE INFORMATION TO IDENTIFY
THE LOCATION OF ALL UTILITIES PRIOR TO THE
COMPLETION OF ANY CONSTRUCTION ACTIVITIES.

#	REVISION DESCRIPTION	DATE BY
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ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
EROSION CONTROL PLANS
FINAL EROSION CONTROL PLAN

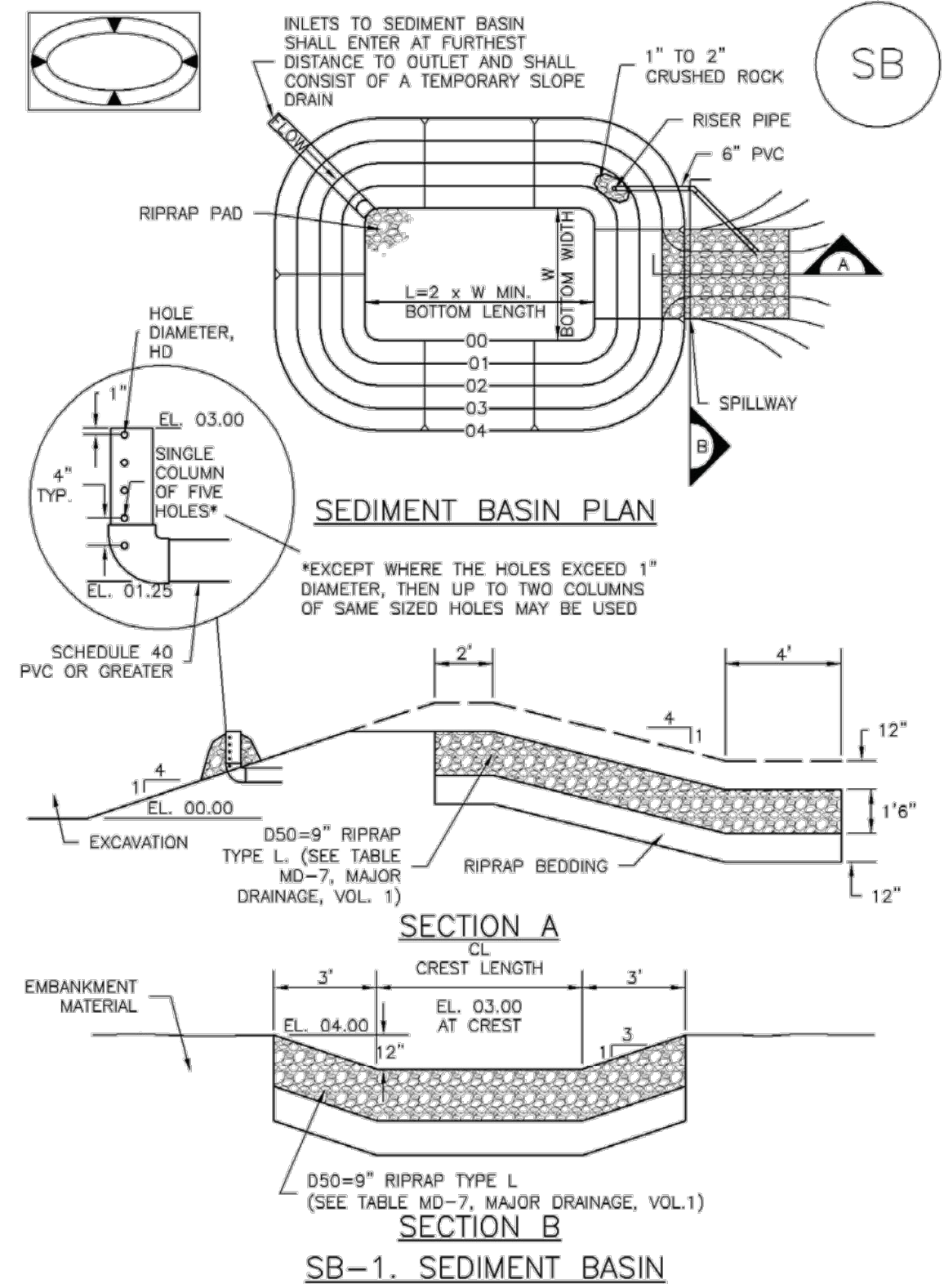
DESIGNED BY: NW
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19-165
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Sediment Basin (SB)

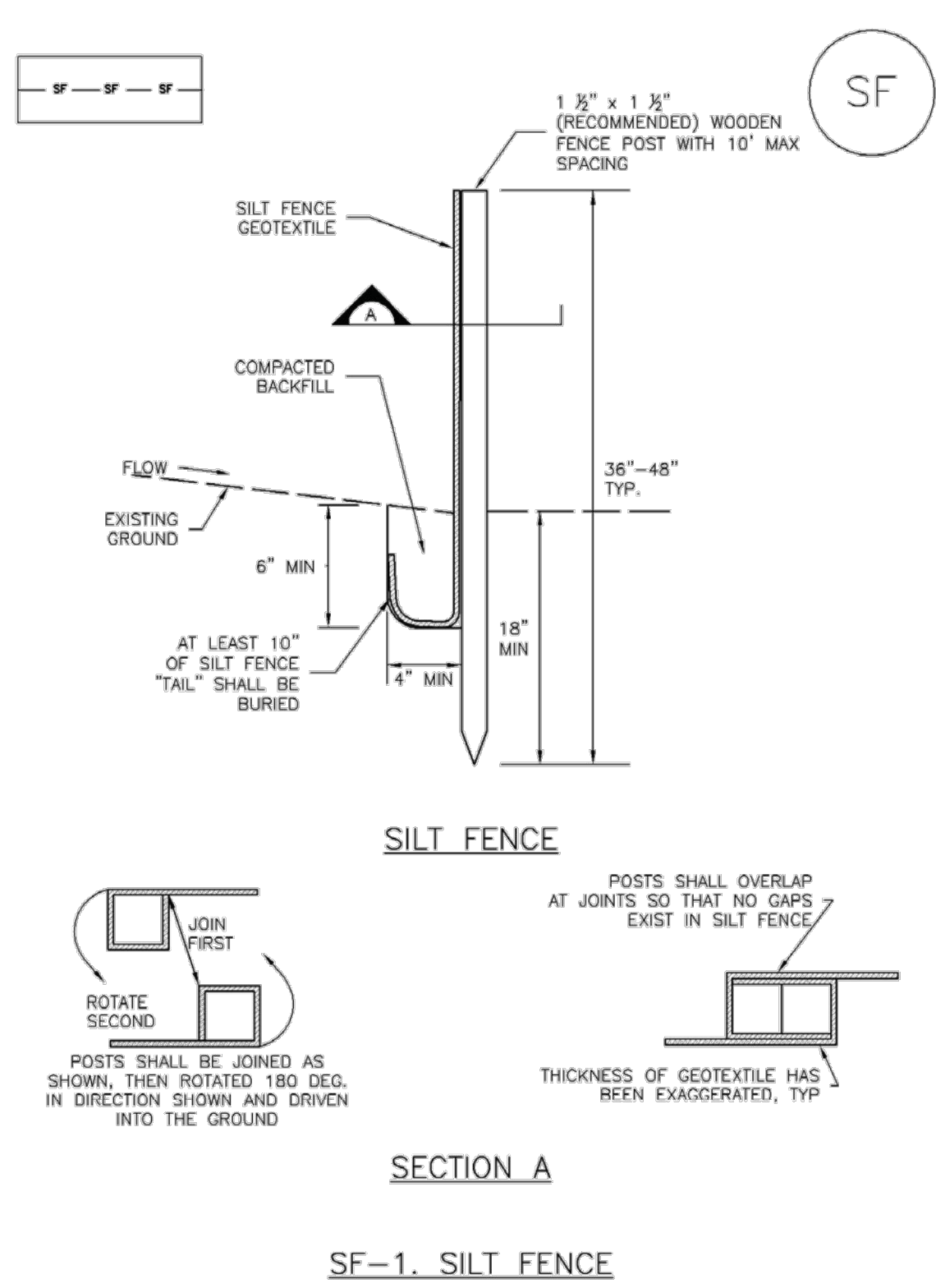
SC-7



November 2010 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 SB-5

Silt Fence (SF)

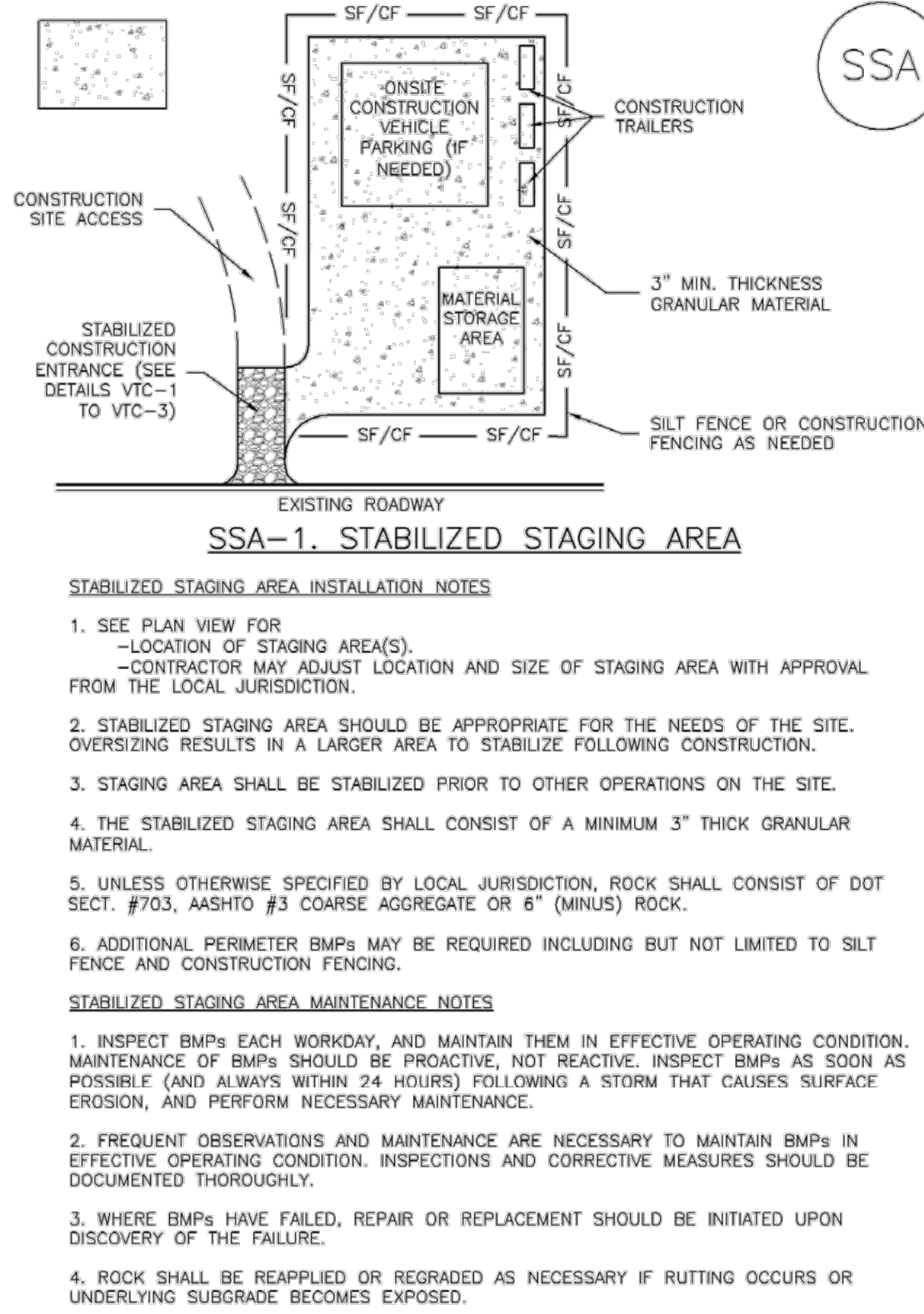
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November 2010 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 SF-3

Stabilized Staging Area (SSA)

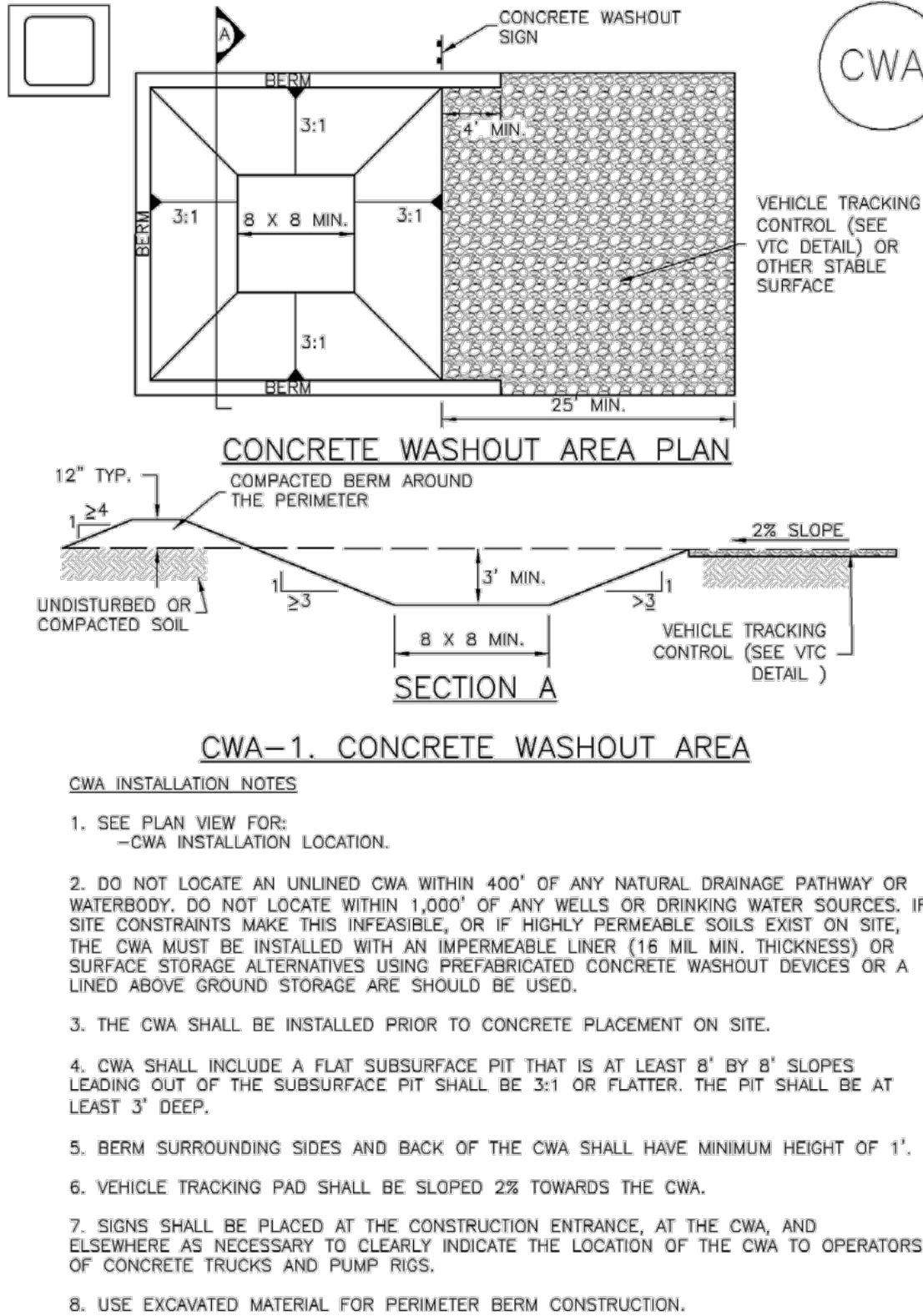
SM-6



November 2010 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 SSA-3

Concrete Washout Area (CWA)

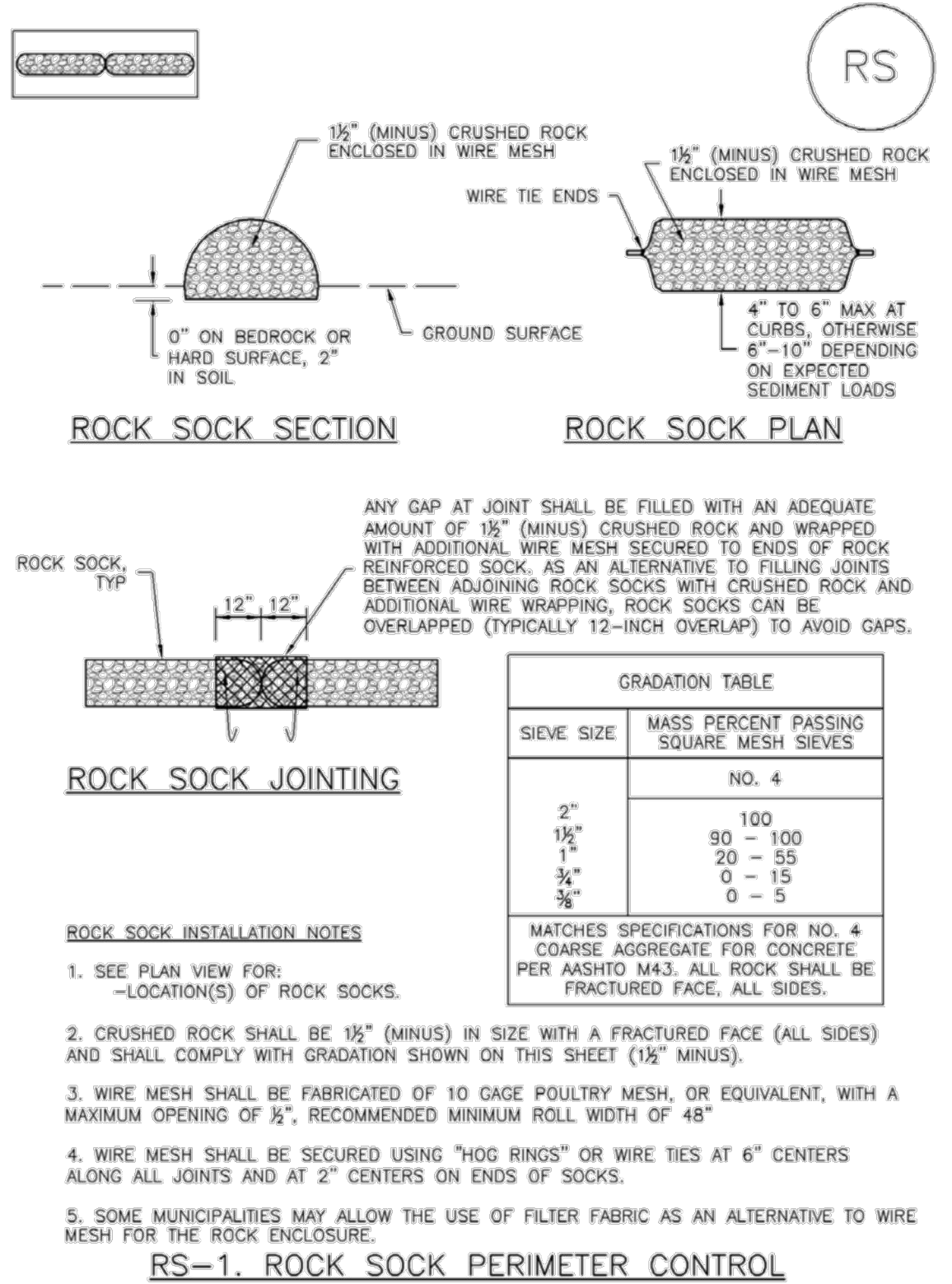
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November 2010 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 CWA-3

SC-5

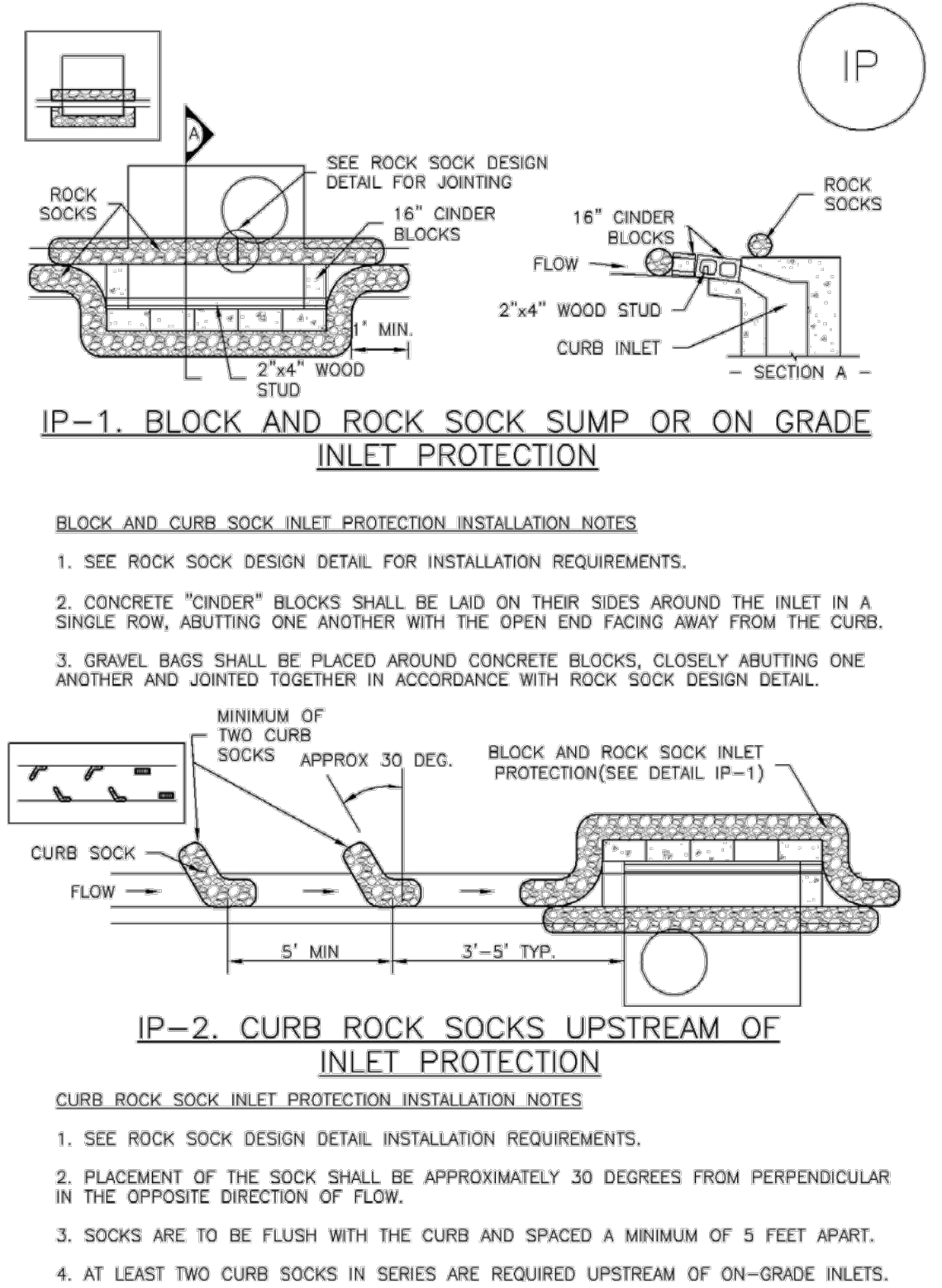
Rock Sock (RS)



November 2010 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 RS-2

SC-6

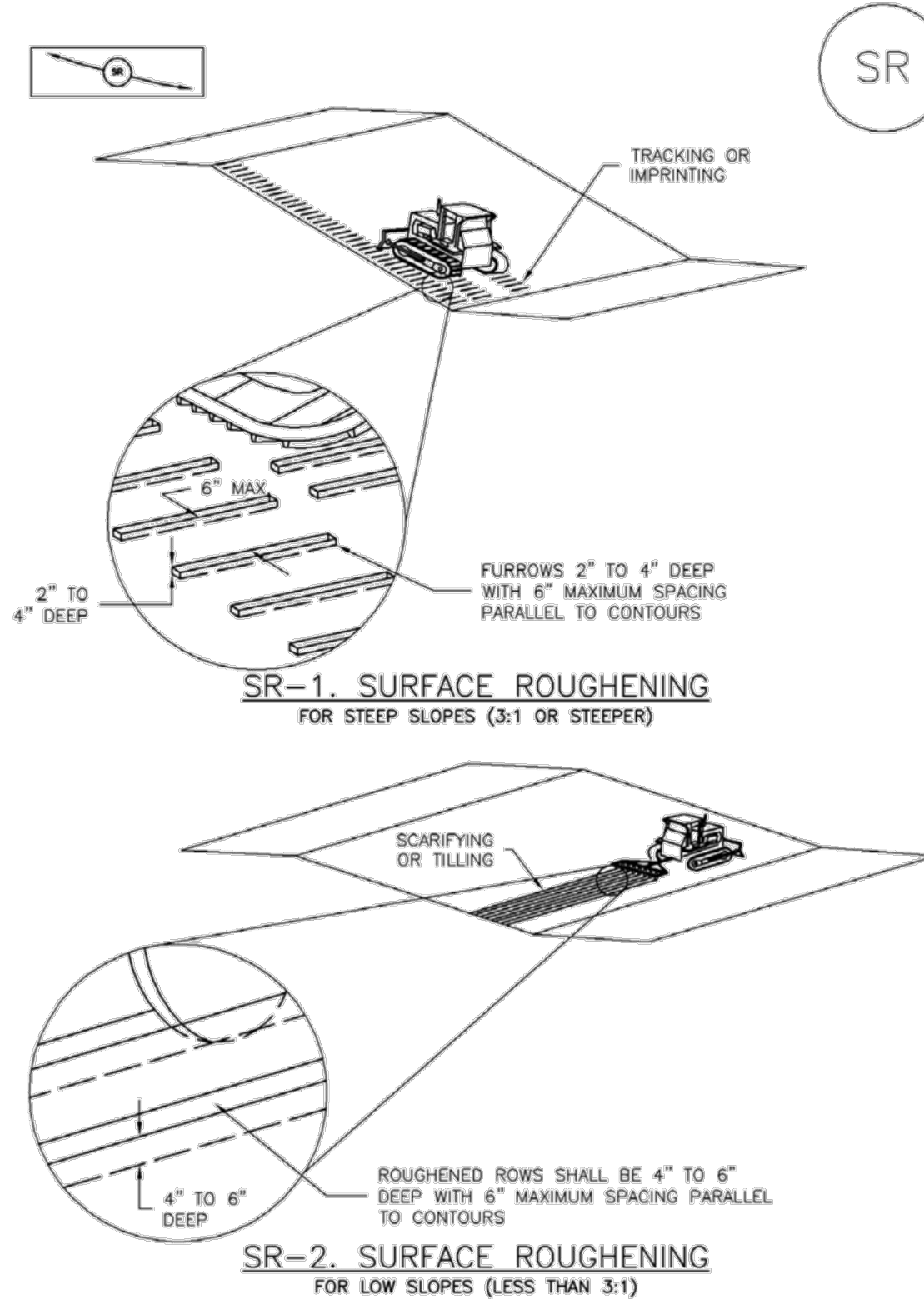
Inlet Protection (IP)



November 2010 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 IP-4

Surface Roughening (SR)

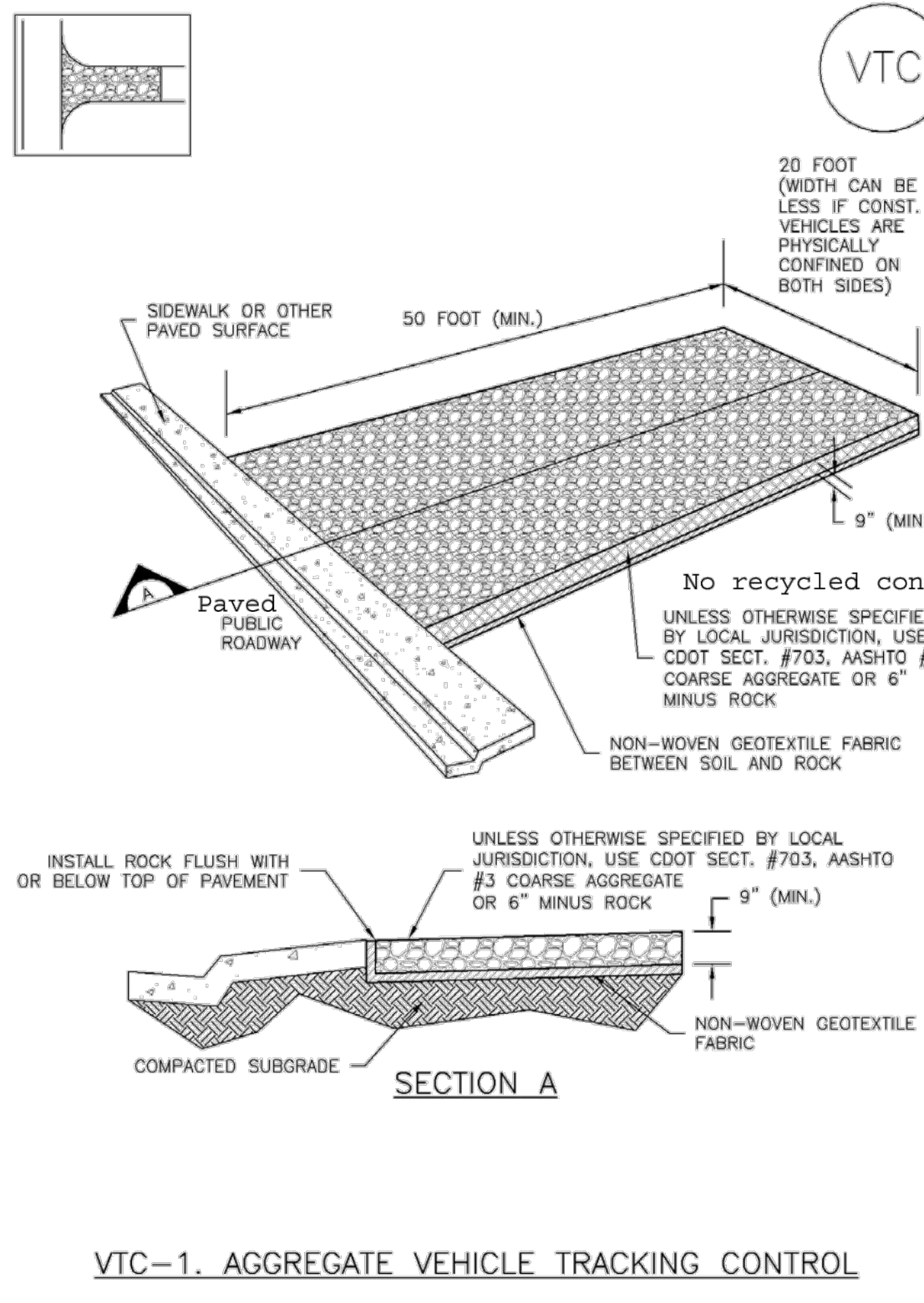
EC-1



November 2010 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 SR-3

Vehicle Tracking Control (VTC)

SM-4



November 2010 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 VTC-3

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OWNER
DELWEST DEVELOPMENT CORP.
155 S. MADISON ST.
DENVER, COLORADO 80209
(720) 708-4065
CONTACT: DERRELL SCHREINER

LANDSCAPE
TERRACINA DESIGN
10200 E. GIRARD AVENUE, SUITE A-314
DENVER, CO 80231
(303) 632-8867
CONTACT: LAYLA ROSALES

DISTRICT MANAGER
CITY DEVELOPMENT
9500 CIVIC CENTER DRIVE
THORNTON, CO 80229
(303) 538-7295
CONTACT: TBD

ENGINEER
CORE CONSULTANTS, INC.
1950 WEST LITTLETON BLVD., SUITE 109
LITTLETON, CO 80120
(303) 703-4444, EXT 113
CONTACT: DAVID FORBES

SURVEY
CORE CONSULTANTS, INC.
1950 WEST LITTLETON BLVD., SUITE 109
LITTLETON, CO 80120
(303) 703-4444, EXT 119
CONTACT: TOM GIRARD

CITY ENGINEER
ADAMS COUNTY
4430 S. ADAMS COUNTY PARKWAY, W2000B
BRIGHTON, CO 80601
(720) 523-6826
CONTACT: MATT EMMENS

NOTE
PUBLIC IMPROVEMENTS SHALL CONFORM TO ADAMS COUNTY
STANDARDS AND SPECIFICATIONS AND LATEST EDITION OF COLORADO
DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

NOTICE TO CONTRACTOR
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES,
CONDUITS OR OTHER STRUCTURES SHOWN ON THESE PLANS WAS
OBTAINED BY THE SEARCH OF AVAILABLE RECORDS. THE ENGINEER
ASSUMES NO LIABILITY WHATSOEVER FOR THE ACCURACY OR
COMPLETENESS OF SUCH DATA. THE CONTRACTOR IS REQUIRED TO
TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ALL UTILITY
LINES, CONDUITS OR STRUCTURES WHETHER OR NOT SHOWN ON
THESE PLANS AND BY ACCEPTING AND UTILIZING THESE PLANS,
ASSUMES ALL RESPONSIBILITY FOR THE PROTECTION OR AND ANY
DAMAGE TO SAID FACILITIES.

NOTICE
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE
APPROPRIATE REVIEWING AGENCIES, CORE CONSULTANTS, INC.
APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY
WRITTEN AUTHORIZATION.

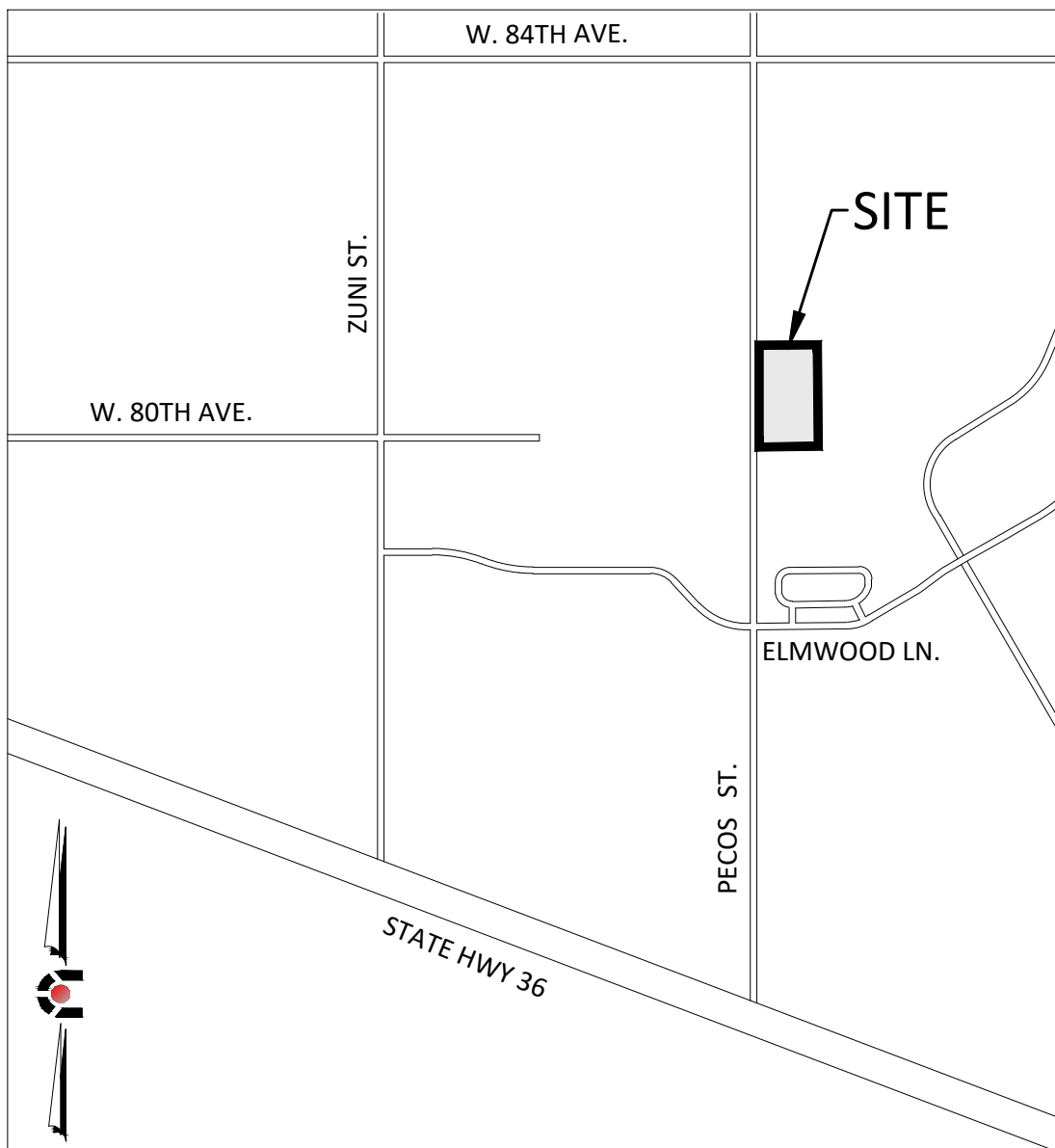
BASIS OF BEARINGS
BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE
OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH,
RANGE 68 WEST OF THE 6th P.M., BEING ASSUMED TO BEAR N
89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION
33, BEING A 3 1/4" ALUMINUM CAP IN RANGE BOX, PLS 23519 TO
THE NORTHEAST CORNER OF SAID SECTION 33 BEING A 3 1/4"
ALUMINUM CAP IN RANGE BOX, PLS 7276 WITH ALL BEARINGS
CONTAINED HEREIN RELATIVE THERETO.

BENCHMARK DESCRIPTION
NGS MONUMENT 547, P.I.D. "DJ8173, ADAMS COUNTY"
HAVING A PUBLISHED ELEVATION OF 5286.29 FEET. (NAVD 88)

ELMWOOD ESTATES

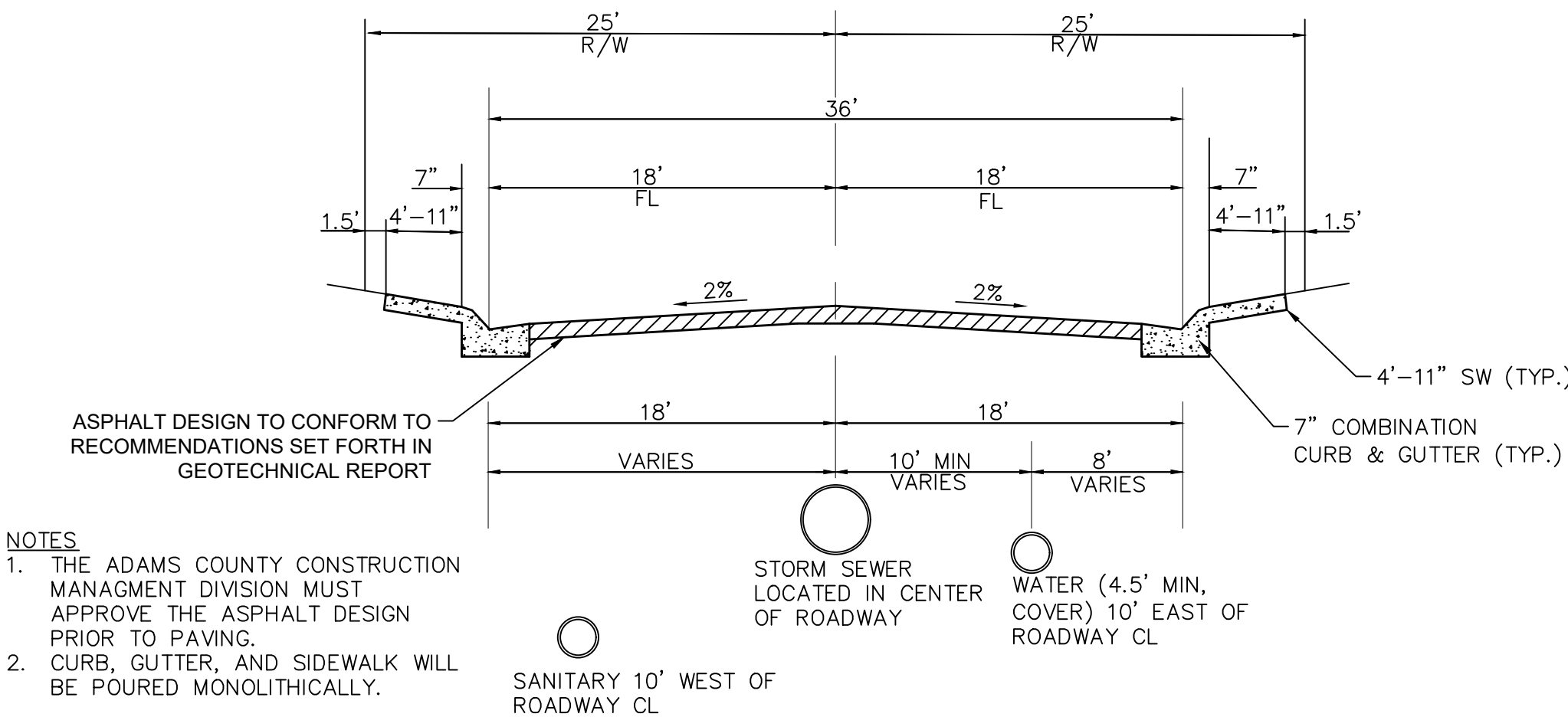
CIVIL CONSTRUCTION PLANS

PART OF THE NORTHEAST QUARTER SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

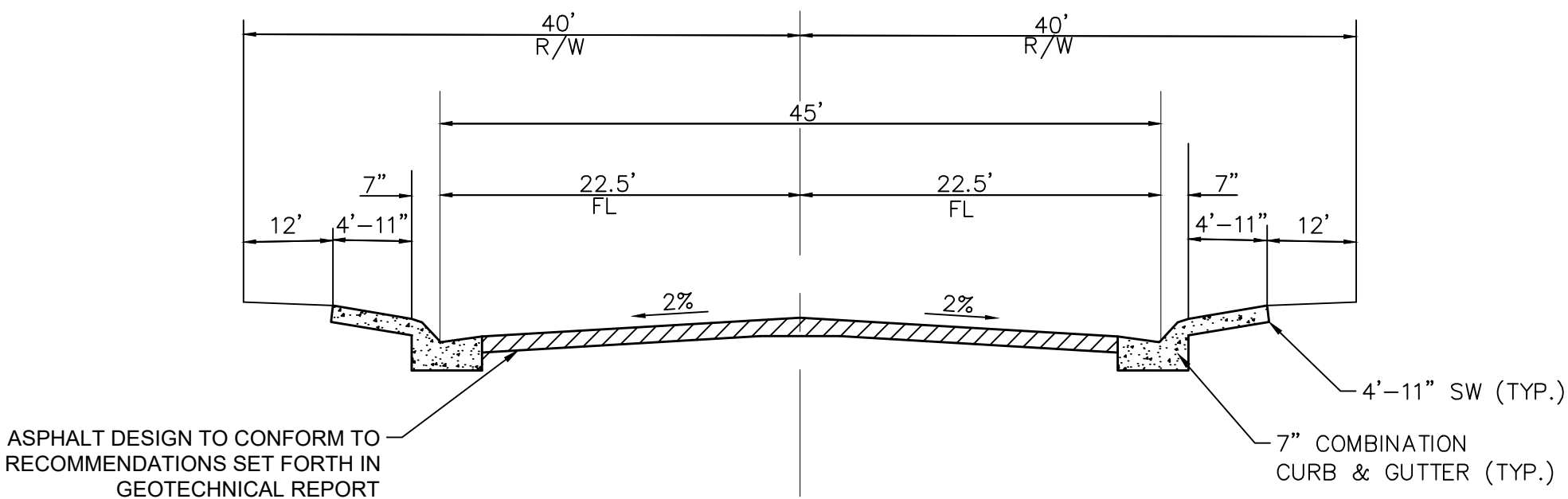


VICINITY MAP
NTS

Sheet List Table	
Sheet Number	Sheet Title
1	COVER
2	NOTES
3	OVERALL SITE & UTILITY PLAN
4	GRADING PLAN
5	SIGNAGE PLAN
6	INITIAL EROSION CONTROL PLAN
7	INTERIM EROSION CONTROL PLAN
8	FINAL EROSION CONTROL PLAN
9	EROSION CONTROL DETAILS
10	OSAGE STREET PLAN & PROFILE
11	POND DETAIL
12	SITE DETAILS
13	SITE DETAILS



TYPICAL LOCAL NTS.



ENTRY ROAD NTS.

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Littleton, CO 80120



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LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR
UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED
FROM THE BEST AVAILABLE INFORMATION. TO THE EXTENT
THE LOCATION OF ALL UTILITIES PRIOR TO THE
COMPLETION OF ANY CONSTRUCTION ACTIVITIES.

#	REVISION DESCRIPTION	DATE	BY
1	DRAFT	XX/XX/XX	XXX

ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
CONSTRUCTION DRAWINGS
COVER

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

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19-165
SHEET
1 OF 13

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EROSION AND SEDIMENT CONTROL NOTES

GENERAL NOTES:

1. OWNER/CONTRACTOR IS RESPONSIBLE FOR OBTAINING A STATE OF COLORADO, COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY COR-030000 PRIOR TO CONSTRUCTION (CDPS STORMWATER CONSTRUCTION PERMIT).
2. THE OWNER/CONTRACTOR SHALL PROVIDE ADAMS COUNTY WITH A COPY OF THIS CDPS STORMWATER CONSTRUCTION PERMIT LETTER OF APPROVAL AND CERTIFICATION FROM THE STATE PRIOR TO RECEIVING A COUNTY CONSTRUCTION/BUILDING PERMIT. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THIS CDPS STORMWATER CONSTRUCTION PERMIT.
3. A COPY OF THE CDPS STORMWATER CONSTRUCTION PERMIT FROM CDPHE AND THE APPROVED STORMWATER MANAGEMENT PLAN (SWMP) WITH AN EROSION AND SEDIMENT PLAN SHALL BE KEPT ON SITE AND UPDATED AT ALL TIMES IN COMPLIANCE WITH THE CDPS STORMWATER CONSTRUCTION PERMIT.
4. OWNER/CONTRACTOR IS RESPONSIBLE FOR FILING A CDPHE INACTIVATION NOTICE – CONSTRUCTION STORMWATER DISCHARGE GENERAL PERMIT CERTIFICATION; ONCE THE CONSTRUCTION SITE HAS BEEN FINALLY STABILIZED IN COMPLIANCE WITH THE CDPS STORMWATER CONSTRUCTION PERMIT.
5. THE OWNER/CONTRACTOR SHALL PROVIDE ADAMS COUNTY WITH A COPY OF THIS INACTIVATION NOTICE. THERE WILL BE NO FEE CHARGED TO ADAMS COUNTY FOR THE INACTIVATION NOTICE OR IF THE CONTRACTOR NEGLECTS TO FILE THIS NOTICE.
6. THE SWMP ADMINISTRATOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE SWMP SHALL BE MODIFIED IN COMPLIANCE TO THE CDPS STORMWATER CONSTRUCTION PERMIT.
7. STANDARD INSPECTIONS – A THOROUGH INSPECTION OF THE BEST MANAGEMENT PRACTICES (BMPs) SHALL BE PERFORMED EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS AFTER ANY PRECIPITATION OR SNOWMELT EVENT THAT CAUSES SURFACE EROSION.
8. USE BIODEGRADABLE EROSION CONTROL BLANKETS ON SLOPES 3:1 OR STEEPER AND IN SWALES OR LONG CHANNELS.
9. ALL SOIL IMPORTED TO OR EXPORTED FROM THE SITE SHALL BE PROPERLY COVERED TO PREVENT THE LOSS OF MATERIAL DURING TRANSPORT. HAUL ROUTES MUST BE PERMITTED BY THE COUNTY. NO MATERIAL SHALL BE TRANSPORTED TO ANOTHER SITE WITHOUT FIRST OBTAINING A HAULING PERMIT FROM ADAMS COUNTY PLANNING.
10. THE CONCRETE WASHOUT CONTAINMENT STRUCTURE SHALL CONTAIN ALL CONCRETE WASHOUT WATER. STORMWATER SHALL NOT CARRY WASTES FROM THE DESIGNATED CONCRETE WASHOUT LOCATION AND SHALL BE LOCATED A MINIMUM OF FIFTY (50) FEET HORIZONTAL FROM WATERS OF THE STATE.
11. THE ACTUAL SCHEDULE FOR IMPLEMENTING EROSION AND SEDIMENT CONTROL MEASURES WILL BE DETERMINED BY PROJECT CONSTRUCTION PROGRESS. DOWN SLOPE PROTECTIVE MEASURES (I.E. SEDIMENT CONTROL BARRIERS) MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED.
12. INSTALL SEDIMENT CONTROL BARRIERS DOWN SLOPE FROM CONSTRUCTION THAT DISTURB SITE SOIL. SEDIMENT CONTROL BARRIERS SHOULD BE INSTALLED IN THE LOCATIONS SHOWN ON THE EROSION AND SEDIMENT CONTROL DRAWINGS, AS WELL AS OTHER LOCATIONS AS DEEMED NECESSARY BY THE CONTRACTOR, INSPECTOR OR OWNER."

BMP MAINTENANCE NOTES:

1. IT IS ANTICIPATED THAT THE BMPs IMPLEMENTED AT THE SITE WILL HAVE TO BE MODIFIED TO ADAPT TO CHANGING CONDITIONS OR TO ENSURE THAT POTENTIAL POLLUTANTS ARE BEING PROPERLY MANAGED AT THE SITE. WHEN BMPs ARE MODIFIED, THE SWMP MUST BE MODIFIED TO ACCURATELY REFLECT THE ACTUAL FIELD CONDITIONS.
2. THE OWNER/CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL SILT FENCING SO THAT IT FUNCTIONS PROPERLY DURING CONSTRUCTION AND WORK SUSPENSIONS. ALL SILT FENCING SHALL BE REMOVED BY THE CONTRACTOR UPON SUBSTANTIAL PERMANENT STABILIZATION UNLESS OTHERWISE DIRECTED BY AUTHORIZED ADAMS COUNTY PERSONNEL.
3. SILT FENCE SHALL BE INSTALLED ALONG CONTOURS AND PRIOR TO ANY GRUBBING OR GRADING ACTIVITY. IT SHALL BE LOCATED TO CAPTURE OVERLAND, LOW-VELOCITY SHEET FLOWS IN WHICH IT SHALL BE INSTALLED AT A FAIRLY LEVEL GRADE.
4. IT IS RECOMMENDED THAT SILT FENCE SHALL BE INSTALLED FIVE (5) FEET AWAY FROM THE TOE OF THE SLOPE OR STOCKPILE, AND EVERY SEVENTY FIVE (75) TO ONE HUNDRED TWENTY FIVE (125) FEET APART ON LONG SLOPES.
5. DO NOT PLACE SILT FENCE IN OR ADJACENT TO EXISTING WETLANDS WHERE TRENCHING IMPACTS WETLANDS.
6. ALL INLET/OUTLET PROTECTION WILL BE CHECKED FOR MAINTENANCE AND FAILURE DAILY. SEDIMENT SHALL BE REMOVED AND PROPERLY DISPOSED OF ONCE IT HAS ACCUMULATED TO HALF THE DESIGN OF THE TRAP OR DAILY DURING PERIODS OF CONSISTENT PRECIPITATION.
7. THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE VEHICLE TRACKING CONTROL DURING CONSTRUCTION. THE VEHICLE TRACKING CONTROL SHALL BE REMOVED AT THE COMPLETION OF THIS PROJECT UNLESS OTHERWISE DIRECTED BY AUTHORIZED ADAMS COUNTY PERSONNEL.
8. TEMPORARY SEDIMENT TRAPS AND BASINS SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE TAKES PLACE IN THE DRAINAGE AREA. THE AREA UNDER THE EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ALL VEGETATION AND ROOT MAT. SEDIMENT SHALL BE REMOVED WHEN NO LONGER FUNCTIONAL AND DISPOSED OF AT AN APPROVED LOCATION.
9. ALL SEDIMENT FROM STORMWATER INFRASTRUCTURE (I.E. DETENTION PONDS, STORM SEWER PIPES, OUTLETS, INLETS, ROADSIDE DITCHES, ETC.) SHALL BE REMOVED PRIOR TO INITIAL ACCEPTANCE. THIS SEDIMENT SHALL NOT BE FLUSHED OR SITE, BUT SHALL BE CAPTURED ON-SITE AND DISPOSED OF AT AN APPROVED LOCATION.
10. TEMPORARY ROCK CHECK DAM – THE MAXIMUM HEIGHT OF THE CHECK DAM AT THE CENTER SHOULD NOT EXCEED ONE HALF THE DEPTH OF THE DITCH OR SWALE. THE MAXIMUM SPACING BETWEEN DAMS SHOULD BE SUCH THAT THE TOE OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM.
11. CONSTRUCTION SAFETY BARRIER FENCING (ORANGE CONSTRUCTION FENCE) MUST BE USED TO PROTECT WETLANDS AND OTHER SENSITIVE AREAS AND TO PREVENT ACCESS.
12. WATER FROM DEWATERING OPERATIONS SHALL NOT BE DIRECTLY DISCHARGED INTO ANY WATERS CONVEYANCE SYSTEMS INCLUDING WETLANDS, IRRIGATION DITCHES, CANALS, RIVERS, STREAMS OR STORM SEWER SYSTEMS, UNLESS ALLOWED BY A STATE CONSTRUCTION DEWATERING PERMIT.

PERFORMANCE NOTES:

1. TEMPORARY AND/OR PERMANENT BMPs INTENDED TO CONTROL EROSION OF AN EARTH DISTURBANCE OPERATION SHALL BE INSTALLED BEFORE ANY EARTH DISTURBANCE OPERATIONS TAKE PLACE IN SEQUENCE WITH PROPER PHASING.
2. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO MINIMIZE DISTURBED AREA AND PROTECT NATURAL FEATURES, SOIL AND VEGETATION.
3. PERSONS ENGAGED IN EARTH DISTURBANCES SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS ADOPTED BY ADAMS COUNTY AND IN COMPLIANCE WITH THE CDPS STORMWATER CONSTRUCTION PERMIT.
4. EARTH DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED AND COMPLETED IN SUCH A MANNER SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST POSSIBLE PERIOD OF TIME.
5. SEDIMENT CAUSED BY ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE IT LEAVES THE SITE OF THE EARTH DISTURBANCE.
6. EXCAVATED MATERIAL AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE STOCKPILED WITHIN THE ROADWAY SECTION. BACKFILL MATERIALS UP TO A MAXIMUM OF 130 CY MAY BE STOCKPILED, WITH APPROPRIATE EROSION CONTROL MEASURE, BUT MUST BE REMOVED OR PLACED BY THE END OF EACH WORK WEEK.
7. ANY CONSTRUCTION AREAS, NOT GRADED TO FINAL GRADE, REQUIRE TEMPORARY BMPs FOR SITE STABILIZATION.
8. AS NECESSARY, CONSTRUCT A TEMPORARY FACILITY DESIGNATED FOR CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE CONSTRUCTION SITE.
9. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING.
10. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY, OR CONTAINED UNTIL APPROPRIATE CLEANUP METHODS CAN BE EMPLOYED. MANUFACTURE'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE FOLLOWED, ALONG WITH PROPER DISPOSAL METHODS.
11. CONCRETE WASHOUTS SHALL NOT BE PLACED IN LOW AREAS, DITCHES OR ADJACENT TO STATE WATERS.
12. THE OWNER/CONTRACTOR SHALL CHECK THE CAPACITY FOR ALL CONCRETE WASHOUT AREAS. WASTE MATERIALS MUST BE REMOVED BY THE CONTRACTOR AND LEGALLY DISPOSED OF WHEN ACCUMULATIONS AMOUNT TO TWO-THIRDS (⅔) OF THE WET STORAGE CAPACITY OF THE STRUCTURE.
13. ALL CONCRETE WASHOUT AREAS SHALL BE CLEARLY MARKED. THE CONCRETE WASHOUT CONTAINMENT STRUCTURE WILL INCLUDE A 2'X3'SIGN POSTED WITH THE WORDS "CONCRETE WASHOUT". THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND/OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
14. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF. CONCRETE WASHOUT WASTE MUST NOT BE BURIED.
15. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE SHALL BE TEMPORARILY STABILIZED IMMEDIATELY AFTER INTERIM GRADING.
16. FINAL STABILIZATION IS REACHED WHEN ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND UNIFORM VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS OR EQUIVALENT PERMANENT, PHYSICAL EROSION REDUCTION METHODS HAS BEEN EMPLOYED.
17. RECORDS OF SPILLS, LEAKS, OR OVERFLOWS THAT RESULT IN THE DISCHARGE OF POLLUTANTS MUST BE DOCUMENTED AND MAINTAINED. SOME SPILLS MAY NEED TO BE REPORTED TO THE DIVISION IMMEDIATELY: SPECIFICALLY, A RELEASE OF ANY CHEMICAL, OIL, PETROLEUM PRODUCT, SEWAGE, ETC., WHICH MAY ENTER WATERS OF THE STATE, MUST BE REPORTED. MORE GUIDANCE IS AVAILABLE ON THE WEB AT WWW.CDPHE.STATE.CO.US/EMP/SPILLSANDRELEASED.HTM THE DIVISION'S TOLL FREE 24-HOUR ENVIRONMENTAL EMERGENCY SPILL REPORTING LINE IS 1-877-518-5608. ALSO IMMEDIATELY CALL ADAMS COUNTY AT 303-453-8787 AND THE TRI-COUNTY HEALTH DEPARTMENT AT 303-220-9200"

CONSTRUCTION NOTES

GENERAL CONSTRUCTION NOTES:

1. A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. TO SCHEDULE A PRE-CONSTRUCTION MEETING CONTACT THE ADAMS COUNTY CONSTRUCTION INSPECTOR SUPERVISOR AT 720-523-6965.
2. ALL CONCRETE CURB, GUTTER AND WALK MUST BE POURED MONOLITHICALLY USING 4,500 PSI CONCRETE WITH FIBER MESH.
3. ALL MATERIAL SUBMITTALS MUST BE APPROVED, STAMPED AND SIGNED, BY THE ENGINEER OF RECORD AND, SUBMITTED TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR FOR APPROVAL PRIOR TO CONSTRUCTION/INSTALLATION.
4. THE CONTRACTOR IS REQUIRED TO SUBMIT COPIES OF ALL CONCRETE AND ASPHALT TICKETS TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL TESTING AND, IS REQUIRED TO SUBMIT ALL TEST RESULTS TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR.
6. THE CONTRACTOR IS REQUIRED TO REMOVE A MINIMUM OF TWO (2) FEET OF EXISTING ASPHALT FOR ALL CURB AND GUTTER REPLACEMENT.
7. ALL UTILITY CUTS IN EXISTING STREETS ARE REQUIRED TO BE BACKFILLED WITH FLOWFILL AND, PATCHED WITH A MINIMUM OF 9-INCH ASPHALT PATCH.
8. A COPY OF THE GEOTECHNICAL REPORT SPECIFYING THE PAVEMENT THICKNESS DESIGN MUST BE SUBMITTED FOR REVIEW.
9. PERMITS WILL BE REQUIRED FOR THE INSTALLATION OF ALL UTILITIES. THE DEVELOPER/CONTRACTOR/ENGINEER, MUST SUPPLY THE LINEAL FOOTAGES AND THE NUMBER OF SERVICE CUTS REQUIRED FOR ALL UTILITIES.
10. PERMITS WILL BE REQUIRED FOR THE INSTALLATION OF ALL CONCRETE AND ASPHALT FACILITIES. PRIOR TO THE ISSUANCE OF THESE PERMITS, THE DEVELOPER/CONTRACTOR/ENGINEER, MUST SUPPLY THE SQUARE YARDAGE/SQUARE FOOTAGES OF ALL CONCRETE AND ASPHALT BEING INSTALLED.
11. THE SIA MUST BE COMPLETED WITH APPROPRIATE COLLATERAL, ALONG WITH THE PROPOSED PLAT, PRIOR TO THE ISSUANCE OF ANY ROW ACCESS/CONSTRUCTION PERMIT.
12. NO C.O.'S WILL BE ISSUED FOR ANY BUILDING CONSTRUCTION UNTIL ALL ROW IMPROVMENTS HAVE BEEN COMPLETED AND HAVE BEEN GRANTED PRELIMINARY ACCEPTANCE.
13. UPON COMPLETION OF ALL CONSTRUCTION, A DRAINAGE CERTIFICATION LETTER, AND APPROPRIATE AS-BUILT CONSTRUCTION DRAWINGS AND INFORMATION WILL BE REQUIRED. THIS LETTER WILL BE STAMPED AND SIGNED BY THE ORIGINAL DESIGN ENGINEER.

STORMWATER GENERAL NOTE:

1. PER COLORADO REVISED STATUTE 37-92-602(8), ALL STORMWATER FACILITIES THAT RETAIN OR DETAIN STORMWATER MUST BE REGISTERED WITH THE STATEWIDE NOTIFICATION COMPLIANCE PORTAL (SNCP). IT IS THE RESPONSIBILITY OF THE DESIGN ENGINEER TO REGISTER THE STORMWATER FACILITY ON THE SNCP. THE FACILITY MUST BE REGISTERED WITH THE SNCP WITHIN TEN (10) DAYS OF THE COUNTY RECEIVING THE FINAL POND CERTIFICATION FROM THE ENGINEER OF RECORD. THE COUNTY IS REQUIRED TO VERIFY THE REGISTRATION OF THE STORMWATER FACILITY WITHIN 30 DAYS OF POSTING. THE STATEWIDE NOTIFICATION COMPLIANCE PORTAL CAN BE FOUND AT THE FOLLOWING WEB ADDRESS:

[HTTPS://MAPATURE.DIGITALDATASERVICES.COM/GVH/?VIEWER=CSWDIF](https://MAPATURE.DIGITALDATASERVICES.COM/GVH/?VIEWER=CSWDIF)

CIVIL ENGINEERING
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LAND SURVEYING
303.703.4444
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CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU
KNOW WHAT'S BELOW.
Call before you dig.
811
CORE ASSURES NO RESPONSIBILITY FOR EXISTING UTILITY
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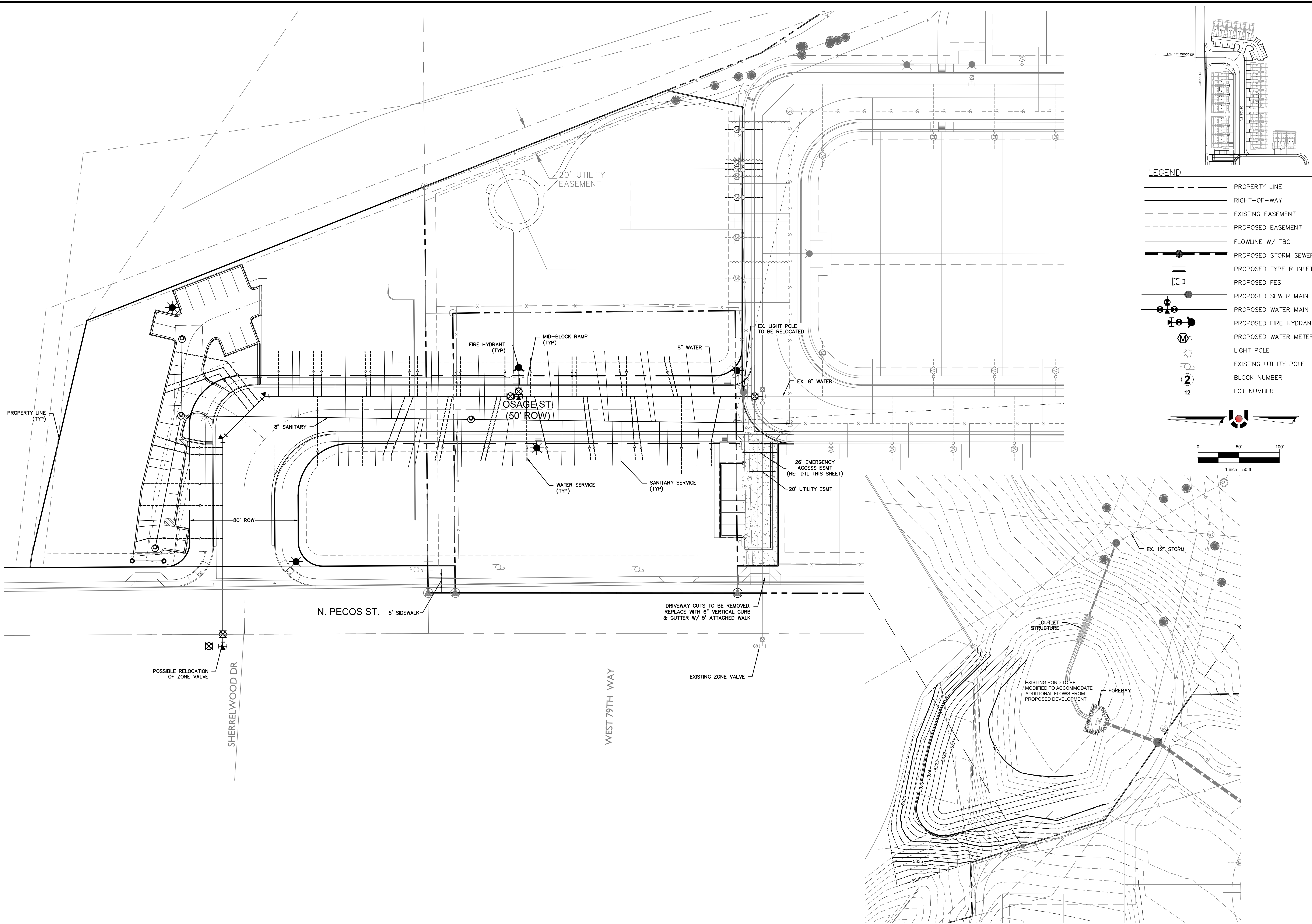
ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
CONSTRUCTION DRAWINGS
NOTES

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

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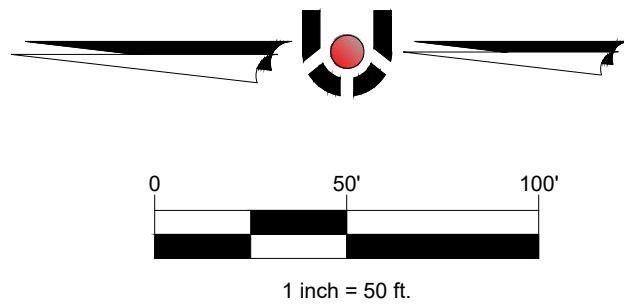
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2 OF 13

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LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EXISTING EASEMENT
- PROPOSED EASEMENT
- FLOWLINE W/ TBC
- PROPOSED STORM SEWER
- PROPOSED TYPE R INLET
- PROPOSED FES
- PROPOSED SEWER MAIN
- PROPOSED WATER MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- LIGHT POLE
- EXISTING UTILITY POLE
- BLOCK NUMBER
- LOT NUMBER



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Know what's below.
Call before you dig.
811

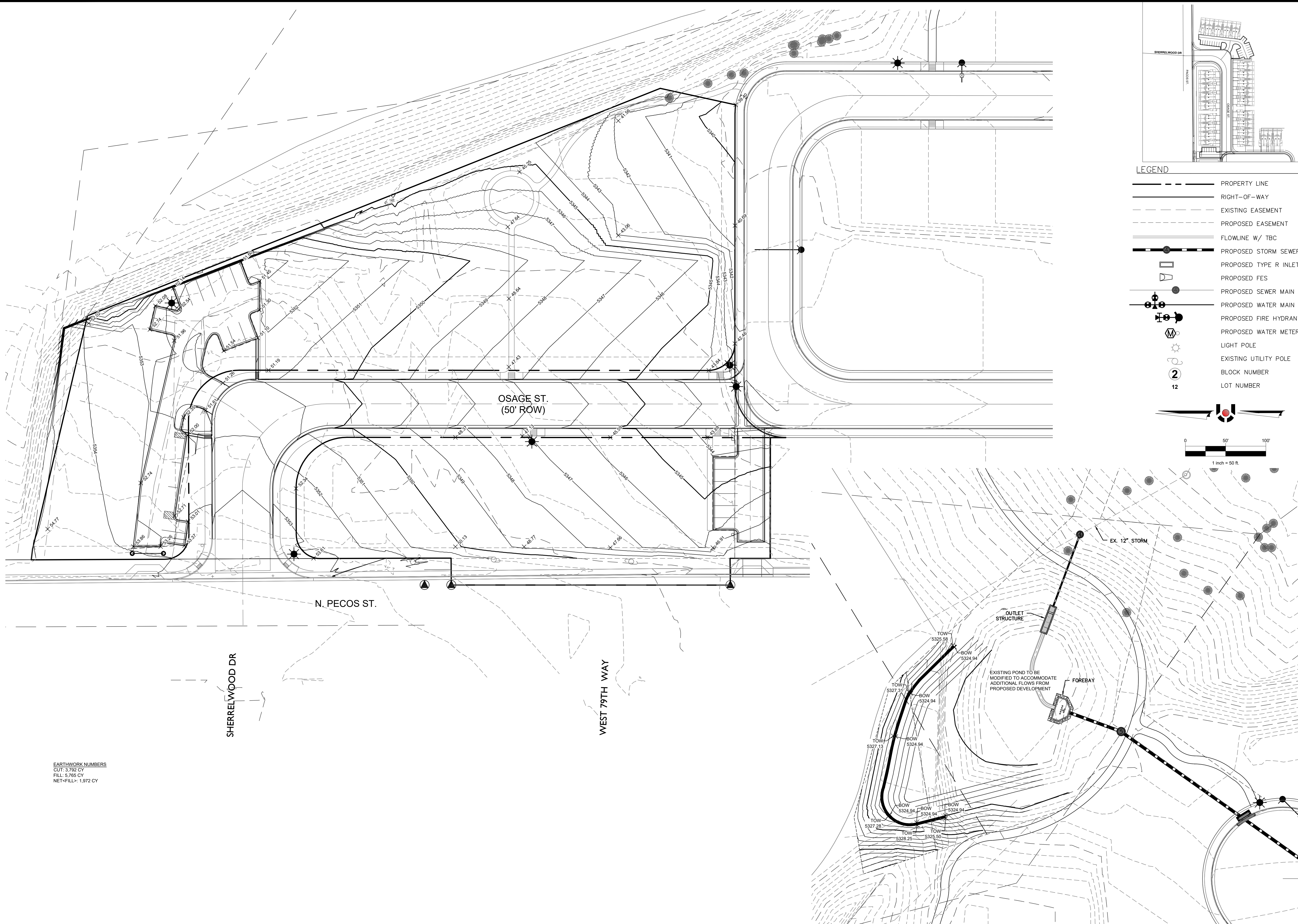
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DRAWN BY:	NW
CHECKED BY:	JS

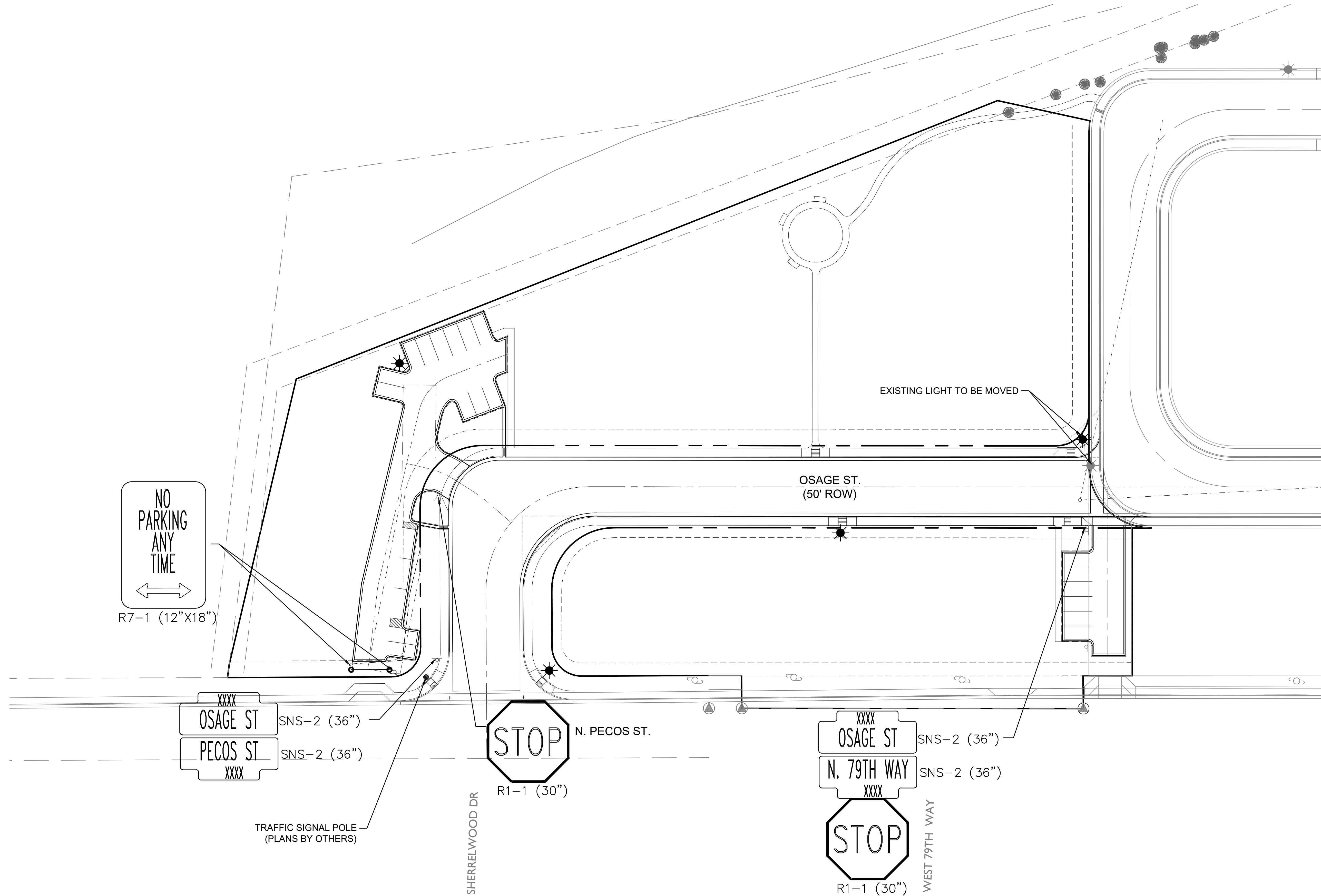
JOB NO. 19-165
SHEET 3 OF 13

ELMWOOD ESTATES
ADAMS COUNTY, COLORADO

CONSTRUCTION DRAWINGS
OVERALL SITE & UTILITY PLAN

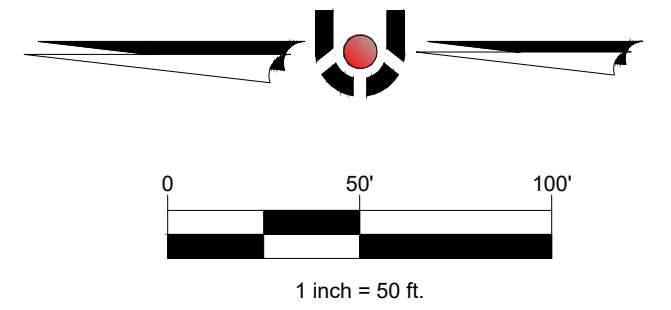


3/10/2021 3:11 PM: X:\19-165 ELMWOOD ESTATES\CIVIL\CD\PLANS\ELING US\SIGNAGE PLAN.DWG



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EXISTING EASEMENT
- PROPOSED EASEMENT
- FLOWLINE W/ TBC
- PROPOSED STORM SEWER
- PROPOSED TYPE R INLET
- PROPOSED FES
- PROPOSED SEWER MAIN
- PROPOSED WATER MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- LIGHT POLE
- EXISTING UTILITY POLE
- BLOCK NUMBER
- LOT NUMBER



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LOCATIONS. ANY UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED
BY THE ESTIMATE OF THE COMPANY. TO AVOID DAMAGE TO
EXISTING UTILITIES, THE LOCATION OF ALL UTILITIES PRIOR TO THE
CONSTRUCTION OF ANY CONSTRUCTION ACTIVITIES.

#	REVISION DESCRIPTION	DATE BY
1	DRAFT	XXXX/XXXX/XXXX

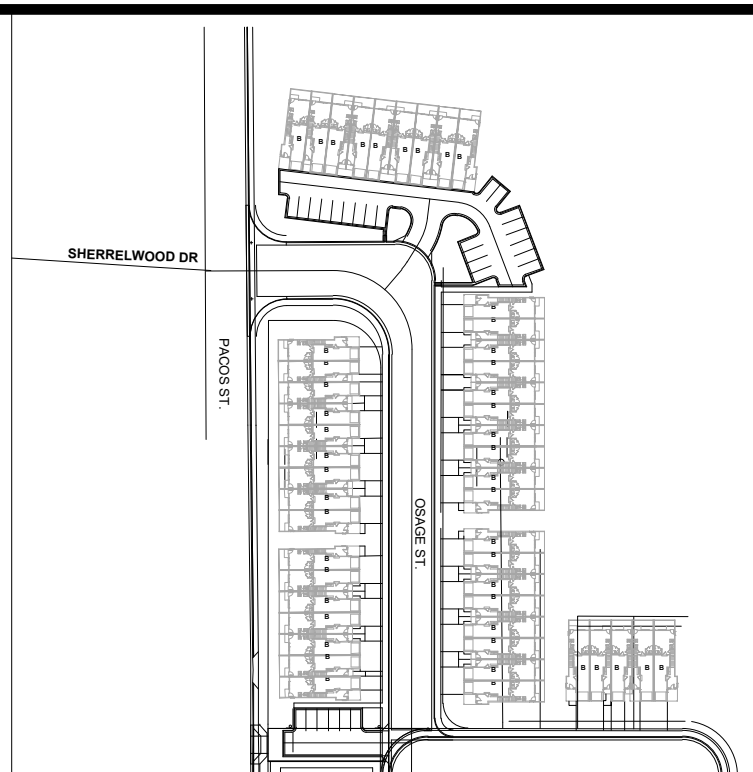
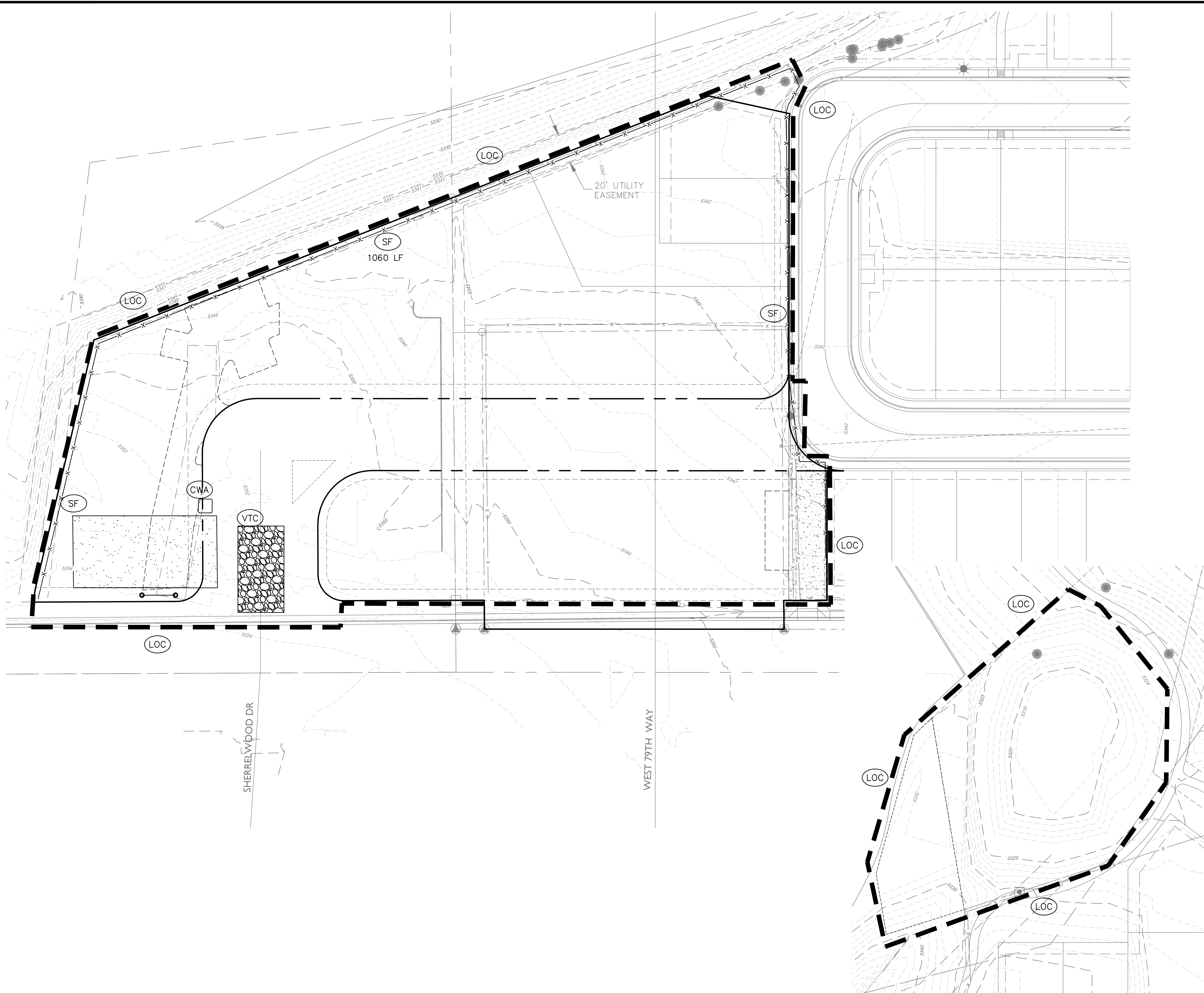
ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
CONSTRUCTION DRAWINGS
SIGNAGE PLAN

DESIGNED BY: NW
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JOB NO.
19-165

SHEET
5 OF 13

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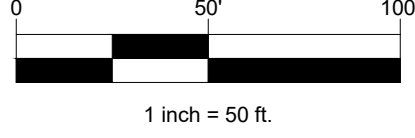


MAPPING LEGEND

- EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
PROPOSED MAJOR CONTOUR
PROPOSED MINOR CONTOUR
PROPERTY LINE
DIRECTIONAL FLOW ARROW
OVERFLOW DIRECTION
- BMP LEGEND
- | | |
|-----|---|
| CD | CHECK DAM |
| CB | COMPOST BLANKET |
| CFB | COMPOST FILTER BERM |
| CWA | CONCRETE WASHOUT AREA |
| CF | CONSTRUCTION FENCE |
| CM | CONSTRUCTION MARKER |
| DW | DEWATERING |
| DD | DIVERSION DITCH |
| ECB | EROSION CONTROL BLANKET |
| IP | INLET PROTECTION |
| RCD | REINFORCED CHECK DAM |
| RRB | REINFORCED ROCK BERM |
| RRC | RRB FOR CULVERT PROTECTION |
| SB | SEDIMENT BASIN |
| SCL | SEDIMENT CONTROL LOG |
| ST | SEDIMENT TRAP |
| SM | SEEDING AND MULCHING |
| SF | SILT FENCE |
| SSA | STABILIZED STAGING AREA |
| SR | SURFACE ROUGHENING |
| TSD | TEMPORARY SLOPE DRAIN |
| TSC | TEMPORARY STREAM CROSSING |
| TER | TERRACING |
| VTC | VEHICLE TRACKING CONTROL |
| WW | VTC WITH WHEEL WASH
ROCK AND RIPRAP GRADATIONS |
| LOC | LIMITS OF CONSTRUCTION |

NOTES

1. ADDITIONAL BMPs AT CURBSIDE & SIDEWALKS SHALL BE INSTALLED ABOVE THE CURB ONCE PAVEMENT IS INSTALLED.
2. SEDIMENTS ACCUMULATED DURING CONSTRUCTION SHALL BE REMOVED AND ANY DISTURBED AREAS SHALL BE STABILIZED.



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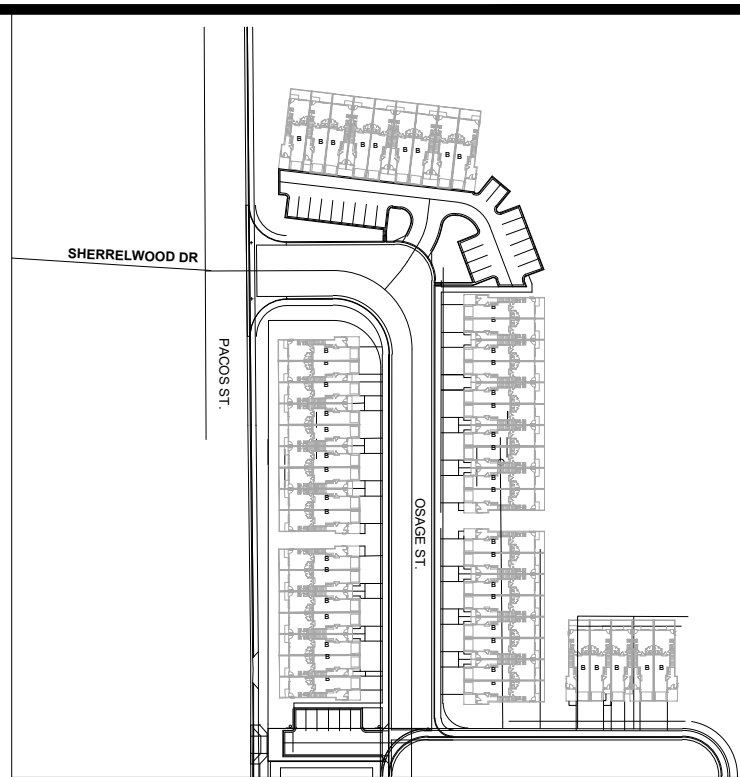
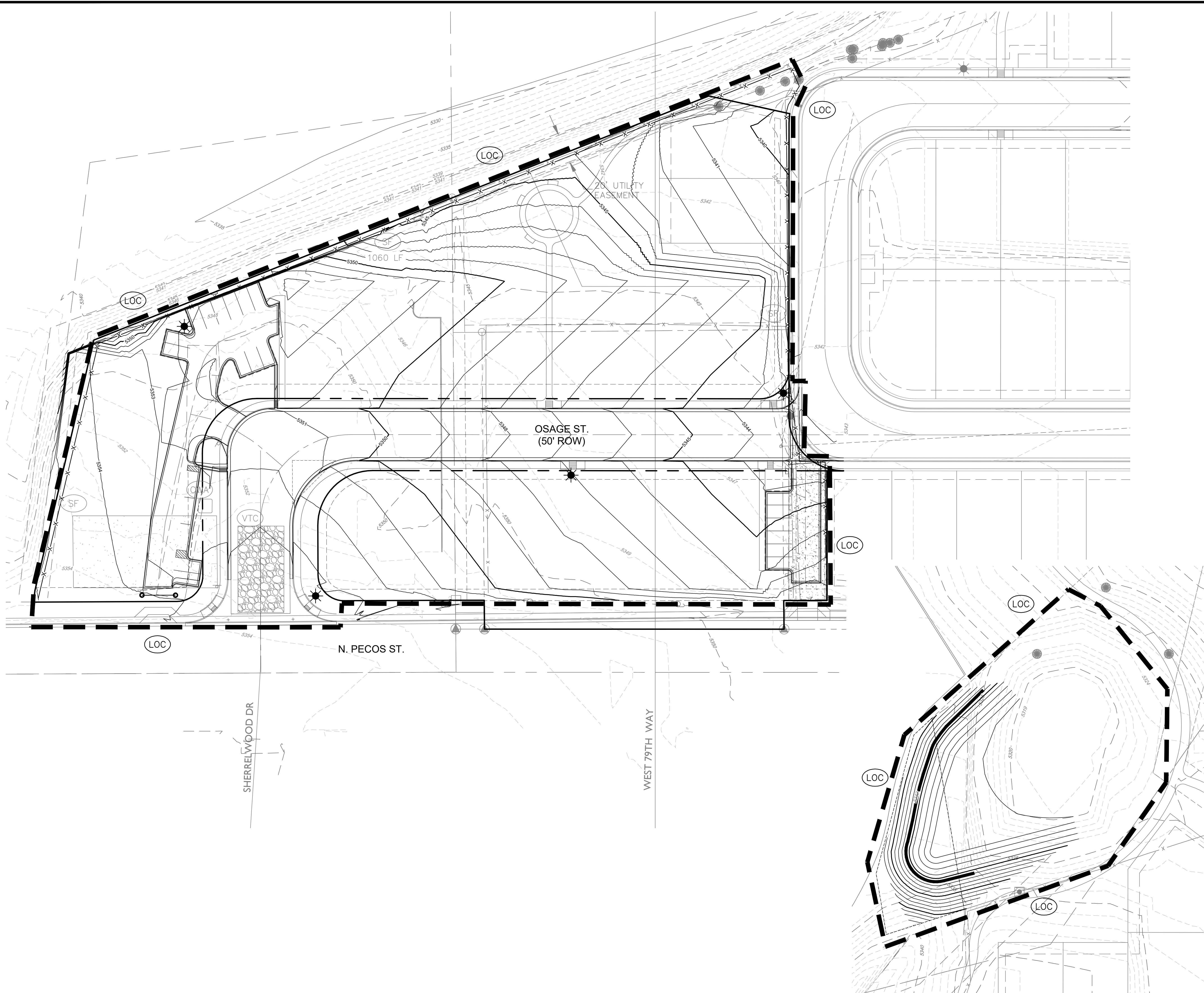
#	REVISION DESCRIPTION	DATE BY
1	DRAFT	XXXXXX

ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
CONSTRUCTION DRAWINGS
INITIAL EROSION CONTROL PLAN

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

JOB NO.
19-165
SHEET
6 OF 13

3/10/2021 10:37 AM: X:\19-165\ELMWOOD ESTATES\CIVIL\ADP\ANSIFILING\EROSION CONTROL.DWG.



MAPPING LEGEND

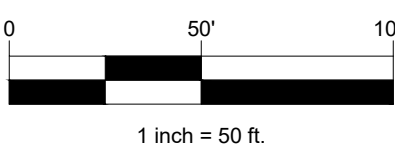
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- 5610— EXISTING MINOR CONTOUR
- 5610— PROPOSED MAJOR CONTOUR
- 5610— PROPOSED MINOR CONTOUR
- 5610— PROPERTY LINE
- DIRECTIONAL FLOW ARROW
- OVERFLOW DIRECTION

BMP LEGEND

- CD CHECK DAM
- CB COMPOST BLANKET
- CFB COMPOST FILTER BERM
- CWA CONCRETE WASHOUT AREA
- CF CONSTRUCTION FENCE
- CM CONSTRUCTION MARKER
- DW DEWATERING
- DD DIVERSION DITCH
- ECB EROSION CONTROL BLANKET
- IP INLET PROTECTION
- RCD REINFORCED CHECK DAM
- RRB REINFORCED ROCK BERM
- RRB FOR CULVERT PROTECTION
- SB SEDIMENT BASIN
- SCL SEDIMENT CONTROL LOG
- ST SEDIMENT TRAP
- SM SEEDING AND MULCHING
- SF SILT FENCE
- SSA STABILIZED STAGING AREA
- SR SURFACE ROUGHENING
- TSD TEMPORARY SLOPE DRAIN
- TSC TEMPORARY STREAM CROSSING
- TER TERRACING
- VTC VEHICLE TRACKING CONTROL
- VTC WITH WHEEL WASH
- WW ROCK AND RIPRAP GRADATIONS
- LOC LIMITS OF CONSTRUCTION

NOTES

1. ADDITIONAL BMPs AT CURBSIDE & SIDEWALKS SHALL BE INSTALLED ABOVE THE CURB ONCE PAVEMENT IS INSTALLED.
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FROM THE BEST AVAILABLE INFORMATION. TO AVOID
THE LOCATION OF ALL UTILITIES PRIOR TO THE
CONSTRUCTION OF ANY CONSTRUCTION ACTIVITIES.

#	REVISION DESCRIPTION	DATE BY
1	DRAFT	XXXXXX

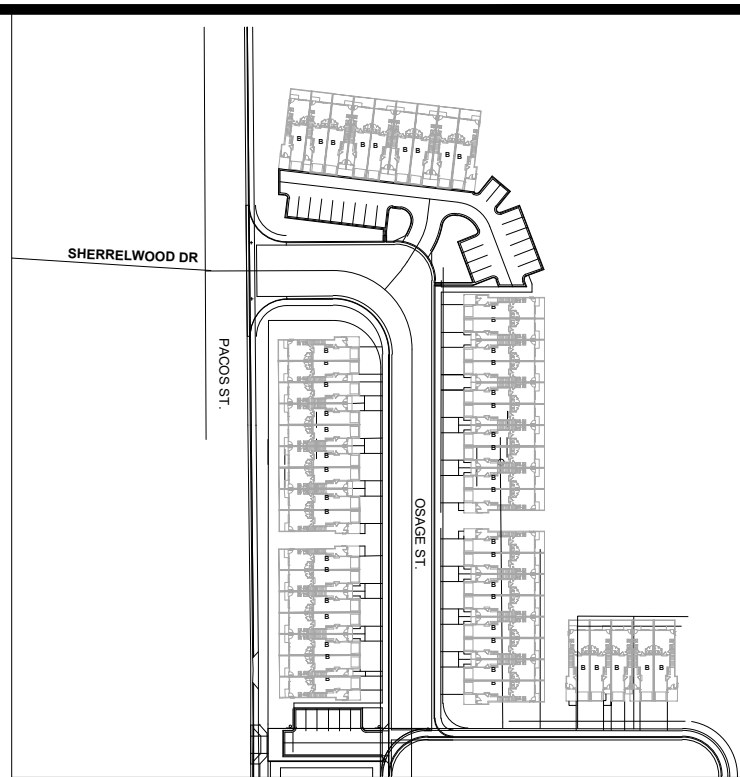
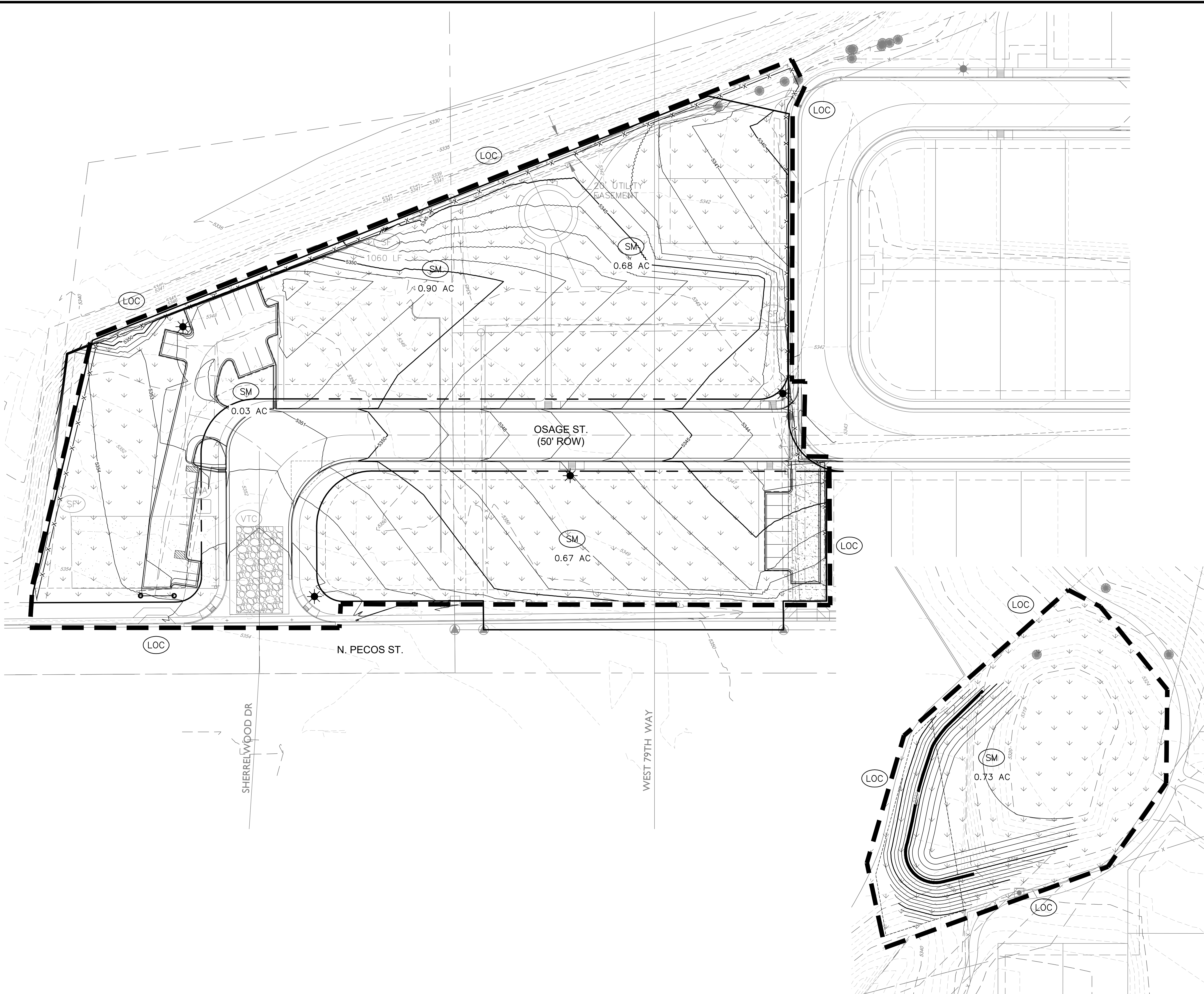
ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
CONSTRUCTION DRAWINGS
INTERIM EROSION CONTROL PLAN

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

JOB NO.
19-165

SHEET
7 OF 13

3/10/2021 10:39 AM: X:\19-165 ELMWOOD ESTATES\CIVIL\CD\PLAN\SHFLING - EROSION CONTROL.DWG.

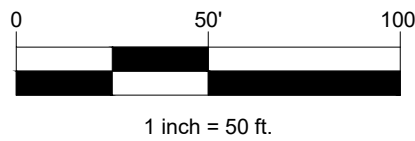


MAPPING LEGEND

- 5610— EXISTING MAJOR CONTOUR
—5610— EXISTING MINOR CONTOUR
—5610— PROPOSED MAJOR CONTOUR
—5610— PROPOSED MINOR CONTOUR
— — — — — PROPERTY LINE
→ DIRECTIONAL FLOW ARROW
→ OVERFLOW DIRECTION
- BMP LEGEND**
- CD CHECK DAM
CB COMPOST BLANKET
CFB COMPOST FILTER BERM
CWA CONCRETE WASHOUT AREA
CF CONSTRUCTION FENCE
CM CONSTRUCTION MARKER
DW DEWATERING
DD DIVERSION DITCH
ECB EROSION CONTROL BLANKET
IP INLET PROTECTION
RCD REINFORCED CHECK DAM
RRB REINFORCED ROCK BERM
RRC RRB FOR CULVERT PROTECTION
SB SEDIMENT BASIN
SCL SEDIMENT CONTROL LOG
ST SEDIMENT TRAP
SM SEEDING AND MULCHING
SF SILT FENCE
SSA STABILIZED STAGING AREA
SR SURFACE ROUGHENING
TSD TEMPORARY SLOPE DRAIN
TSC TEMPORARY STREAM CROSSING
TER TERRACING
VTC VEHICLE TRACKING CONTROL
VTC WITH WHEEL WASH
RW ROCK AND RIPRAP GRADATIONS
LOC LIMITS OF CONSTRUCTION

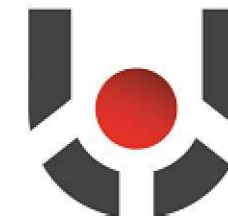
NOTES

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THE LOCATION OF ALL UTILITIES PRIOR TO THE
CONSTRUCTION OF ANY CONSTRUCTION ACTIVITIES.

#	REVISION DESCRIPTION	DATE BY
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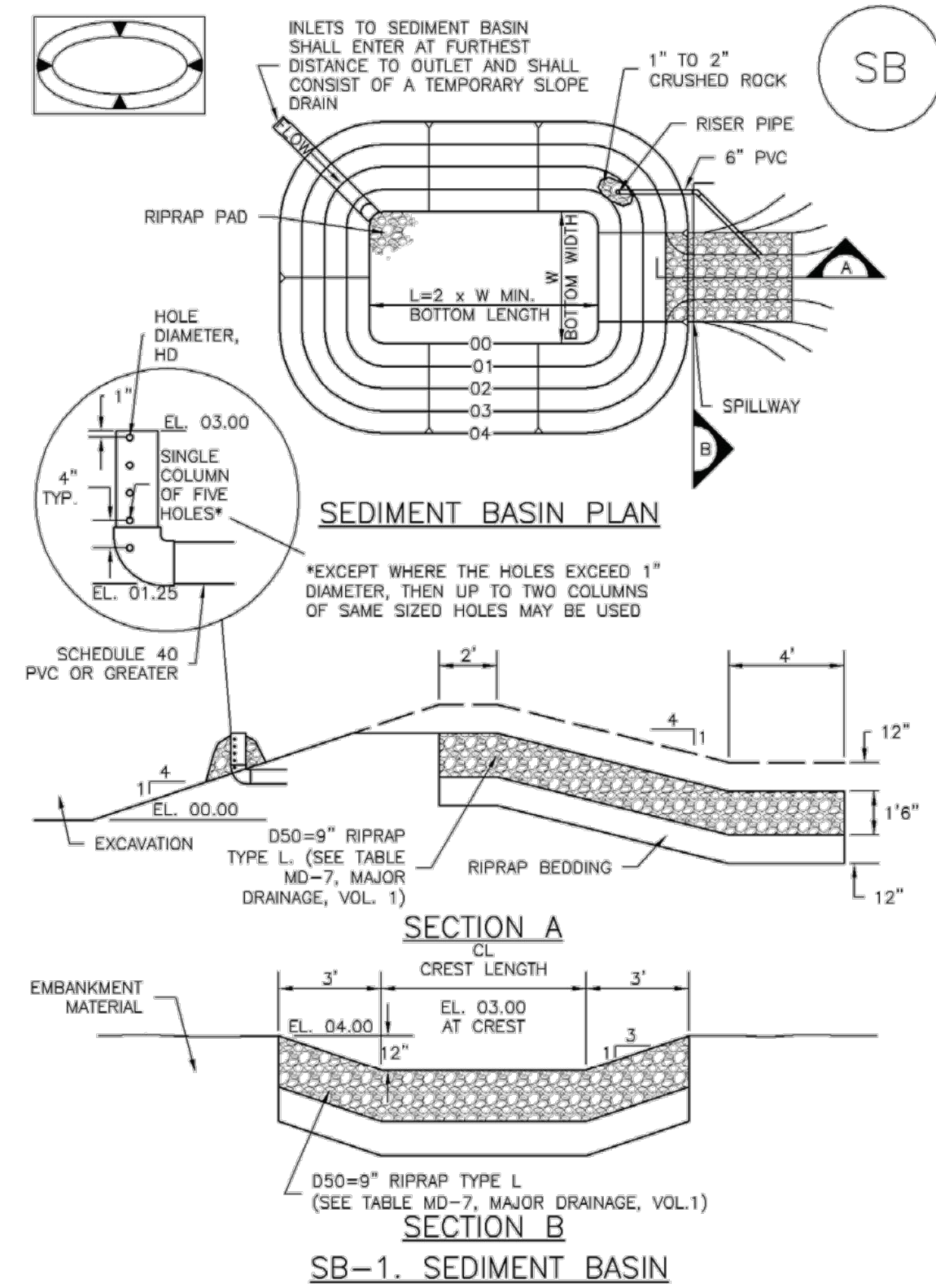
ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
CONSTRUCTION DRAWINGS
FINAL EROSION CONTROL PLAN

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

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19-165
SHEET
8 OF 13

Sediment Basin (SB)

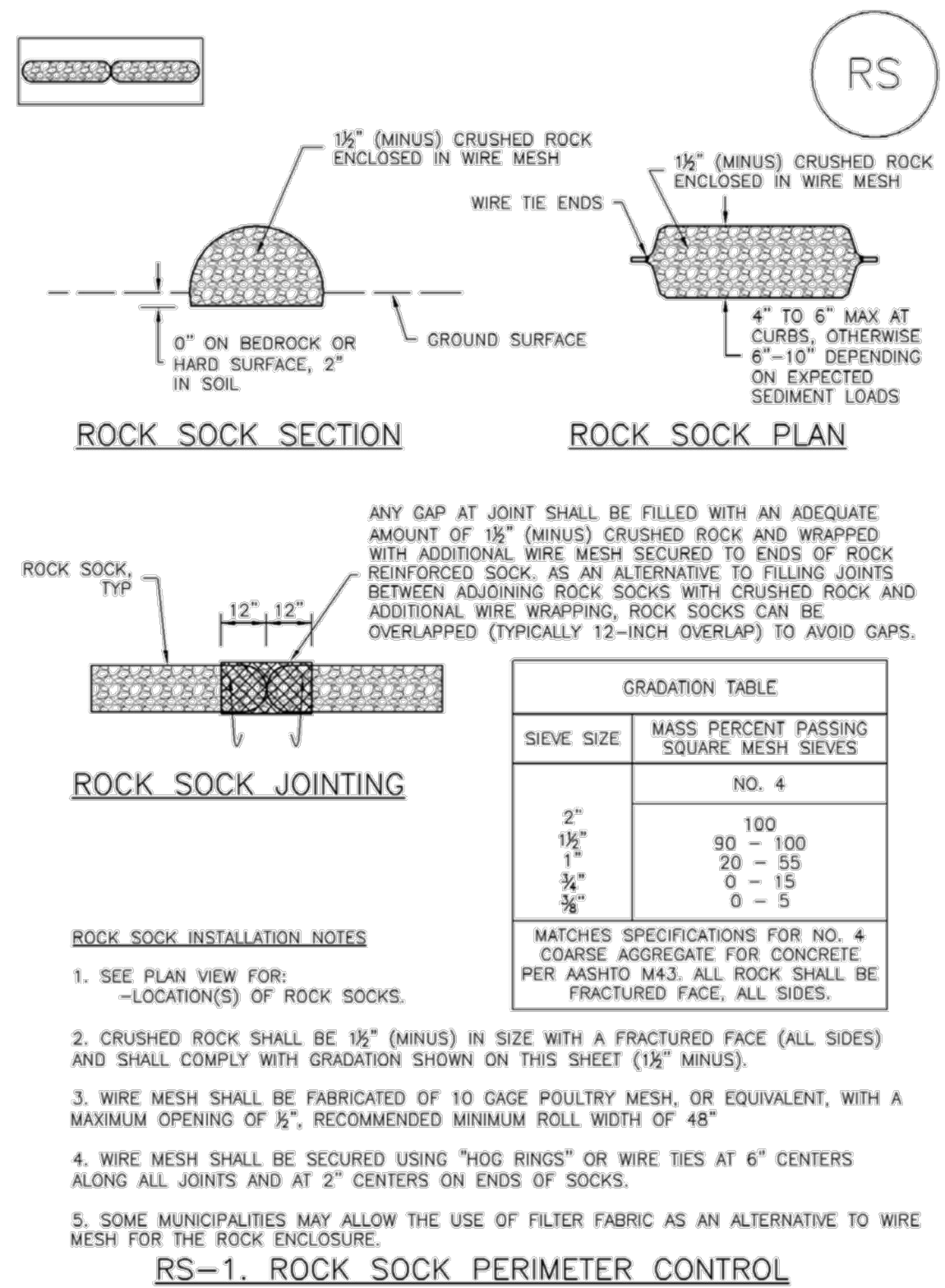
SC-7



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SB-5

SC-5

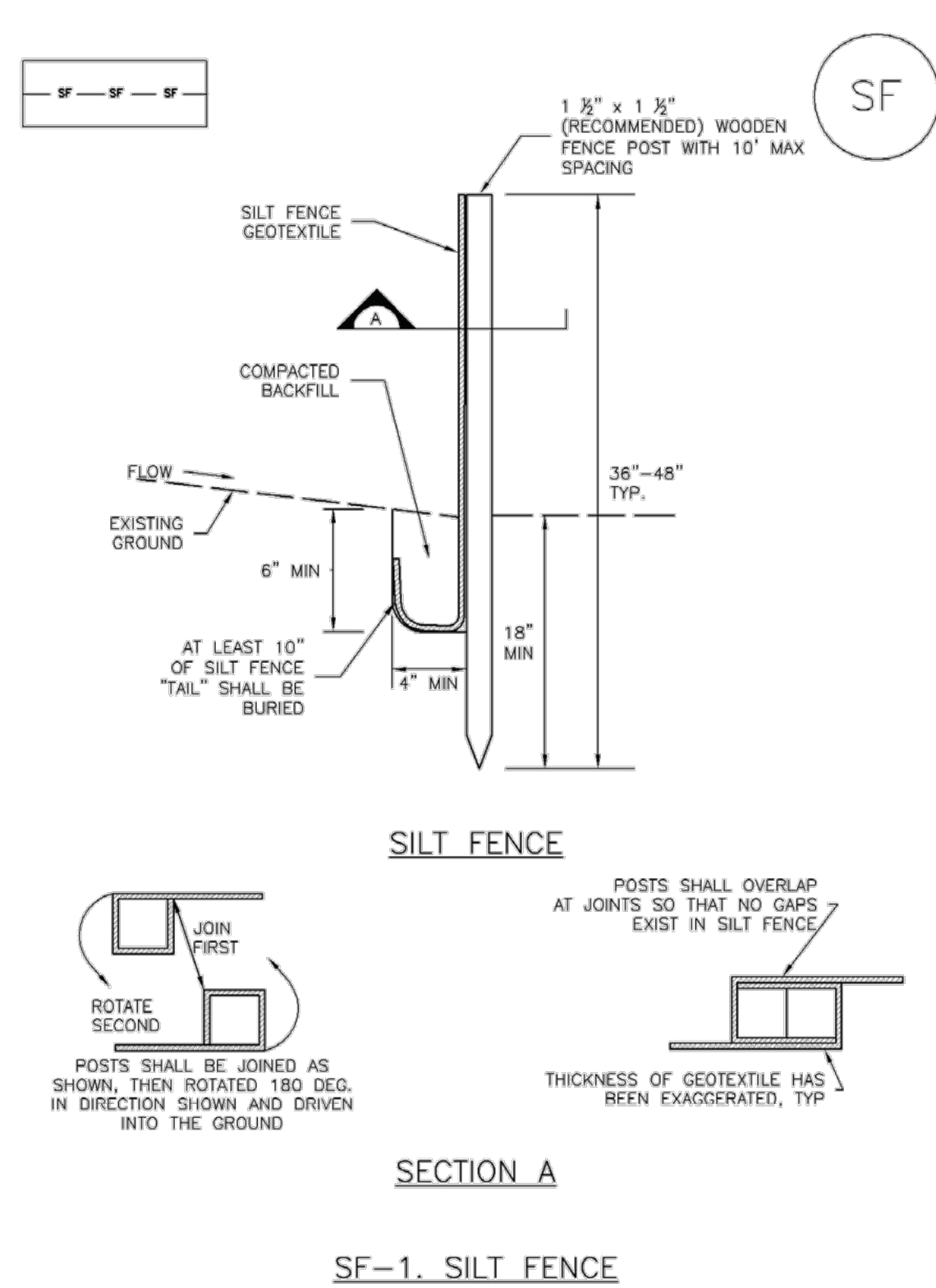
Rock Sock (RS)



RS-2 Urban Drainage and Flood Control District November 2010 Urban Storm Drainage Criteria Manual Volume 3

Silt Fence (SF)

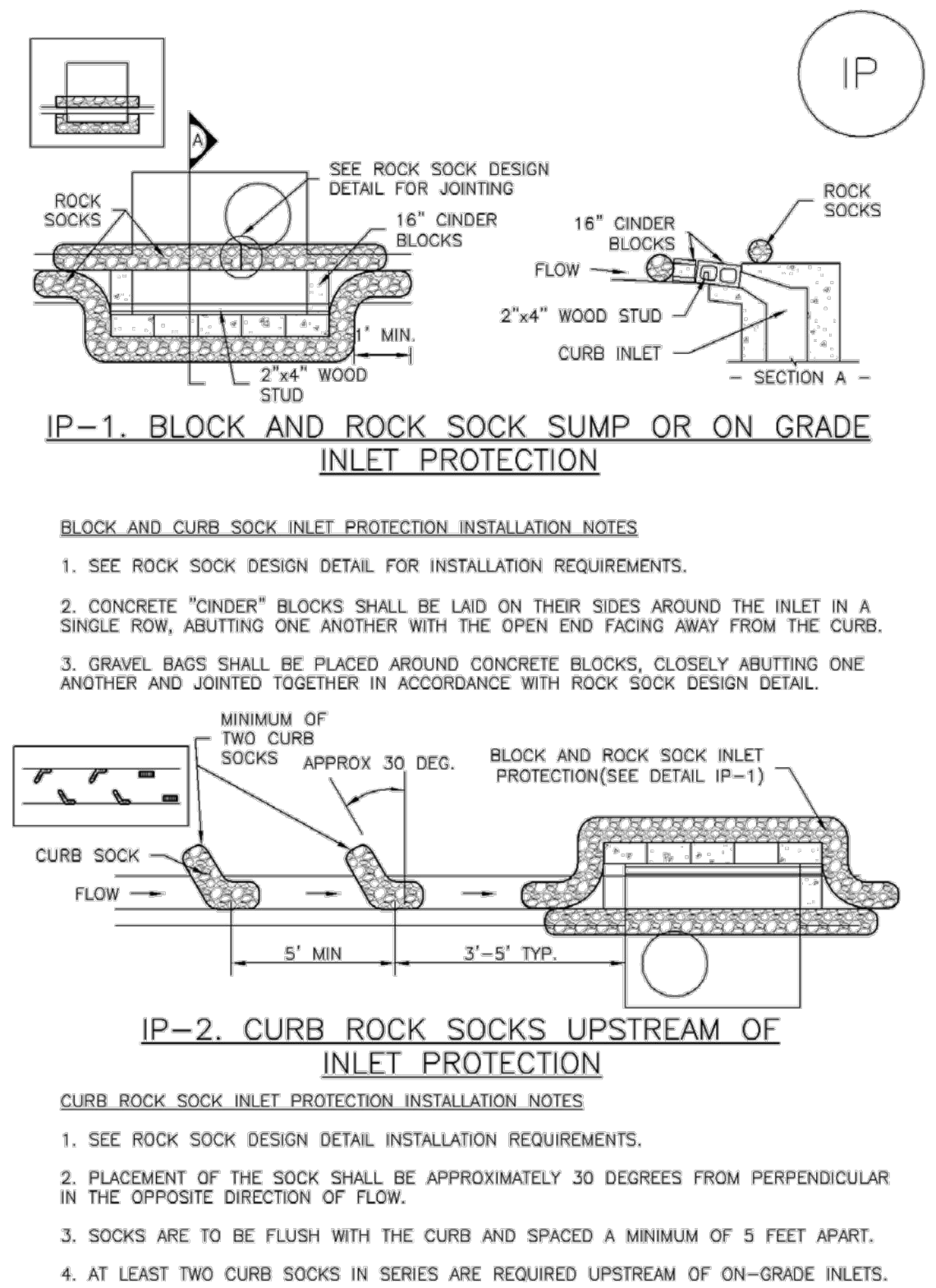
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November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SF-3

SC-6

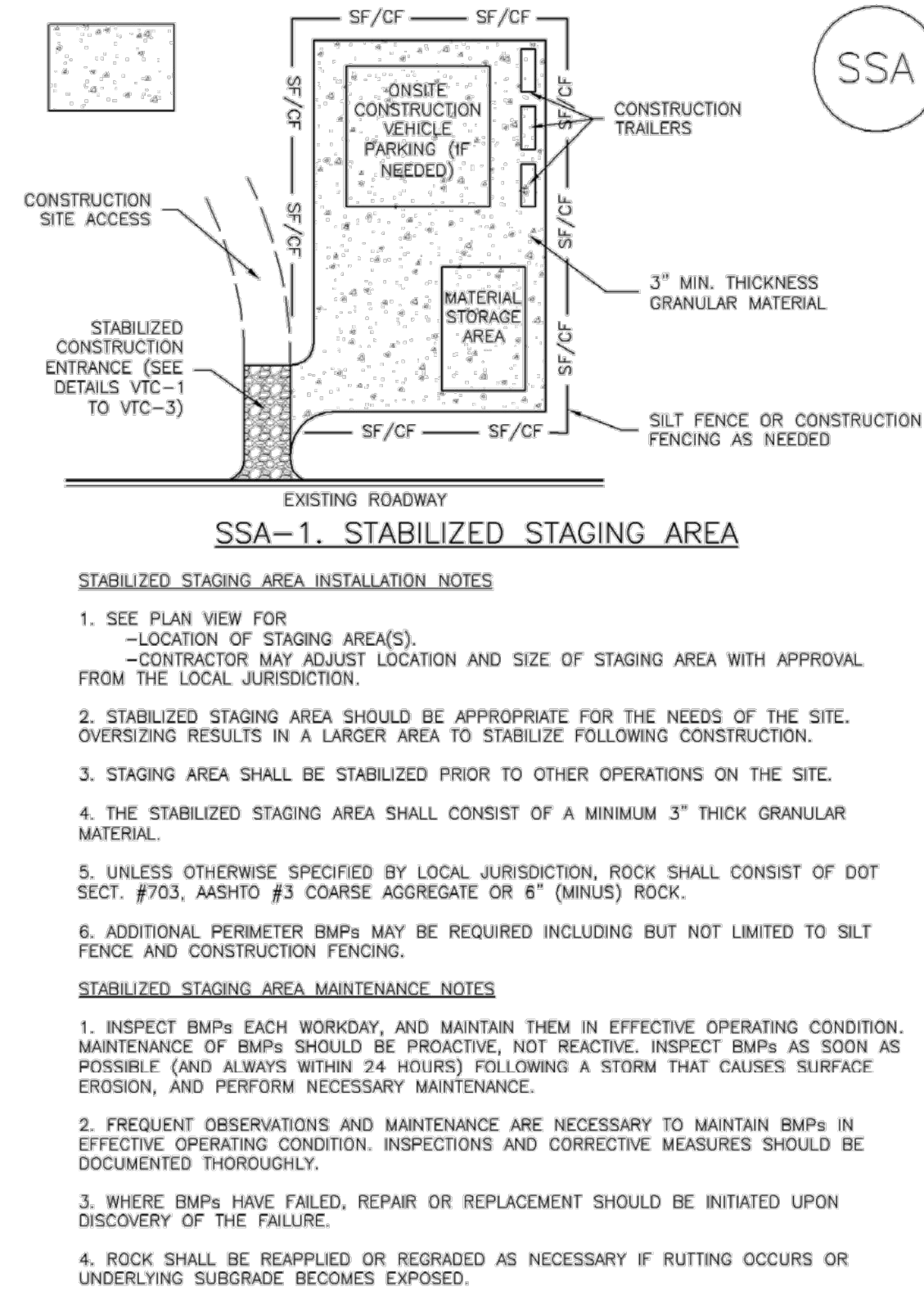
Inlet Protection (IP)



IP-4 Urban Drainage and Flood Control District November 2010 Urban Storm Drainage Criteria Manual Volume 3

Stabilized Staging Area (SSA)

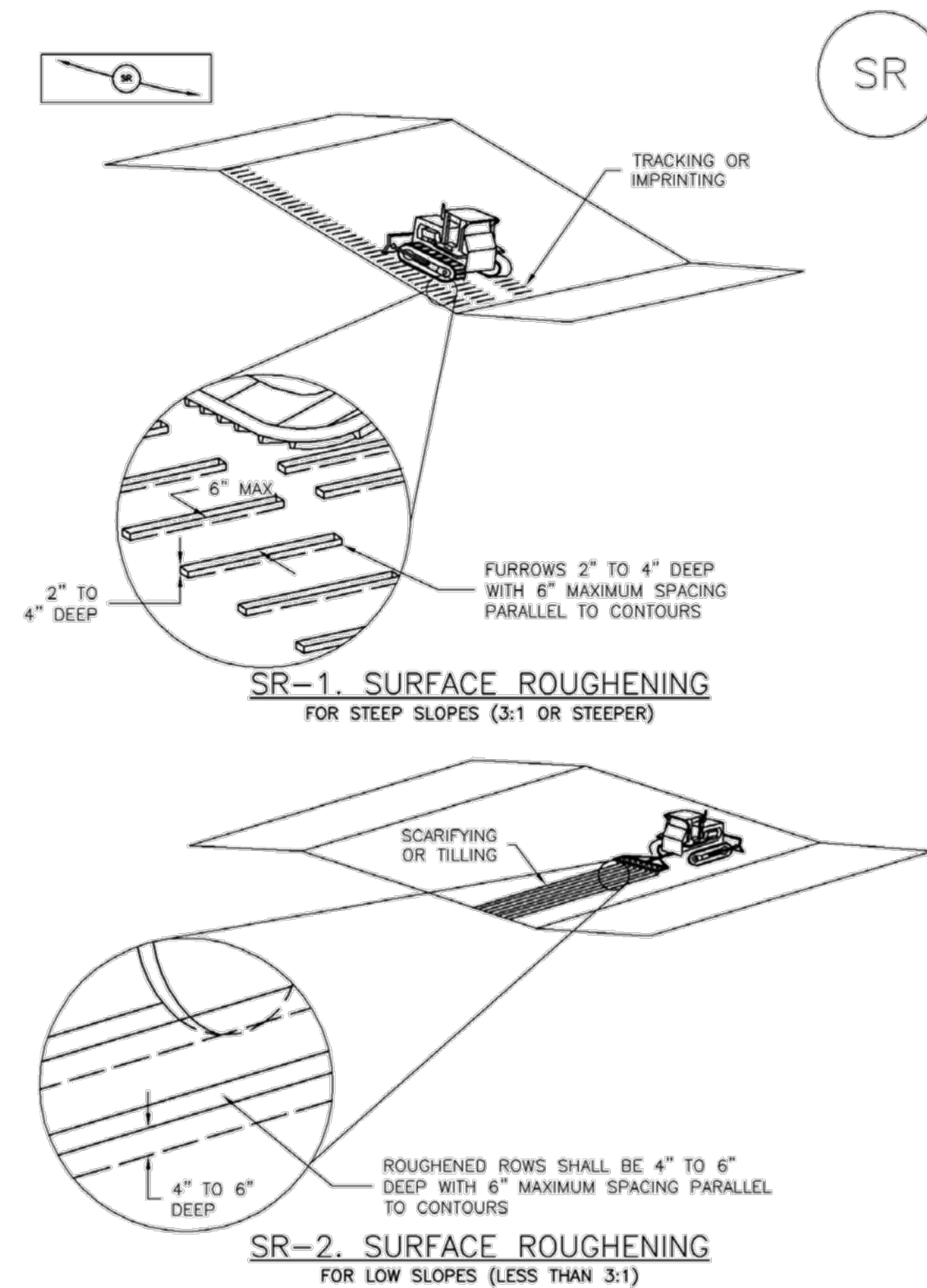
SM-6



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SSA-3

Surface Roughening (SR)

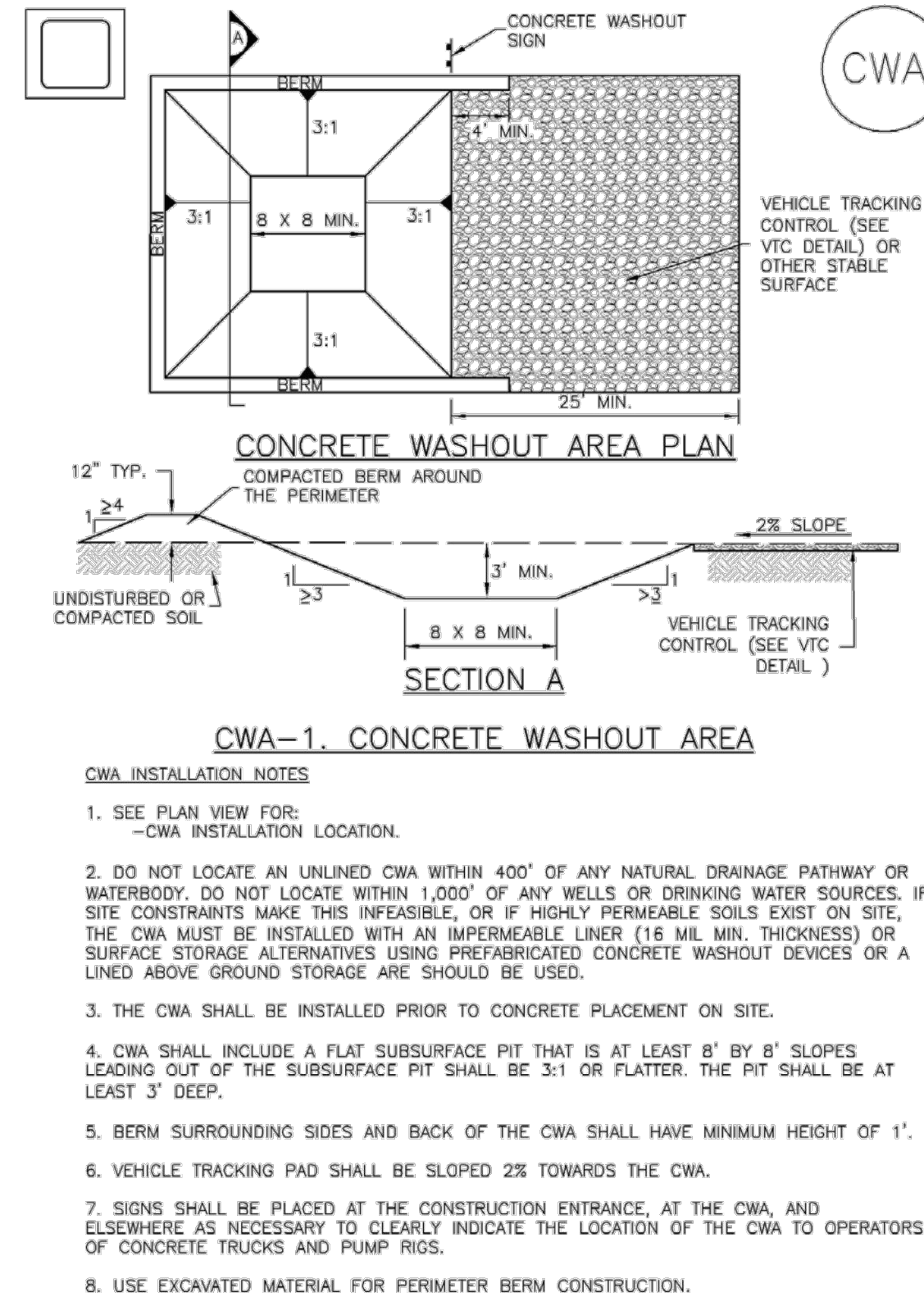
EC-1



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SR-3

Concrete Washout Area (CWA)

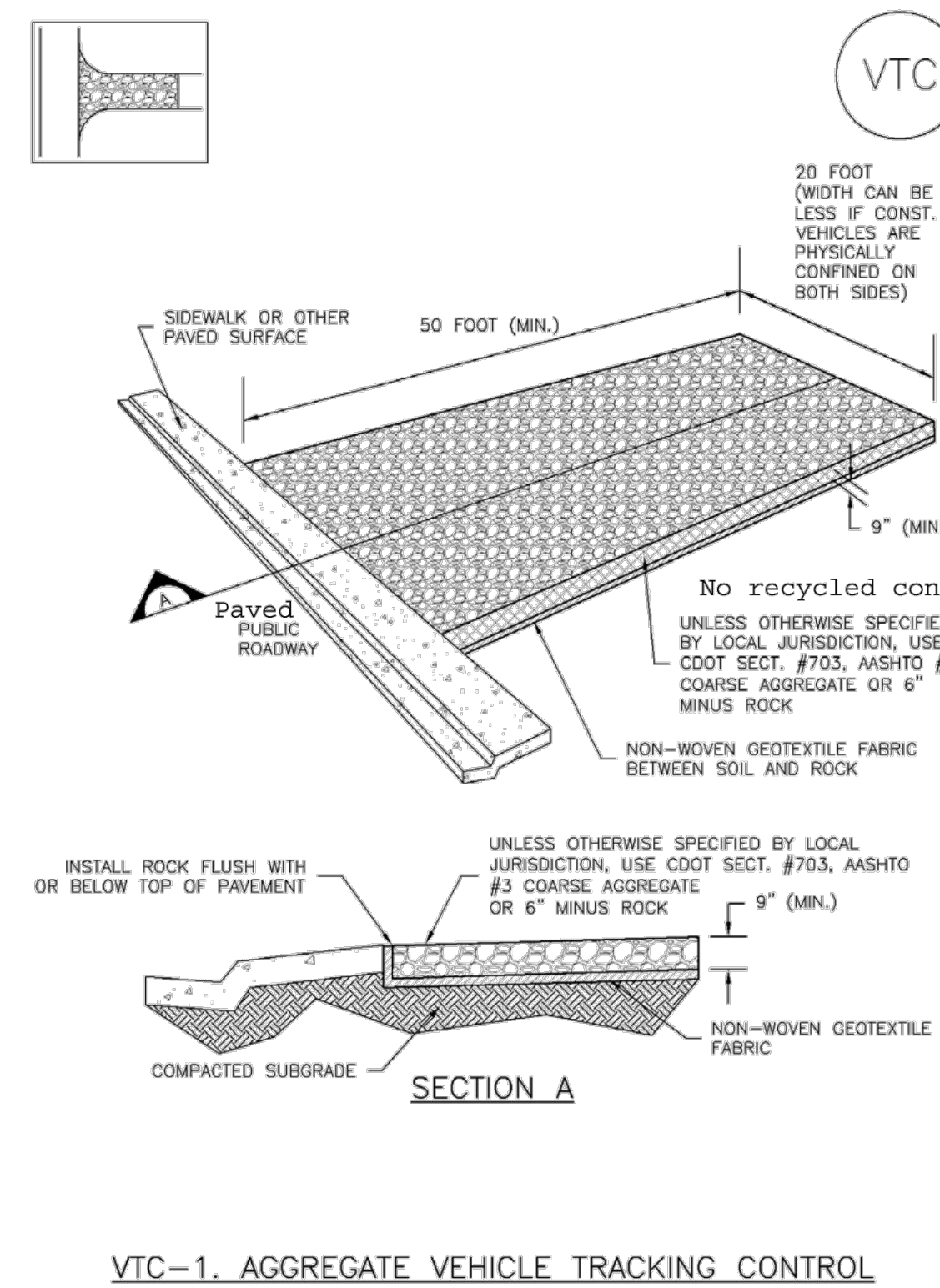
MM-1



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 CWA-3

Vehicle Tracking Control (VTC)

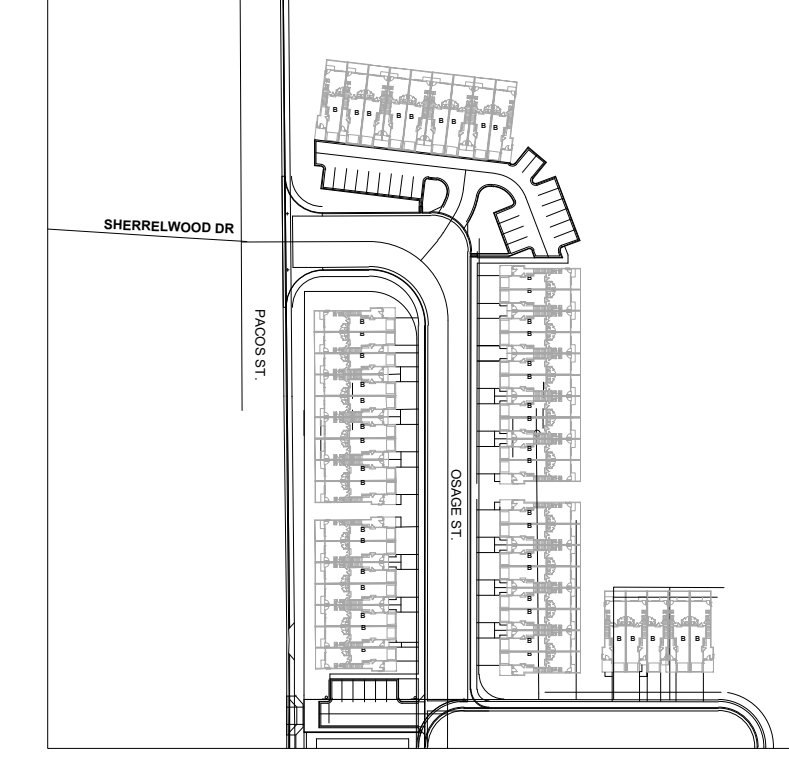
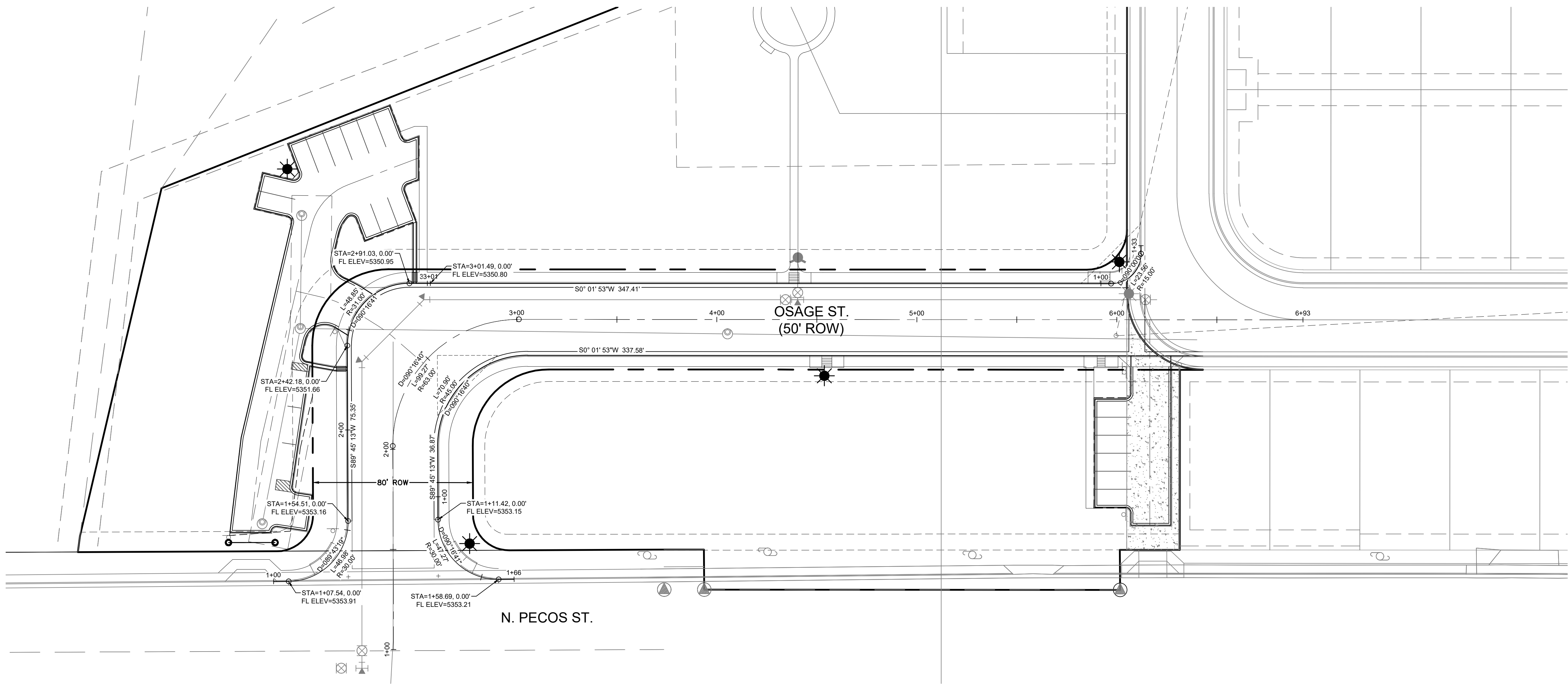
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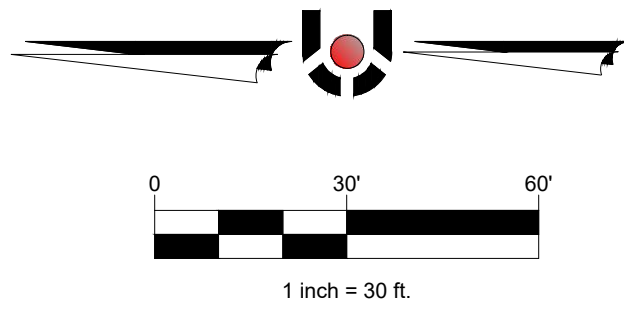
November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 VTC-3

#	REVISION DESCRIPTION	DATE	BY
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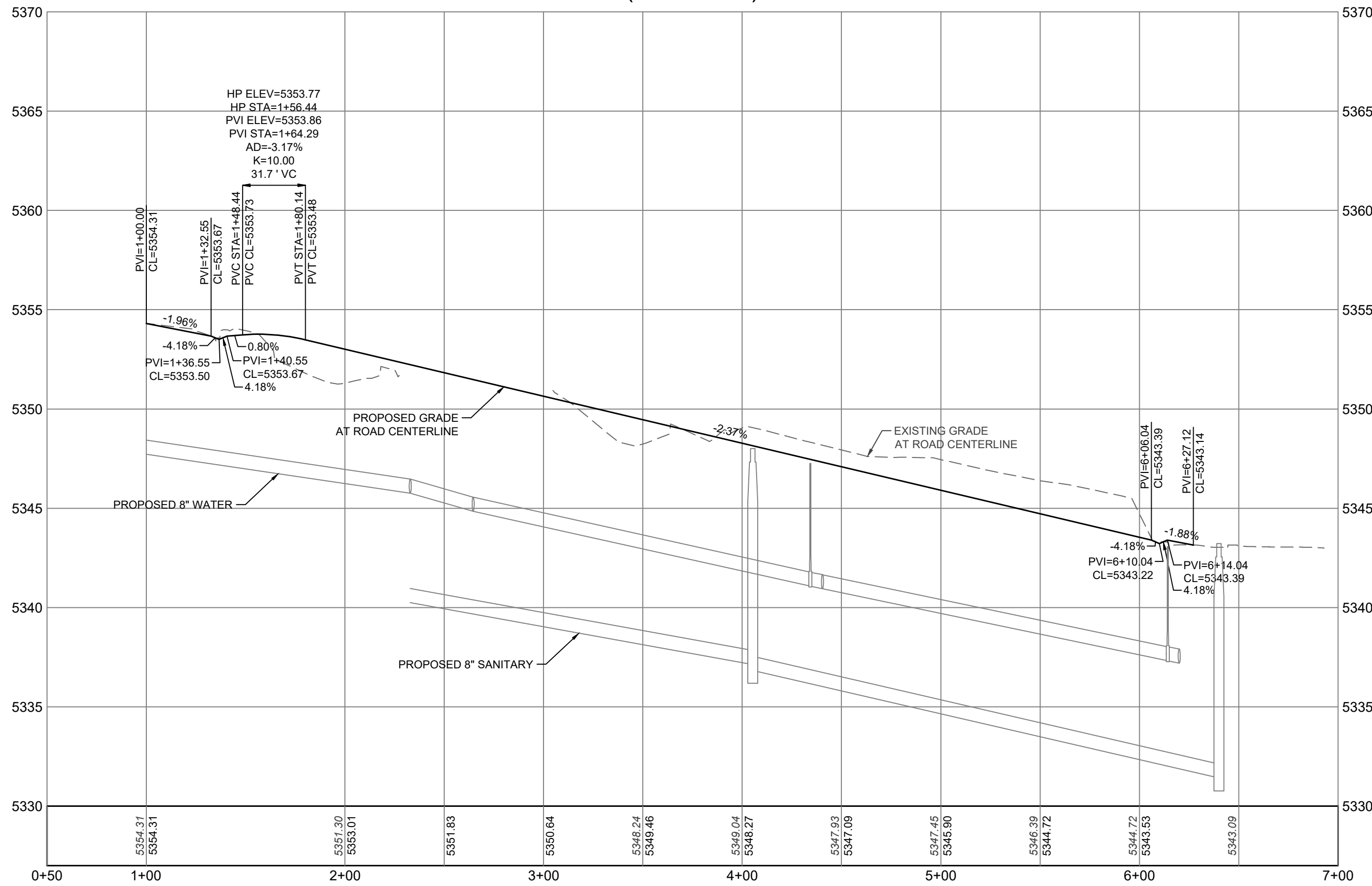


- LEGEND
- PROPERTY LINE
 - RIGHT-OF-WAY
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - FLOWLINE W/ TBC
 - PROPOSED STORM SEWER
 - PROPOSED TYPE R INLET
 - PROPOSED FES
 - PROPOSED SEWER MAIN
 - PROPOSED WATER MAIN
 - PROPOSED FIRE HYDRANT
 - PROPOSED WATER METER
 - LIGHT POLE
 - EXISTING UTILITY POLE
 - BLOCK NUMBER
 - LOT NUMBER

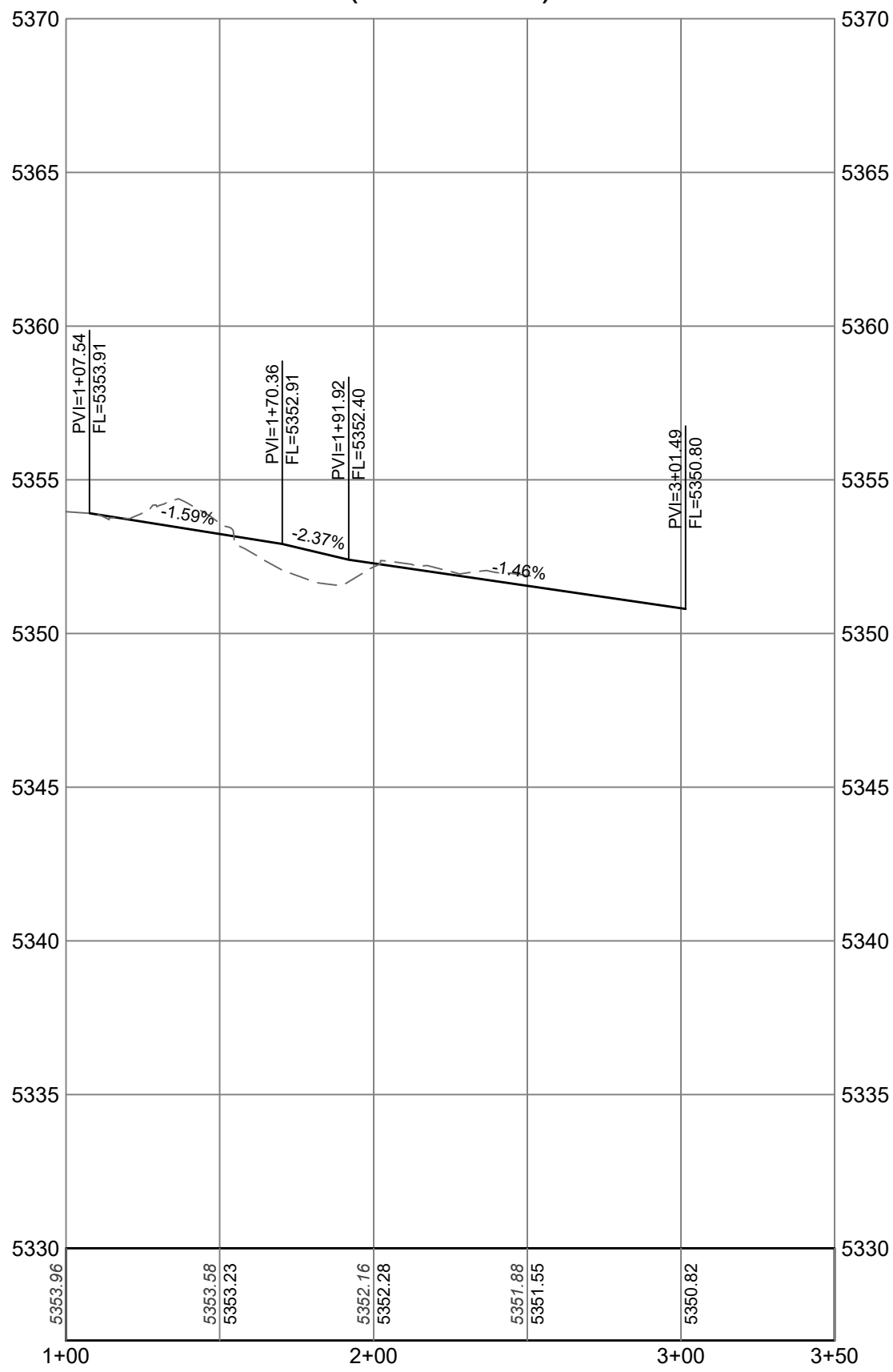


PROFILE
HORIZ: 1" = 50'
VERT: 1" = 5'

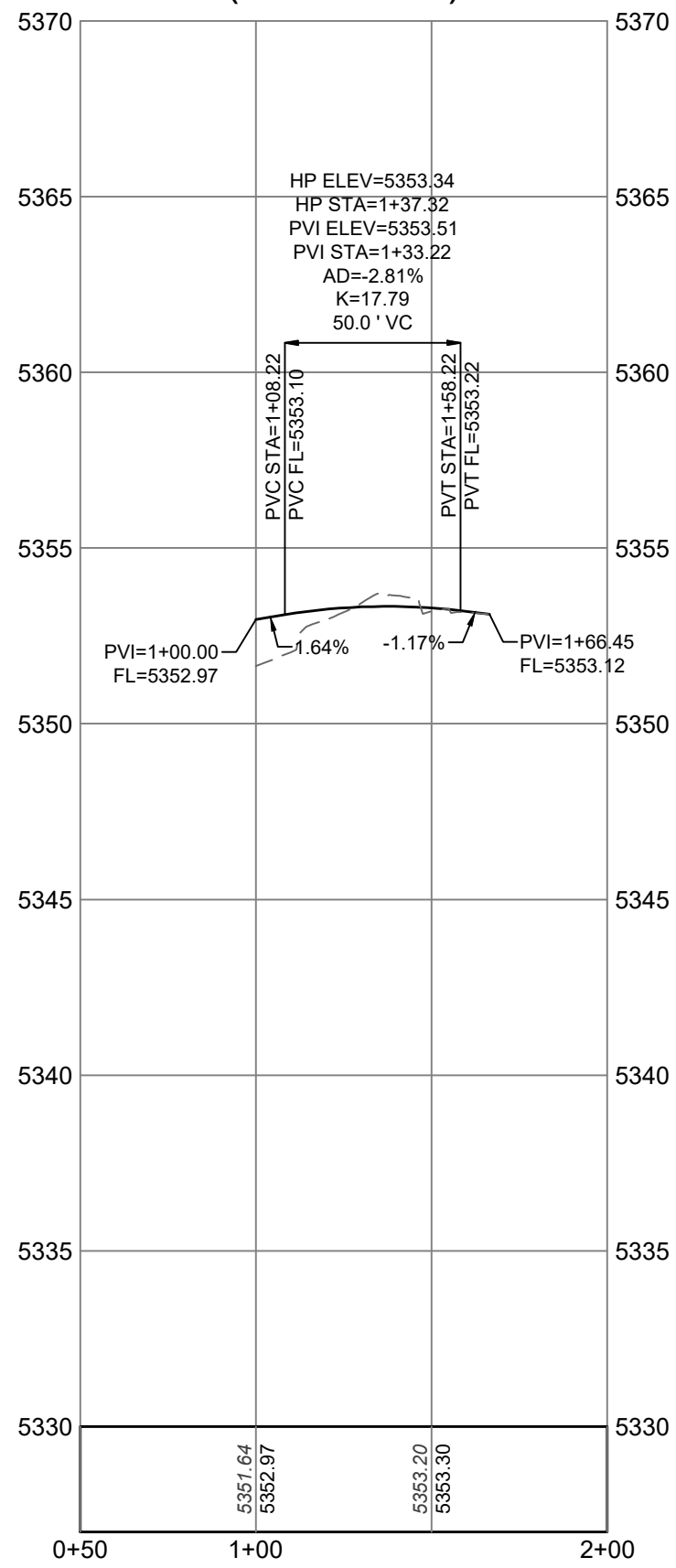
OSAGE STREET NORTH
(0+50-7+00)



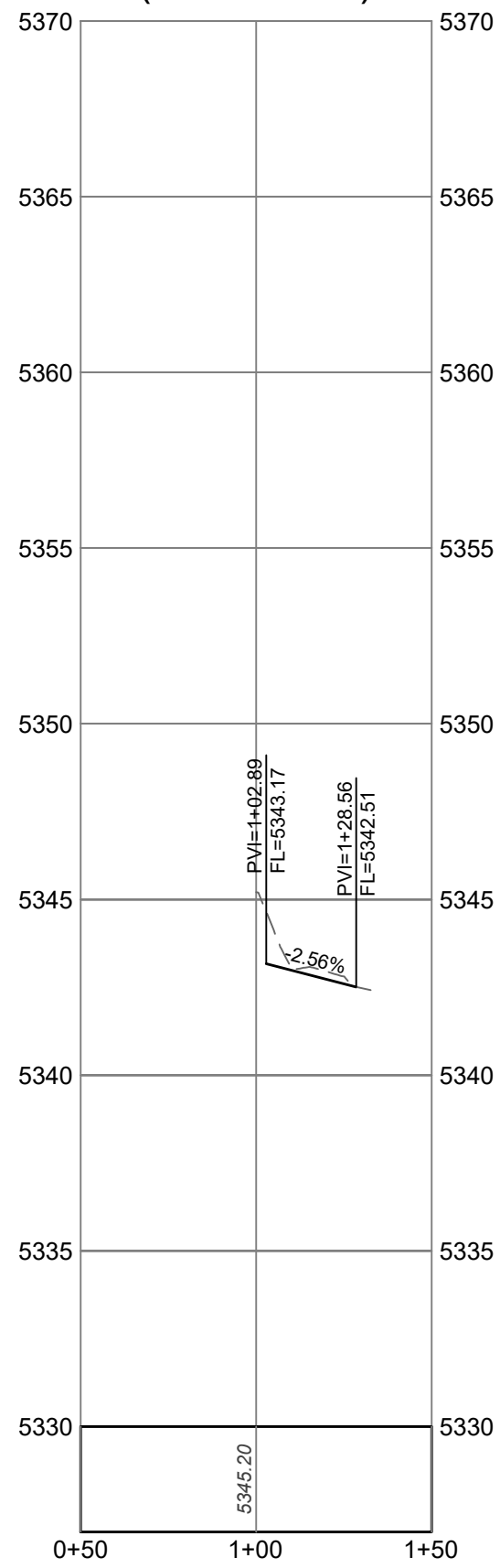
CURB RETURN 1 & KNUCKLE
(1+00-3+50)



CURB RETURN 2
(0+50-2+00)

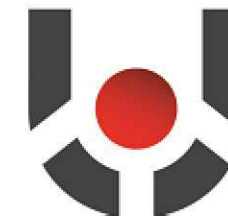


CURB RETURN 3
(0+50-1+50)



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FROM THE BEST AVAILABLE INFORMATION. TO THE EXTENT OF THE INFORMATION
PROVIDED, THE LOCATION OF ALL UTILITIES PRIOR TO THE
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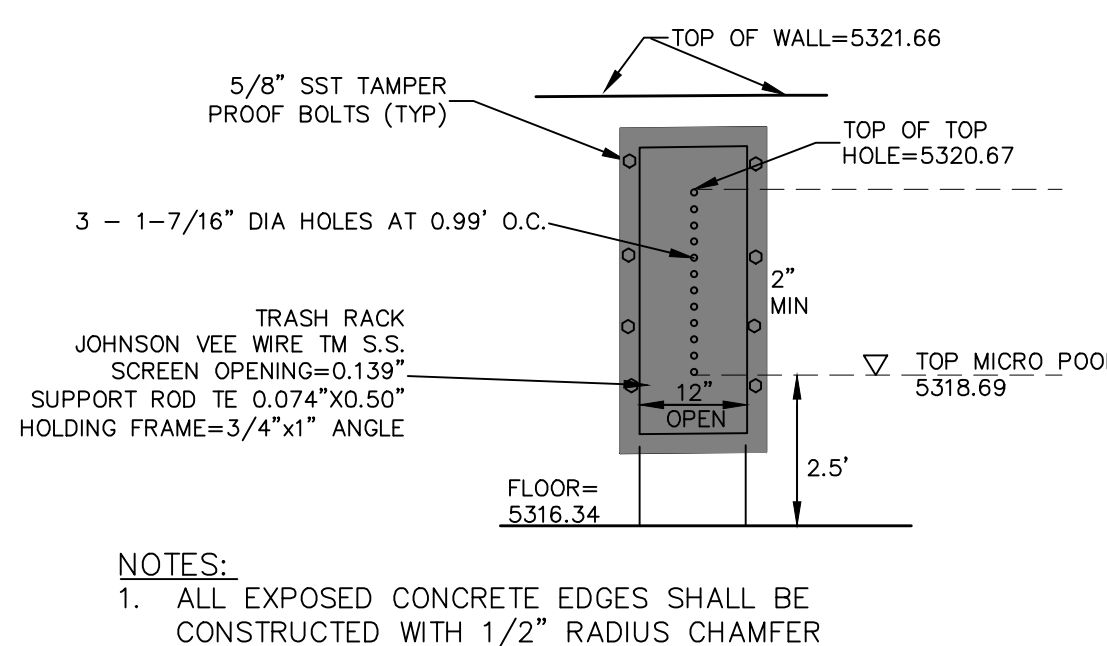
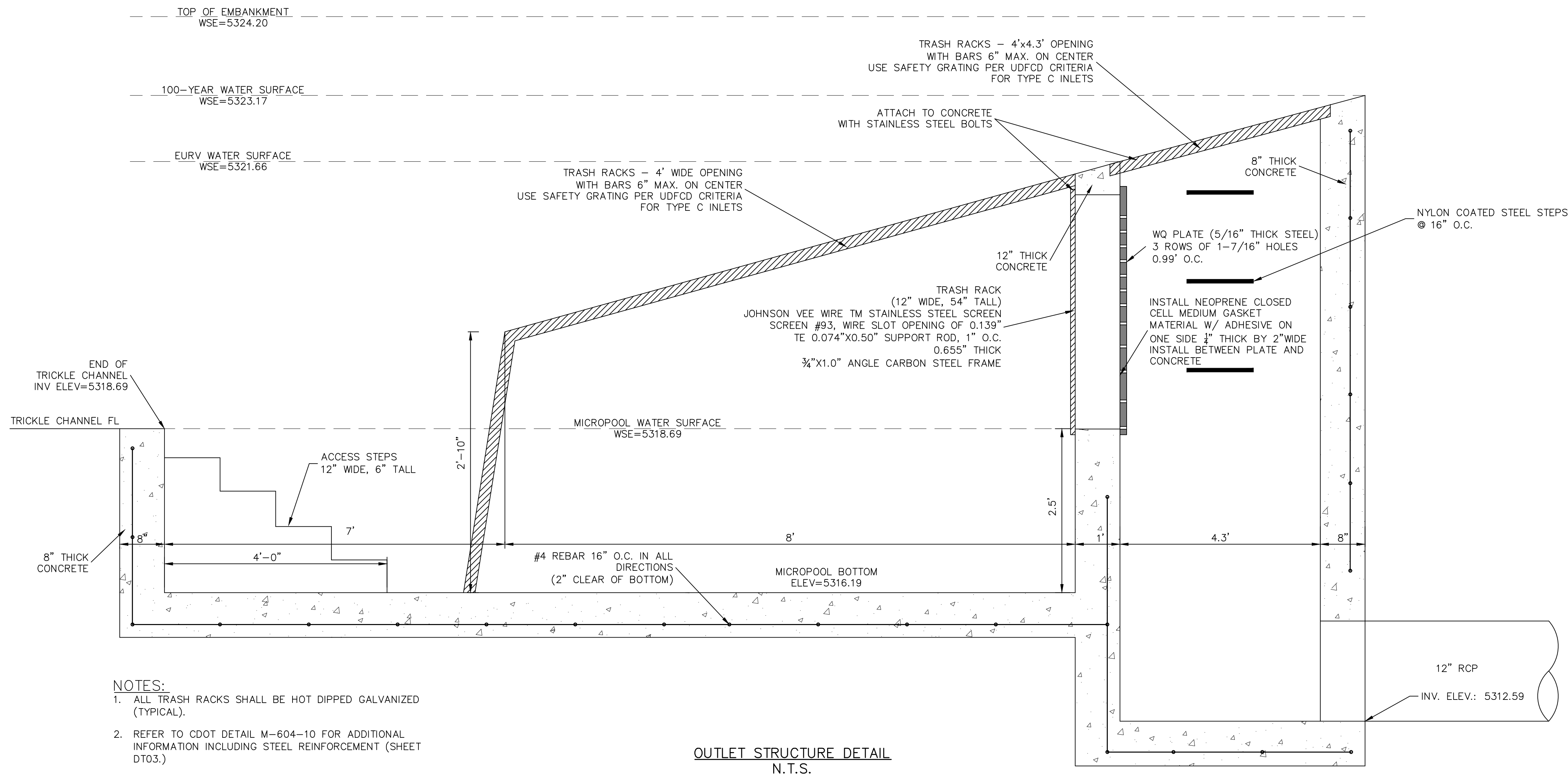
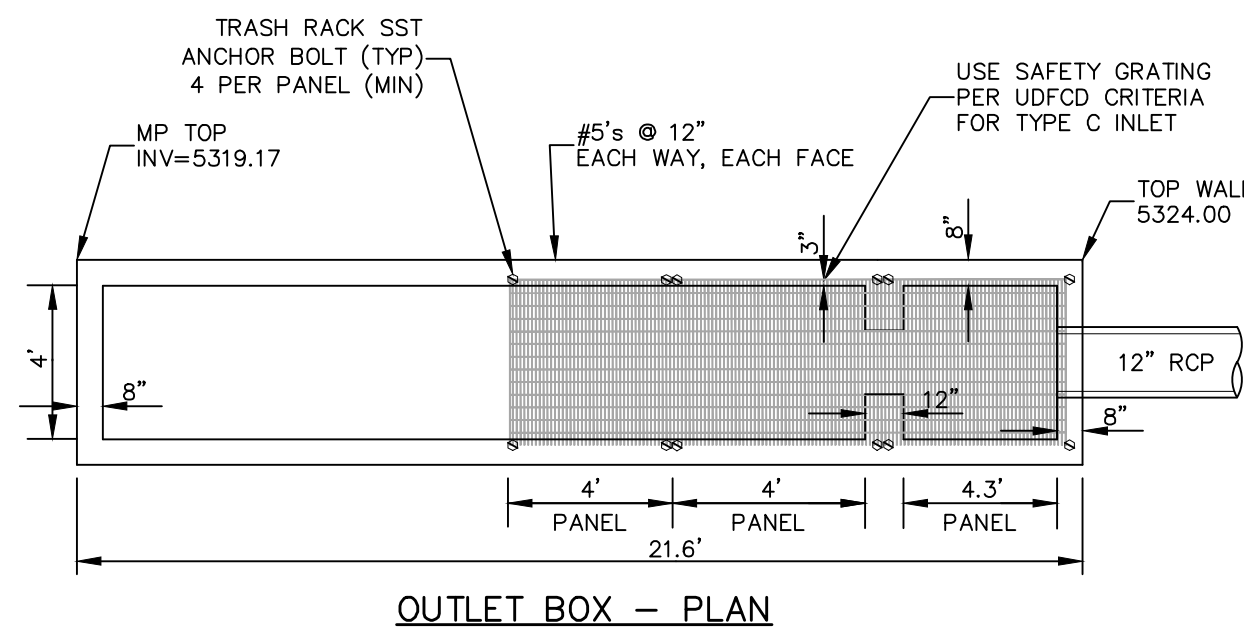
#	REVISION DESCRIPTION	DATE BY
1	DRAFT	XXXX/XX/XX

ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
CONSTRUCTION DRAWINGS
OSAGE STREET PLAN & PROFILE

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

JOB NO.
19-165
SHEET
10 OF 13

9/10/2021 1:40 PM X:\19-165 ELMWOOD ESTATES\CIVIL\DWG\ANSFELING\IPOND DETAIL.DWG



- NOTES:
1. ALL TRASH RACKS SHALL BE HOT DIPPED GALVANIZED (TYPICAL).
 2. REFER TO CDOT DETAIL M-604-10 FOR ADDITIONAL INFORMATION INCLUDING STEEL REINFORCEMENT (SHEET DT03.)

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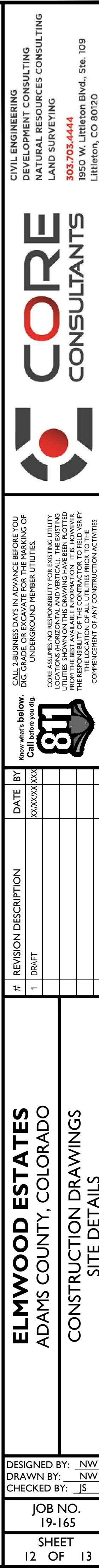
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1	DRAFT	XXXX/XX/XX

ELMWOOD ESTATES
ADAMS COUNTY, COLORADO

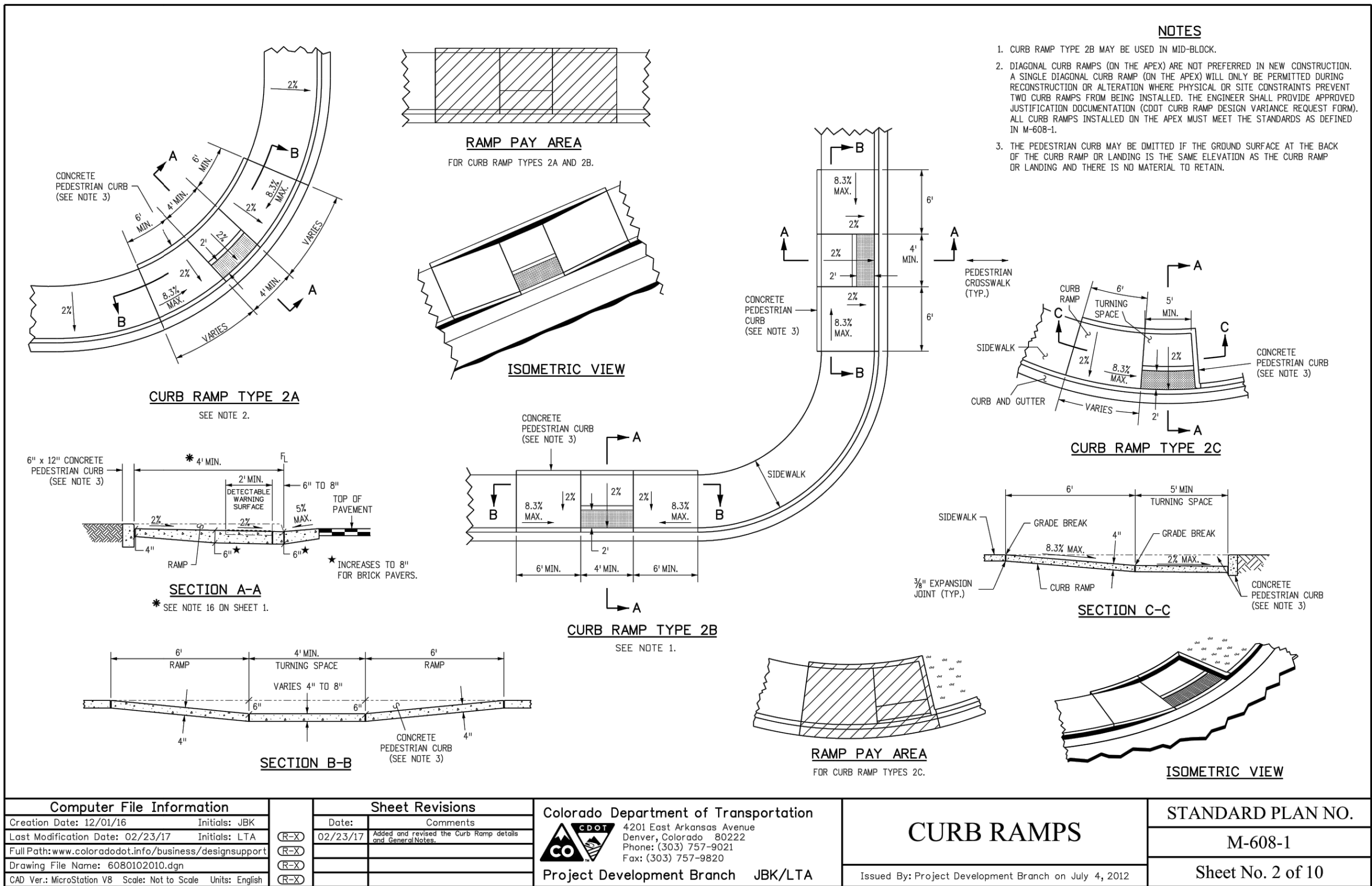
CONSTRUCTION DRAWINGS
POND DETAIL

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

JOB NO.
19-165
SHEET
11 OF 13



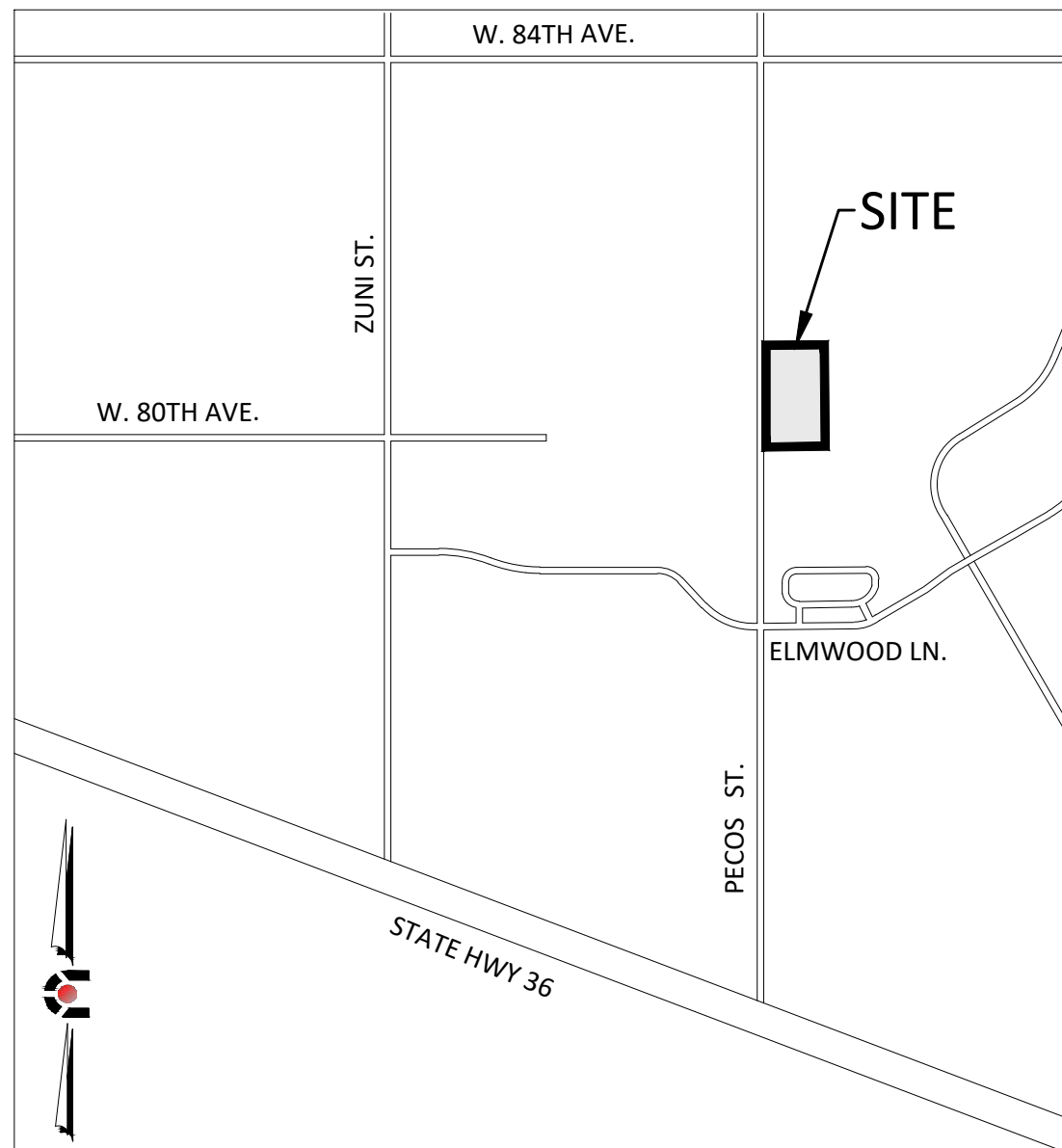
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3/10/2021 12:45 PM, X:\19-06\ELMWOOD ESTATES\CIVIL\CADD\PLANS\WATER & SANITARY\COVER.DWG,

ELMWOOD ESTATES CIVIL CONSTRUCTION PLANS

PART OF THE NORTHEAST QUARTER SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO



VICINITY MAP

NTS

OWNER
DELWEST DEVELOPMENT CORP.
155 S. MADISON ST.
DENVER, COLORADO 80209
(720) 708-4065
CONTACT: DERRELL SCHREINER

ENGINEER
CORE CONSULTANTS, INC.
1950 WEST LITTLETON BLVD., SUITE 109
LITTLETON, CO 80120
(303) 703-4444, EXT 113
CONTACT: DAVID FORBES

LANDSCAPE
TERRACINA DESIGN
10200 E. GIRARD AVENUE, SUITE A-314
DENVER, CO 80231
(303) 632-8867
CONTACT: LAYLA ROSALES

SURVEY
CORE CONSULTANTS, INC.
1950 WEST LITTLETON BLVD., SUITE 109
LITTLETON, CO 80120
(303) 703-4444, EXT 119
CONTACT: TOM GIRARD

DISTRICT MANAGER
CITY DEVELOPMENT
9500 CIVIC CENTER DRIVE
THORNTON, CO 80229
(303) 538-7295
CONTACT: TBD

CITY ENGINEER
ADAMS COUNTY
4430 S. ADAMS COUNTY PARKWAY, W2000B
BRIGHTON, CO 80601
(720) 523-6826
CONTACT: MATT EMMENS

NOTE
WORK SHALL BE CONSTRUCTED TO CITY OF THORNTON STANDARDS AND SPECIFICATIONS. THIS APPROVAL IS FOR CONFORMANCE TO THESE STANDARDS AND SPECIFICATIONS AND OTHER CITY REQUIREMENTS. THE DESIGN AND CONCEPT REMAINS THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER OR LANDSCAPE PROFESSIONAL.

NOTICE TO CONTRACTOR
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, CONDUITS OR OTHER STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY THE SEARCH OF AVAILABLE RECORDS. THE ENGINEER ASSUMES NO LIABILITY WHATSOEVER FOR THE ACCURACY OR COMPLETENESS OF SUCH DATA. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ALL UTILITY LINES, CONDUITS OR STRUCTURES WHETHER OR NOT SHOWN ON THESE PLANS AND BY ACCEPTING AND UTILIZING THESE PLANS, ASSUMES ALL RESPONSIBILITY FOR THE PROTECTION OR AND ANY DAMAGE TO SAID FACILITIES.

NOTICE
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, CORE CONSULTANTS, INC. APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

BASIS OF BEARINGS
BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE 6th P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING A 3 1/4" ALUMINUM CAP IN RANGE BOX, PLS 23519 TO THE NORTHEAST CORNER OF SAID SECTION 33 BEING A 3 1/4" ALUMINUM CAP IN RANGE BOX, PLS 7276 WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

BENCHMARK DESCRIPTION
NGS MONUMENT 547, P.I.D. "DJ8173, ADAMS COUNTY"
HAVING A PUBLISHED ELEVATION OF 5286.29 FEET. (NAVD 88)

Sheet List Table	
Sheet Number	Sheet Title
1	COVER
2	GENERAL NOTES
3	OVERALL UTILITY
4	SANITARY PLAN AND PROFILE
5	WATER PLAN AND PROFILE
6	WATER DETAILS
7	SANITARY DETAILS

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CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
811
Know what's below.
Call before you dig.

#	REVISION DESCRIPTION	DATE BY
1	DRAFT	XX/XX/XX

ELMWOOD ESTATES ADAMS COUNTY, COLORADO CONSTRUCTION DRAWINGS COVER	DESIGNED BY: NW DRAWN BY: NW CHECKED BY: JS
JOB NO. 19-165	
SHEET 1 OF 7	

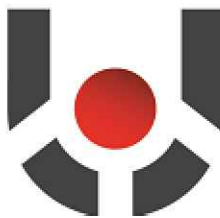
3/10/2021 12:45 PM X:\10-165 ELMWOOD ESTATES\CIVIL\CDP\ANSWATER & SANITARY COVER.DWG

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE;INCLUDING, SAFETY OF PERSONS AND PROPERTY DURING THE PERFORMANCE OF WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CITY CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON,OR NEAR THE CONSTRUCTION SITE.
2. THE TYPE, SIZE, LOCATION, AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO DATE OF CONSTRUCTION. FOR INFORMATION CONTACT: UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) –1-800-922-1987. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE CITY OF ANY DISCREPANCIES.
3. MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF THORNTON STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS AND WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY AUTHORIZED CITY OF THORNTON PERSONNEL.
4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION." THESE REGULATIONS ARE DESCRIBED IN SUBPART P, PART 1926 OF THE CODE OF FEDERAL REGULATIONS. SHEETING AND SHORING SHALL BE UTILIZED WHERE NECESSARY TO PREVENT ANY EXCESSIVE WIDENING OR SLOUGHING OF THE TRENCH WHICH MAY BE DETRIMENTAL TO HUMAN SAFETY, TO THE PIPE BEING PLACED, TO TREES, OR TO ANY EXISTING STRUCTURE WHERE EXCAVATIONS ARE MADE UNDER SEVERE WATER CONDITIONS. THE CONTRACTOR MAY BE REQUIRED TO USE AN APPROVED PILING INSTEAD OF SHEETING AND SHORING.
5. THE CONTRACTOR SHALL FURNISH THE ENGINEER THE "AS CONSTRUCTED" LOCATIONS OF FACILITIES INSTALLED AND, THIS IN TURN, SHALL BE SUBMITTED TO THE CITY OF THORNTON ON AS-BUILT MYLAR DRAWINGS AND ELECTRONIC FILES PREPARED BY THE ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING NEARBY PUBLIC STREETS OF MUD OR DEBRIS DUE TO CONSTRUCTION ACTIVITY INITIATED BY SAID CONTRACTOR ON A DAILY BASIS OR AS OTHERWISE DIRECTED BY AUTHORIZED CITY PERSONNEL.
7. PRIOR TO THE BEGINNING OF WORK, A PRECONSTRUCTION CONFERENCE SHALL BE HELD BETWEEN THE CITY, THE RESPONSIBLE PARTY WHO IS SCHEDULED TO PERFORM THE WORK, THE DESIGNATED ON-SITE FIELD REPRESENTATIVE, THE CONSULTING ENGINEER OR LANDSCAPE PROFESSIONAL, AND ANY OTHER ENTITIES INVOLVED IN THE CONSTRUCTION.
8. DEVELOPMENT PHASING OF ANY PROJECT MUST BE SHOWN ON THE CONSTRUCTION PLANS AND MADE A PART OF THE APPLICATION PROCEDURE. NO PHASING SHALL BE PERMITTED UNLESS THIS REQUIREMENT HAS BEEN ADHERED TO.
9. NO WORK SHALL BEGIN UNTIL THE INSTALLING RESPONSIBLE PARTY IS IN POSSESSION OF AN APPROVED SET OF PLANS AND THE CITY OF THORNTON STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS, AND ALL NECESSARY PERMITS FOR THE IMPROVEMENTS HAS BEEN ISSUED BY THE CITY. DEVELOPMENT ENGINEERING'S APPROVAL SHALL BE FOR GENERAL CONFORMITY TO THE UTILITY SPECIFICATIONS AND SHALL NOT CONSTITUTE BLANKET APPROVAL OF ALL DIMENSIONS, QUANTITIES AND DETAILS OF THE MATERIAL OR EQUIPMENT SHOWN. NOR SHALL SUCH APPROVAL RELIEVE THE RESPONSIBLE PARTY, CONSULTING ENGINEER, OR LANDSCAPE ARCHITECT OF THEIR RESPONSIBILITY FOR ERRORS CONTAINED IN THE DRAWINGS. A COPY OF THE APPROVED PLANS AND ALL PERMITS SHALL BE ONSITE AT ALL TIMES.
10. THE RESPONSIBLE PARTY SHALL FURNISH REASONABLE AID AND ASSISTANCE REQUIRED BY DEVELOPMENT ENGINEERING FOR THE PROPER EXAMINATION OF THE MATERIALS AND WORK. WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACCEPTED WORKMANSHIP PRACTICES AND THE CITY OF THORNTON STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS. ANY WORK NOT ACCEPTED BY DEVELOPMENT ENGINEERING SHALL BE REDONE UNTIL COMPLIANCE WITH THESE STANDARDS IS ACHIEVED. INSTRUCTIONS GIVEN BY DEVELOPMENT ENGINEERING RELATING TO QUALITY OF MATERIALS AND WORKMANSHIP MUST BE OBEYED AT ONCE BY THE RESPONSIBLE PARTY. DEVELOPMENT ENGINEERING SHALL NOT SUPERVISE SET OUT WORK, OR GIVE LINE AND GRADE STAKES.
11. THE MATERIALS USED IN PROJECTS SHALL BE NEW AND SUBJECT TO THE INSPECTION AND APPROVAL OF THE INSPECTOR AT ALL TIMES. THE INSPECTOR HAS THE RIGHT TO PERFORM ANY TESTING DEEMED NECESSARY TO ENSURE COMPLIANCE OF THE MATERIAL WITH THESE STANDARDS. NO MATERIAL SHALL BE USED BEFORE BEING INSPECTED AND APPROVED BY THE INSPECTOR. FAILURE OR NEGLECT ON THE PART OF THE INSPECTOR TO CONDEMN OR REJECT INFERIOR MATERIALS OR WORK SHALL NOT BE CONSTRUED TO IMPLY THEIR ACCEPTANCE SHOULD THEIR INFERIORITY BECOME EVIDENT AT ANY TIME PRIOR TO FINAL ACCEPTANCE OF THE WORK. INSPECTORS HAVE THE AUTHORITY TO REJECT DEFECTIVE OR INFERIOR MATERIALS AND/OR DEFECTIVE WORKMANSHIP AND TO SUSPEND WORK UNTIL SUCH TIME AS THE RESPONSIBLE PARTY SHALL CORRECT THE DISCREPANCIES IN QUESTION.
12. WHENEVER DEFECTIVE MATERIALS AND WORK ARE REJECTED, THE RESPONSIBLE PARTY SHALL PROMPTLY REMOVE SUCH DEFECTIVE MATERIALS AND CONSTRUCTION FROM THE JOB SITE AND REPLACE ALL DEFECTIVE PORTIONS TO THE SATISFACTION OF DEVELOPMENT ENGINEERING. IN THE EVENT THE RESPONSIBLE PARTY FAILS TO REMOVE REJECTED ITEMS FROM THE JOB SITE WITHIN A REASONABLE LENGTH OF TIME, DEVELOPMENT ENGINEERING MAY ARRANGE FOR SUCH REMOVAL AT THE EXPENSE OF THE RESPONSIBLE PARTY.
13. INSPECTION SHALL NOT RELIEVE THE RESPONSIBLE PARTY FROM ANY OBLIGATION TO PERFORM THE WORK STRICTLY IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS OR ANY MODIFICATIONS THEREOF. WORK NOT SO CONSTRUCTED SHALL BE REMOVED AND CORRECTED BY THE RESPONSIBLE PARTY AT HIS SOLE EXPENSE, WHENEVER SO ORDERED BY DEVELOPMENT ENGINEERING, WITHOUT REFERENCE TO ANY PREVIOUS ERROR OR OVERSIGHT IN INSPECTION.
14. EXCEPT IN CASES OF EMERGENCY, MAINTENANCE, OR PROTECTION OF WORK ALREADY COMPLETED, NO WORK SHALL BE ALLOWED BETWEEN THE HOURS OF 7 P.M. AND 7 A.M.; NOR ON SATURDAY, SUNDAY, OR LEGAL HOLIDAYS UNLESS APPROVED BY DEVELOPMENT ENGINEERING IN EACH CASE. WHEN ANY INSPECTOR IS REQUIRED TO WORK OUTSIDE THE HOURS OF 7 A.M. TO 4 P.M. ON REGULAR CITY BUSINESS DAYS, OVERTIME SHALL BE CHARGED TO THE RESPONSIBLE PARTY. HOWEVER, SUCH INSPECTORS SHALL REMAIN EMPLOYEES OF THE CITY FOR ALL PURPOSES. REQUESTS FOR OVERTIME SHALL BE MADE TO DEVELOPMENT ENGINEERING AT LEAST 48 HOURS IN ADVANCE. PAYMENT FOR SUCH OVERTIME WORK SHALL BE MADE TO THE CITY PRIOR TO FINAL ACCEPTANCE.
15. IN THE EVENT ONE OR MORE INSPECTORS REPRESENTING PRIVATE CONSULTING ENGINEERING FIRMS ARE ALSO INSPECTING A PROJECT ALONG WITH DEVELOPMENT ENGINEERING, THE INSTRUCTIONS GIVEN BY DEVELOPMENT ENGINEERING SHALL PREVAIL IN THE EVENT OF CONFLICTING INSTRUCTIONS.
16. THE WORK SHALL BE SURVEYED AND STAKED UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR IN ACCORDANCE WITH THE APPROVED PLANS.
17. IF IRRIGATION DITCHES ARE INVOLVED, AN APPROVAL BLOCK FOR THE DITCH COMPANY SHALL BE PROVIDED.
18. IF A FOUNDATION UNDERDRAIN SYSTEM IS INSTALLED IN THE PUBLIC RIGHT-OF-WAY, THE FOLLOWING STATEMENT SHALL BE INCLUDED IN THE AS-BUILT DRAWINGS: "THE FOUNDATION UNDERDRAIN SYSTEM IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER OR ITS ASSIGNS. THE CITY IS NOT RESPONSIBLE FOR THE MAINTENANCE OR REPAIR OF SAID SYSTEM."
19. CONSTRUCTION SHALL ADHERE TO THE FOLLOWING SEQUENCE UNLESS OTHERWISE SPECIFIED BY THE DEVELOPMENT ENGINEERING MANAGER: SANITARY SEWER INSTALLATION, WATER MAIN INSTALLATION, CURB AND GUTTER INSTALLATION, WATER SERVICE INSTALLATION.
20. COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE ENGINEER AND THE CITY OF THORNTON PRIOR TO FINAL ACCEPTANCE.
21. ALL WORK, INCLUDING CORRECTION WORK, SHALL BE INSPECTED BY A CITY REPRESENTATIVE WHO SHALL HAVE THE AUTHORITY TO HALT CONSTRUCTION WHEN STANDARD CONSTRUCTION PRACTICES ARE NOT BEING ADHERED TO.
22. DEVELOPER AND BUILDER SHALL REGULARLY PATROL THE PUBLIC LANDS ADJACENT TO THE DEVELOPMENT TO REMOVE CONSTRUCTION DEBRIS AND KEEP THE SITE CLEAN AND SAFE.
23. ALL SITE GRADING (EXCAVATION, EMBANKMENT, AND COMPACTION) SHALL CONFORM TO THE RECOMMENDATIONS OF THE LATEST SOILS INVESTIGATION FOR THIS PROPERTY AND SHALL FURTHER BE IN CONFORMANCE WITH THE CITY OF THORNTON STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS'; LATEST EDITION. A CDP'S GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES SHALL BE OBTAINED PRIOR TO ANY GRADING BEING PERFORMED ON SITES ONE (1) ACRE OR LARGER IN SIZE. THESE PERMITS CAN BE OBTAINED FROM THE STATE WATER QUALITY CONTROL DIVISION.
24. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
25. TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND AND PROPER MEASURES TAKEN TO CONTROL EROSION AND SEDIMENT MOVEMENT.
26. AT ALL TIMES, THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE OWNER/DEVELOPER SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTY.
27. PERMANENT SLOPES SHALL NOT EXCEED 4:1 (H:V) IN AREAS TO BE SEEDED OR SODDED. RETAINING WALLS SHALL BE REVIEWED AND APPROVED BY SEPARATE APPLICATION TO THE DEVELOPMENT ENGINEERING DIVISION.
28. THIS EROSION AND SEDIMENT CONTROL PLAN HAS BEEN SUBMITTED TO THE CITY OF THORNTON AND IS IN GENERAL CONFORMANCE WITH THE CITY'S EROSION CONTROL STANDARDS. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURE MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEM OR IF THE PROPOSED EROSION CONTROL MEASURES DO NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS EROSION CONTROL PLAN AND THE OBLIGATION OF THE LANDOWNER SHALL RUN WITH THE LAND UNTIL SUCH TIME AS THE EROSION CONTROL PLAN IS PROPERLY COMPLETED, OFFICIALLY MODIFIED, OR VOIDED.
29. INSTALLATION OF WATER MAINS SHALL NOT BE PERMITTED UNTIL ALL COMPACTION RESULTS FOR SANITARY SEWERS HAVE BEEN SUBMITTED TO AND APPROVED BY THE CITY. ALL DESIGN SLOPES FOR SANITARY SEWER INSTALLATIONS HAVE BEEN VERIFIED AND APPROVED BY THE CITY, AND ALL APPLICABLE TESTING PROCEDURES HAVE BEEN CONDUCTED AND APPROVED IN WRITING.
30. NEW WATER MAINS 12 INCHES OR LESS SHALL BE AWWA STANDARD C-900-07 PVC DR -25 PRESSURE PIPE. WATER MAINS LARGER THAN 12 INCHES SHALL MEET AWWA C-905 PVC DR-21 OR DR-18 AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER. HYDRANT LEADS SHALL ONLY BE DIP.
31. WATER MAINS SHALL BE LAID IN CONFORMANCE WITH THE LATEST EDITION OF THE CITY OF THORNTON STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS AND SHALL BE SUBJECT TO CITY INSPECTION AND APPROVAL.
32. FIRE HYDRANTS SHALL BE LIMITED TO THE FOLLOWING MANUFACTURERS ONLY AND SHALL BE PAINTED ACCORDING TO THE LATEST EDITION OF THE CITY OF THORNTON STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS PRIOR TO ACCEPTANCE.
MUELLER COMPANY – 5-1/4" SUPER CENTURION
WATERLOUS COMPANY – MODEL WB-250-PACER
33. THERE SHALL BE A MINIMUM OF FOUR AND ONE HALF (4.5) FEET OF COVER FROM FINISHED GRADE TO THE TOP OF WATERLINES.
34. BEDDING AND BACKFILL MATERIALS FOR BOTH WATER AND SEWER SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF THORNTON STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS.
35. THRUSTBLOCKS SHALL BE PLACED AT FITTINGS, TEES, BENDS, CROSSES, PLUGS, ETC., IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF THORNTON STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS.
36. IN ALL CASES, 10 FEET OF HORIZONTAL DISTANCE, AS MEASURED FROM EDGE OF PIPE TO EDGE OF PIPE, SHALL BE MAINTAINED BETWEEN WATER AND ANY SANITARY OR STORM SEWER.
37. CONTRACTOR SHALL NOTIFY ALL RESIDENTS AND/OR BUSINESSES IN WRITING 48 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONENUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFFS MUST BE APPROVED BY THE CITY'S INFRASTRUCTURE DEPARTMENT, AND
38. CITY VALVES AND APPURTENANCES SHALL BE OPERATED BY CITY PERSONNEL, UNLESS WRITTEN PERMISSION IS GIVEN OTHERWISE.
39. RIM ELEVATIONS OF MANHOLE SHOWN ON THE PLAN AND PROFILE SHEETS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE PIPELINE CONTRACTOR SHOULD ALLOW APPROXIMATELY THE TOP ONE (1) FOOT OF RIM ELEVATION TO BE ADJUSTED EITHER UP OR DOWN IN ORDER TO MATCH FINAL PAVEMENT ELEVATION. THE MAXIMUM ADJUSTMENT TO FINAL GRADE IS 12 INCHES WITH CONCRETE RINGS.
40. DURING CONSTRUCTION, CARE MUST BE TAKEN TO AVOID ANY GROUND WATER, STORM WATER, CONSTRUCTION DEBRIS, SOIL, OR ANY OTHER FOREIGN MATERIALS FROM ENTERING ANY ACTIVE CITY OF THORNTON SEWER. THE USE OF THE SANITARY SEWER SYSTEM FOR THE PURPOSES OF DEWATERING IS STRICTLY PROHIBITED. ALL CONSTRUCTION ACTIVITIES DEWATERING MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY."FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION.
41. AFTER ANY OVERLAY OF AN EXISTING ROADWAY, WHERE CITY UTILITIES ARE PRESENT, THE DEVELOPER SHALL OPEN ALL MANHOLES AND VALVE BOXES FOLLOWING THE PAVING OPERATION TO ENSURE THAT MANHOLE AND VALVES WERE NOT PAVED OVER NOR FILLED WITH ASPHALT.
42. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE CITY OF THORNTON'S CONSTRUCTION INSPECTOR BEFORE ANY CUTS ARE MADE. PATCHING SHALL BE DONE IN CONFORMANCE WITH THE CITY OF THORNTON STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE. IN STREETS WHERE MORE THAN ONE CUT IS MADE, AN OVERLAY OF THE ENTIRE STREET WIDTH, INCLUDING THE PATCHED AREAS, MAY BE REQUIRED. THE DETERMINATION OF NEED FOR A COMPLETE OVERLAY SHALL BE MADE BY THE DEVELOPMENT ENGINEERING MANAGER.
43. PAVING SHALL NOT START UNTIL A GEOTECHNICAL REPORT AND PAVEMENT DESIGN HAVE BEEN APPROVED BY THE CITY OF THORNTON'S DEVELOPMENT ENGINEERING DIVISION AND SUBGRADE COMPACTION TEST AND PROOF ROLL HAVE BEEN PERFORMED AND THE RESULTS HAVE MET WITH THE APPROVAL OF THE CITY OF THORNTON. THE PAVEMENT DESIGN REPORT MUST BE SUBMITTED THREE (3) WEEKS PRIOR TO THE ANTICIPATED DATE OF PAVING.
44. ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
45. ALL CURB RETURNS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED WITH SIDEWALK RAMPS IN ACCORDANCE WITH THE CITY OF THORNTON STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC AND PRIVATE IMPROVEMENTS. ALL SIDEWALK RAMPS SHALL INCLUDE A TRUNCATED DOME DETECTABLE WARNING PATTERN AS SHOWN ON THE DETAIL SHEETS.
46. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF THORNTON FOR APPROVAL PRIOR TO CONSTRUCTION.
47. REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR.

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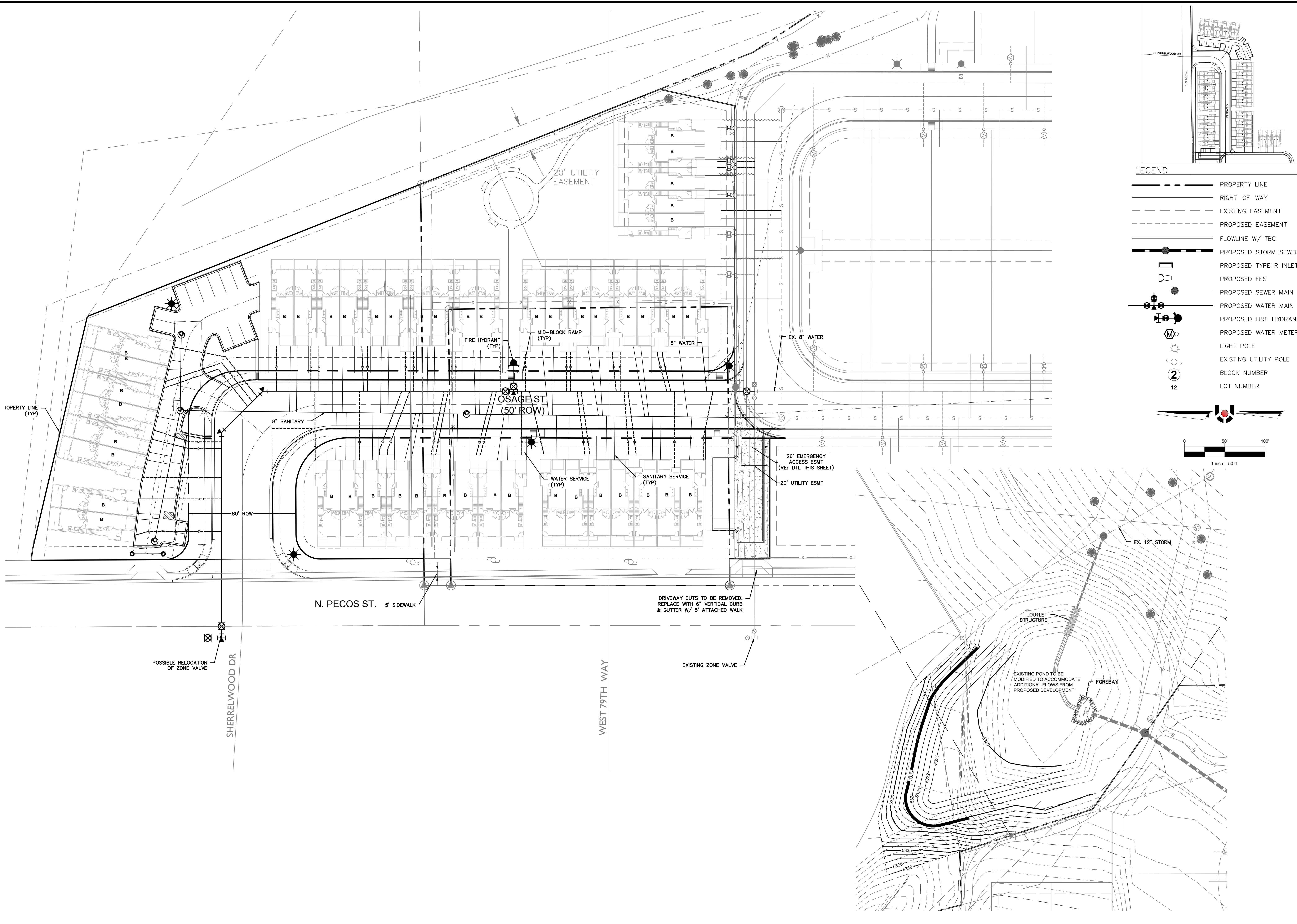
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ADAMS COUNTY, COLORADO
CONSTRUCTION DRAWINGS
GENERAL NOTES

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

JOB NO.
19-165

SHEET
2 OF 7

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LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EXISTING EASEMENT
- PROPOSED EASEMENT
- FLOWLINE W/ TBC
- PROPOSED STORM SEWER
- PROPOSED TYPE R INLET
- PROPOSED FES
- PROPOSED SEWER MAIN
- PROPOSED WATER MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- LIGHT POLE
- EXISTING UTILITY POLE
- BLOCK NUMBER
- LOT NUMBER

12

1 inch = 50 ft.

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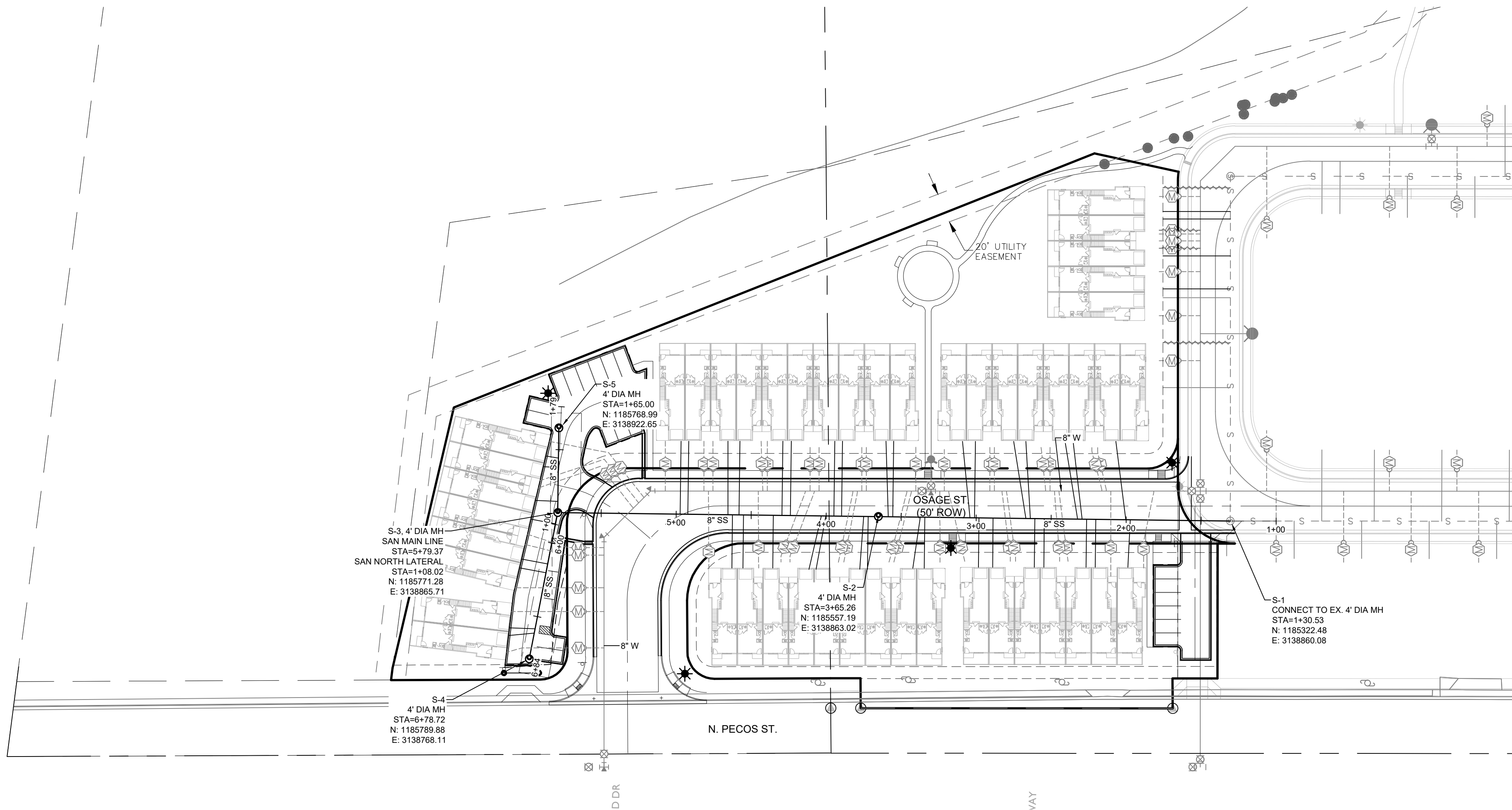
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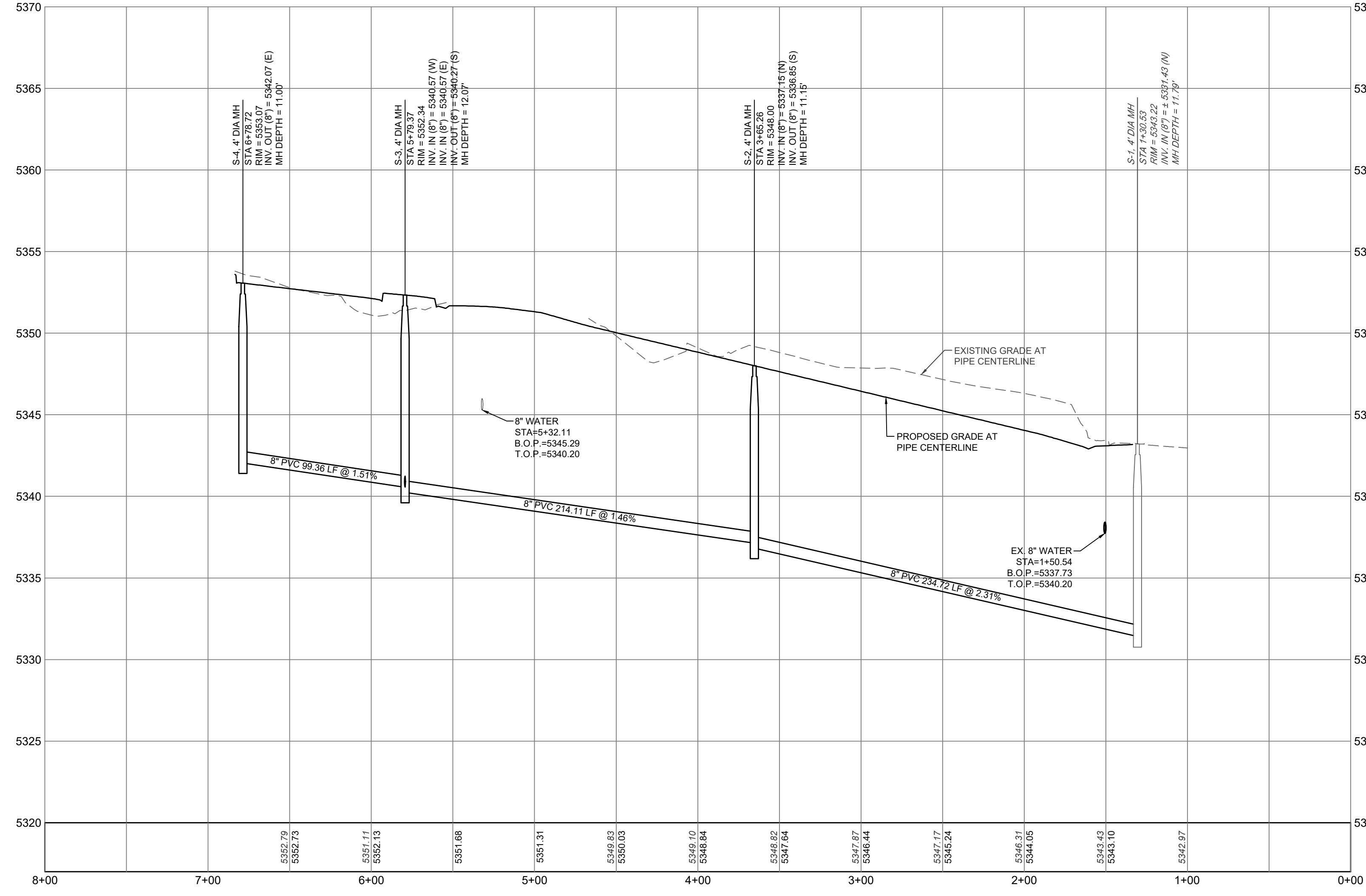
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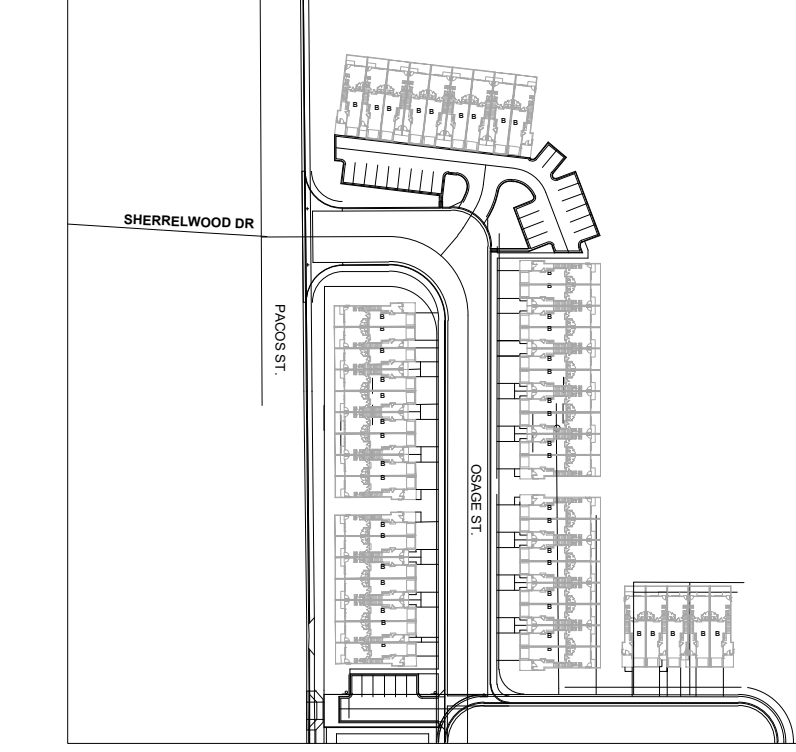
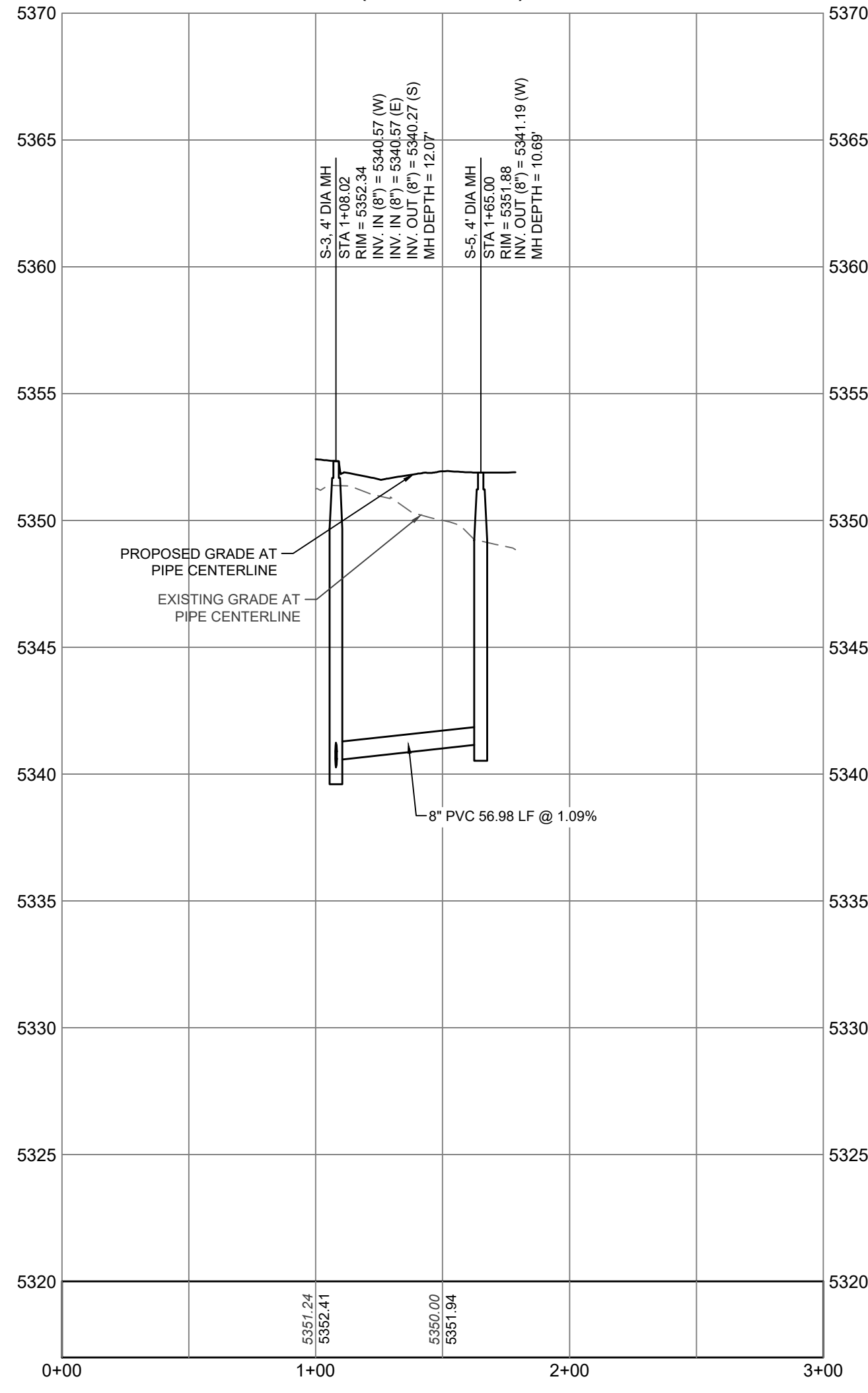
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SAN MAIN LINE
(8+00-0+00)



SAN NORTH LATERAL
(0+00-3+00)



LEGEND

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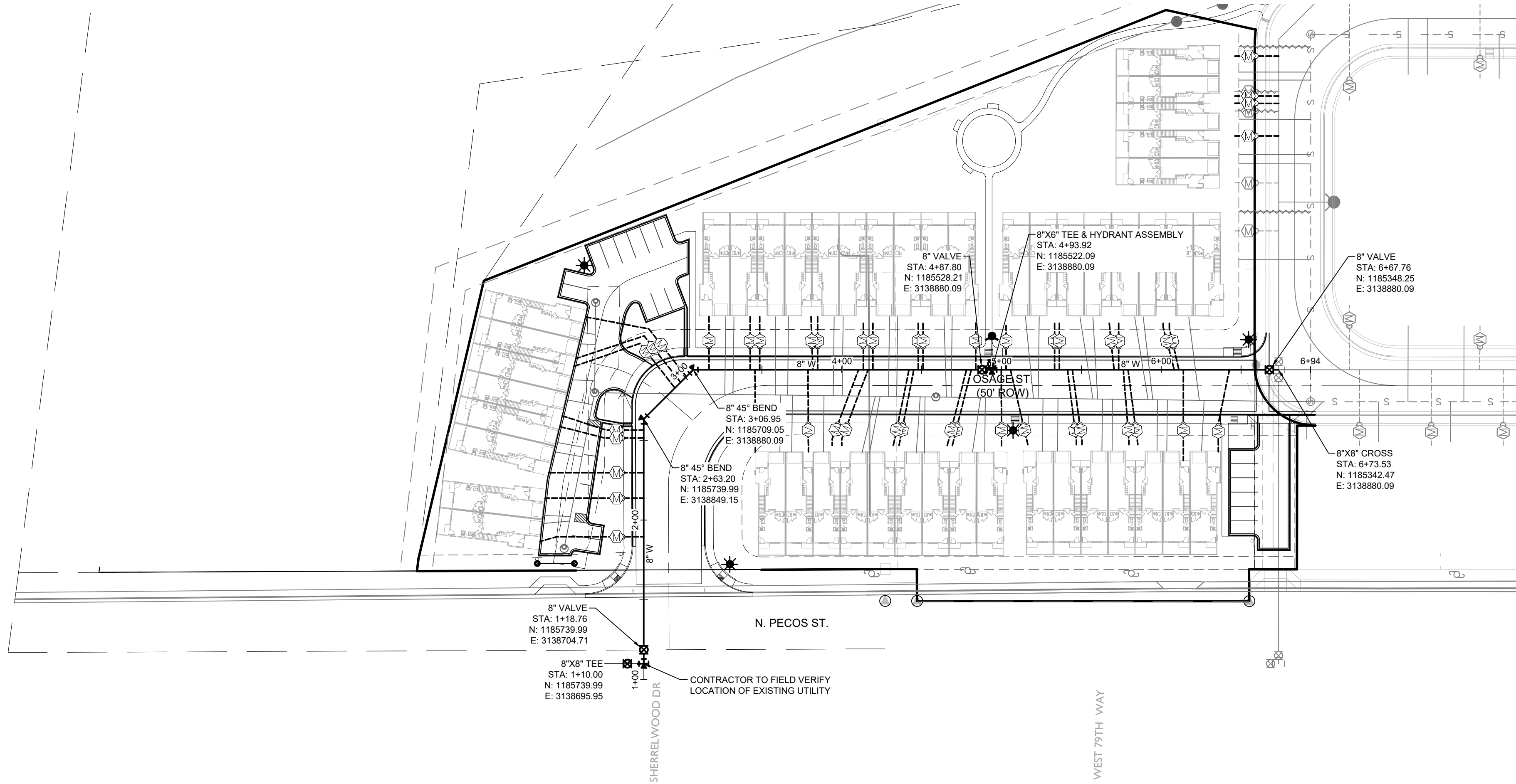
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ADAMS COUNTY, COLORADO

CONSTRUCTION DRAWINGS
SANITARY PLAN AND PROFILE

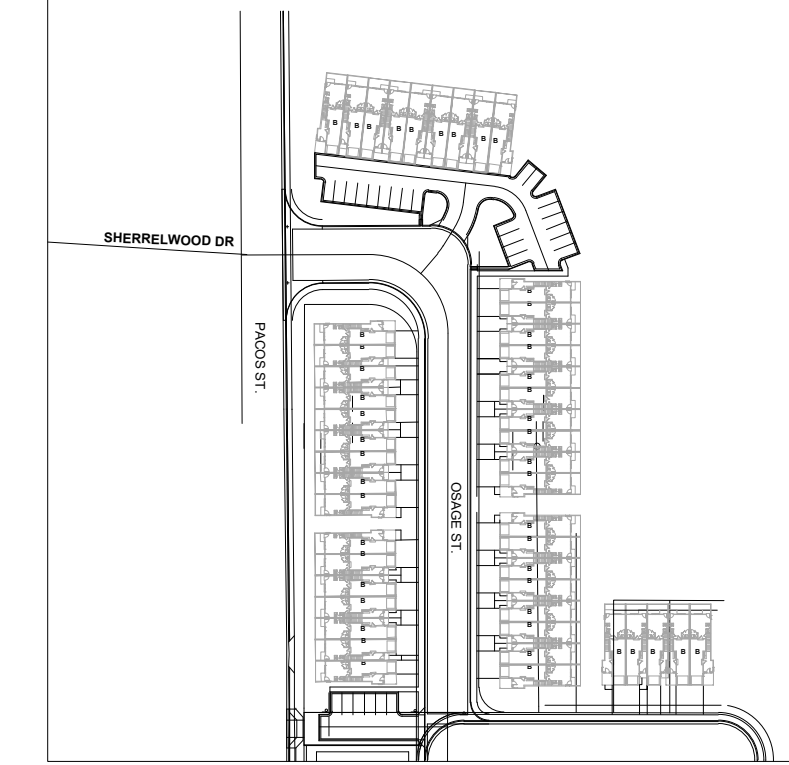
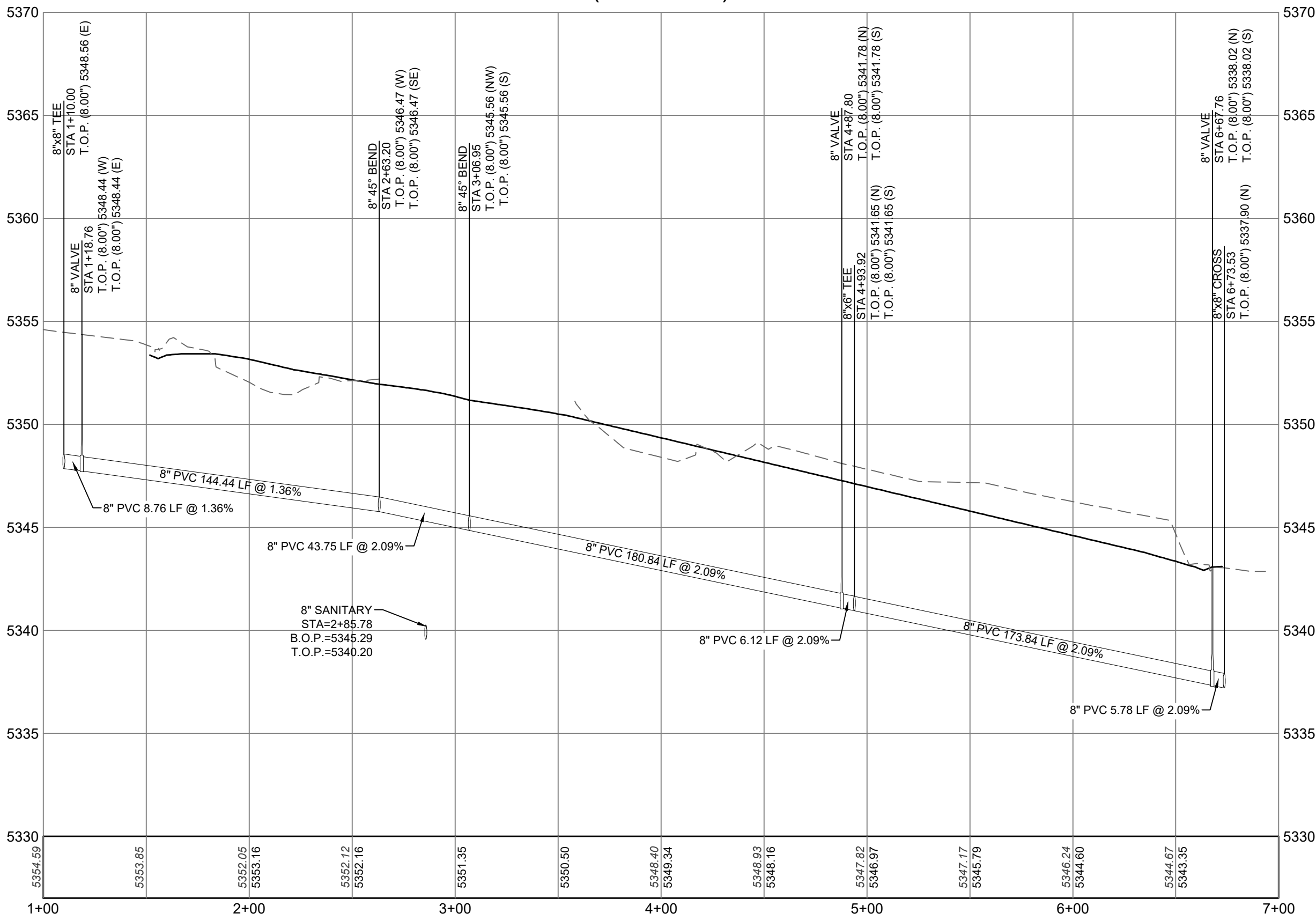
DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

JOB NO.
19-165

SHEET
4 OF 7



WATER MAIN LINE
(1+00-7+00)



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EXISTING EASEMENT
- PROPOSED EASEMENT
- FLOWLINE W/ TBC
- PROPOSED STORM SEWER
- PROPOSED TYPE R INLET
- PROPOSED FES
- PROPOSED SEWER MAIN
- PROPOSED WATER MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- LIGHT POLE
- EXISTING UTILITY POLE
- BLOCK NUMBER
- LOT NUMBER

12

1 inch = 50 ft.

PROFILE
HORIZ: 1" = 50'
VERT: 1" = 5'

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
NATURAL RESOURCES CONSULTING
LAND SURVEYING
303.703.4444
1950 W. Litchton Blvd., Ste. 109
Litchton, CO 80120

CORE
CONSULTANTS

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND PUBLIC UTILITIES.
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS. ANY UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY THE EIGHTH DAY OF THE MONTH OF OCTOBER, 2021. THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

Know what's below.
Call before you dig.
811

#	REVISION DESCRIPTION	DATE BY
1	DRAFT	XXXX/XX/XX

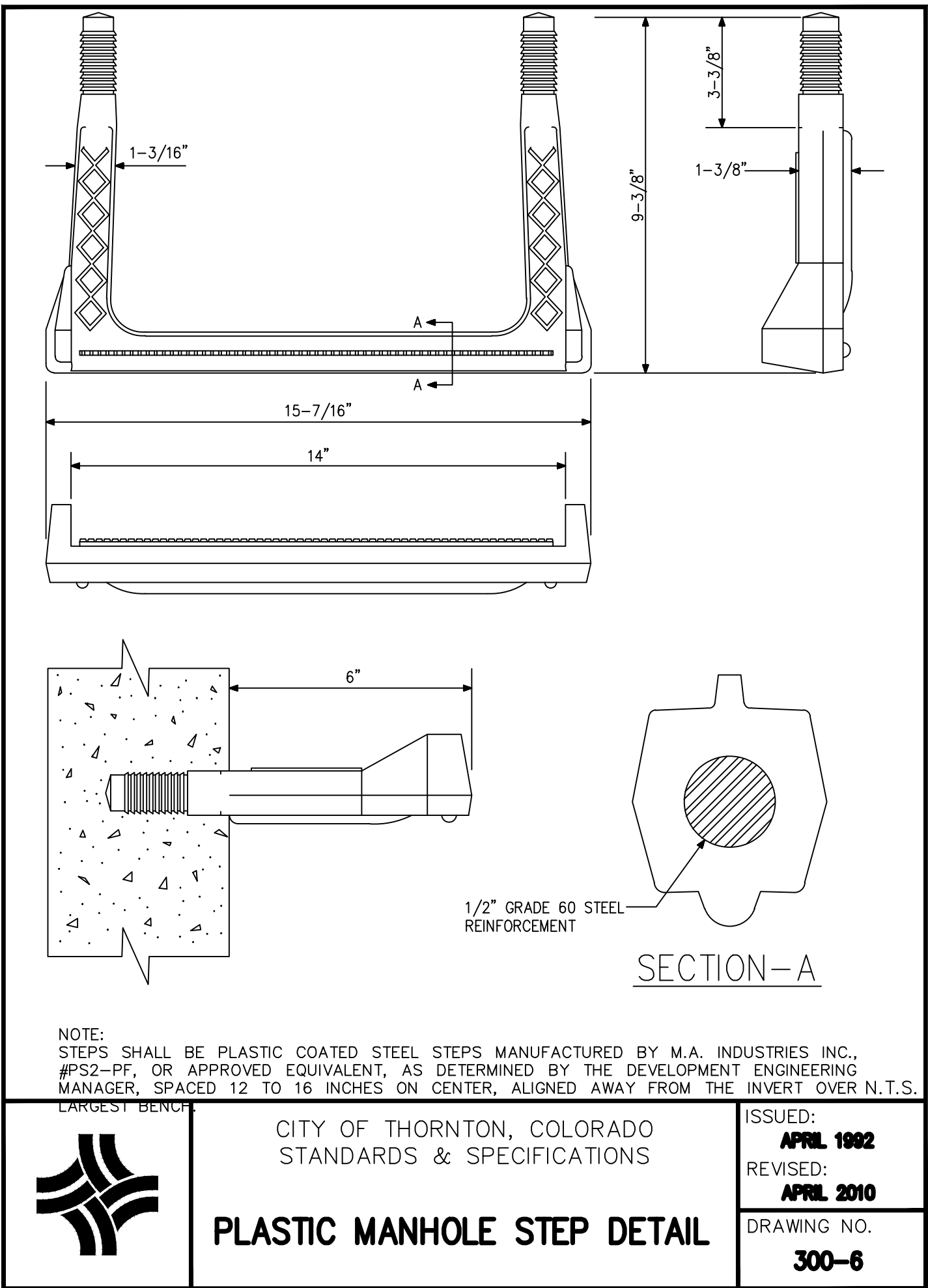
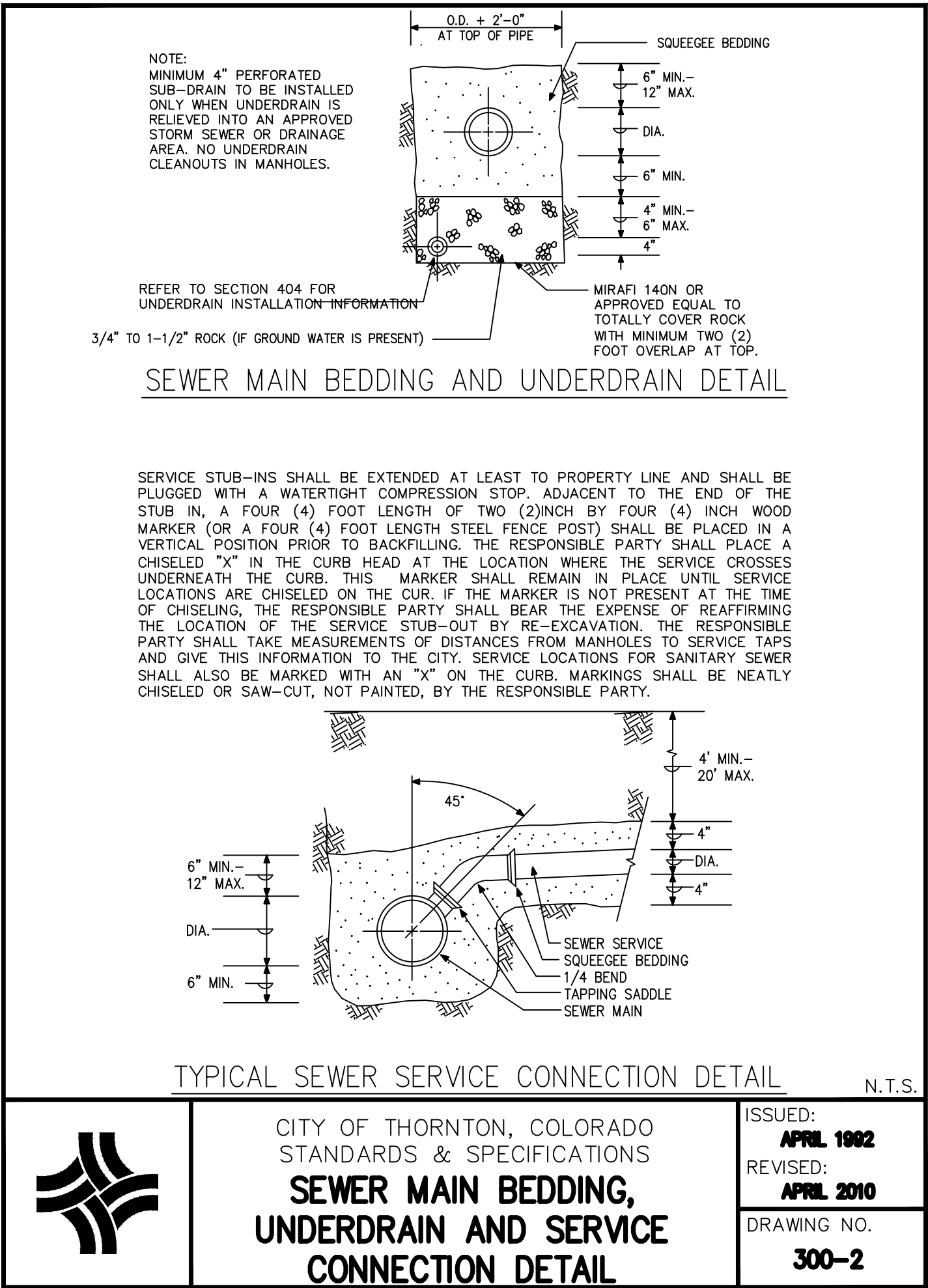
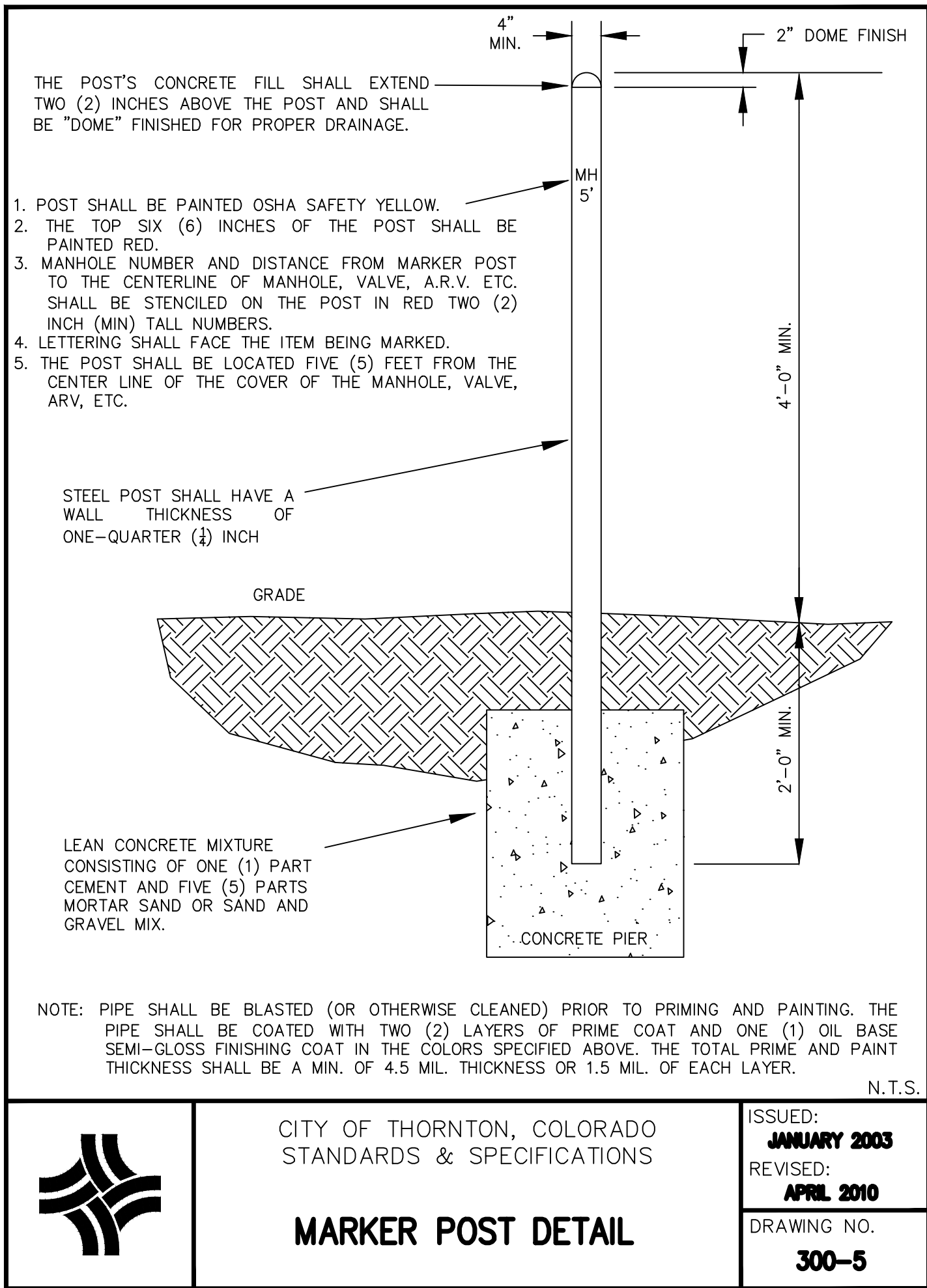
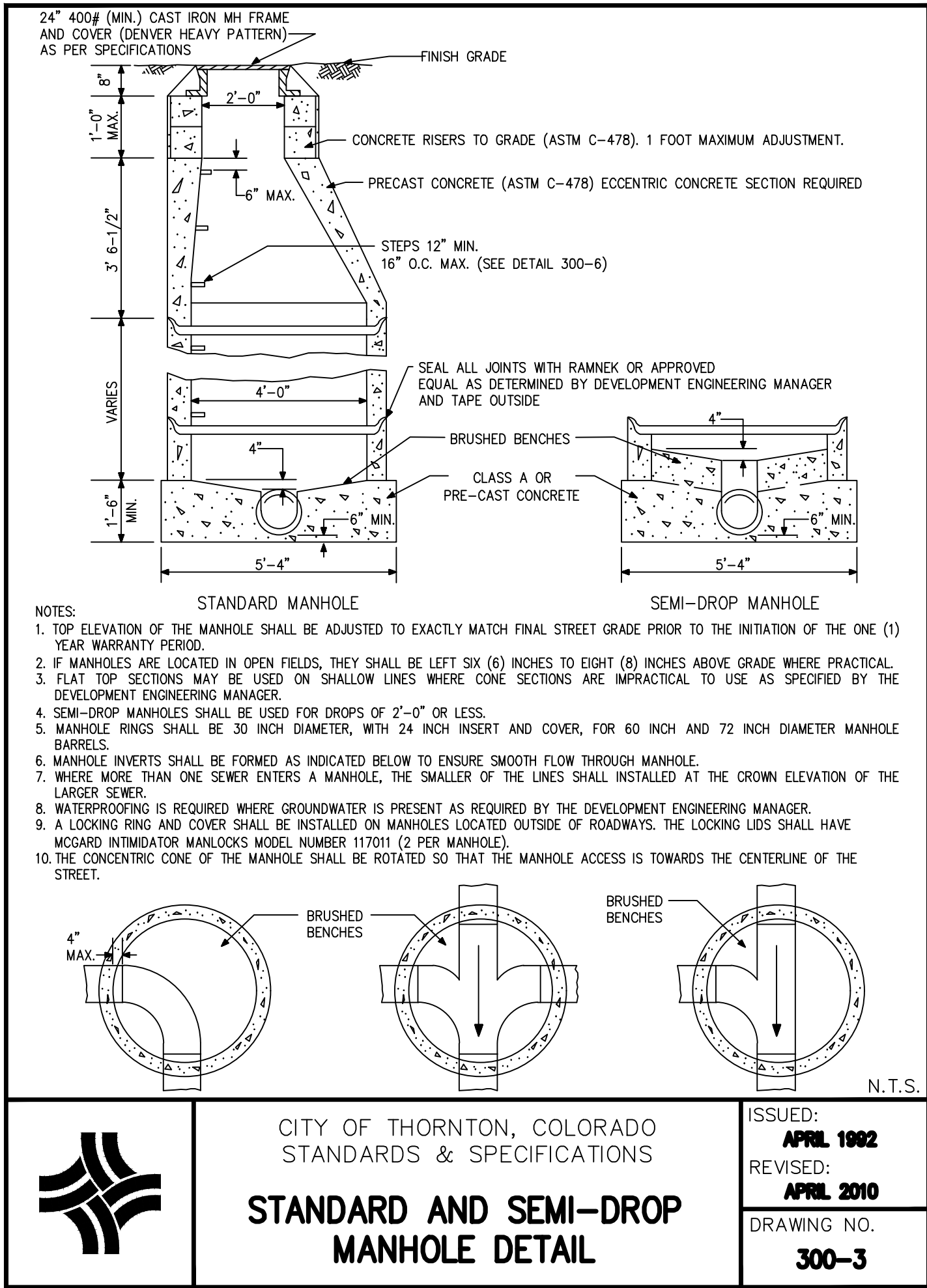
ELMWOOD ESTATES
ADAMS COUNTY, COLORADO

CONSTRUCTION DRAWINGS
WATER PLAN AND PROFILE

DESIGNED BY: NW
DRAWN BY: NW
CHECKED BY: JS

JOB NO.
19-165

SHEET
5 OF 7



#	REVISION DESCRIPTION	DATE BY
1	DRAFT	XXXXXX

I want to...

☆ Parcel #: 0171928400003

[Property Report](#) - 8000 PECOS ST
DELWEST DEVELOPMENT CORP

[View Additional Details](#) | [Add to Results](#)

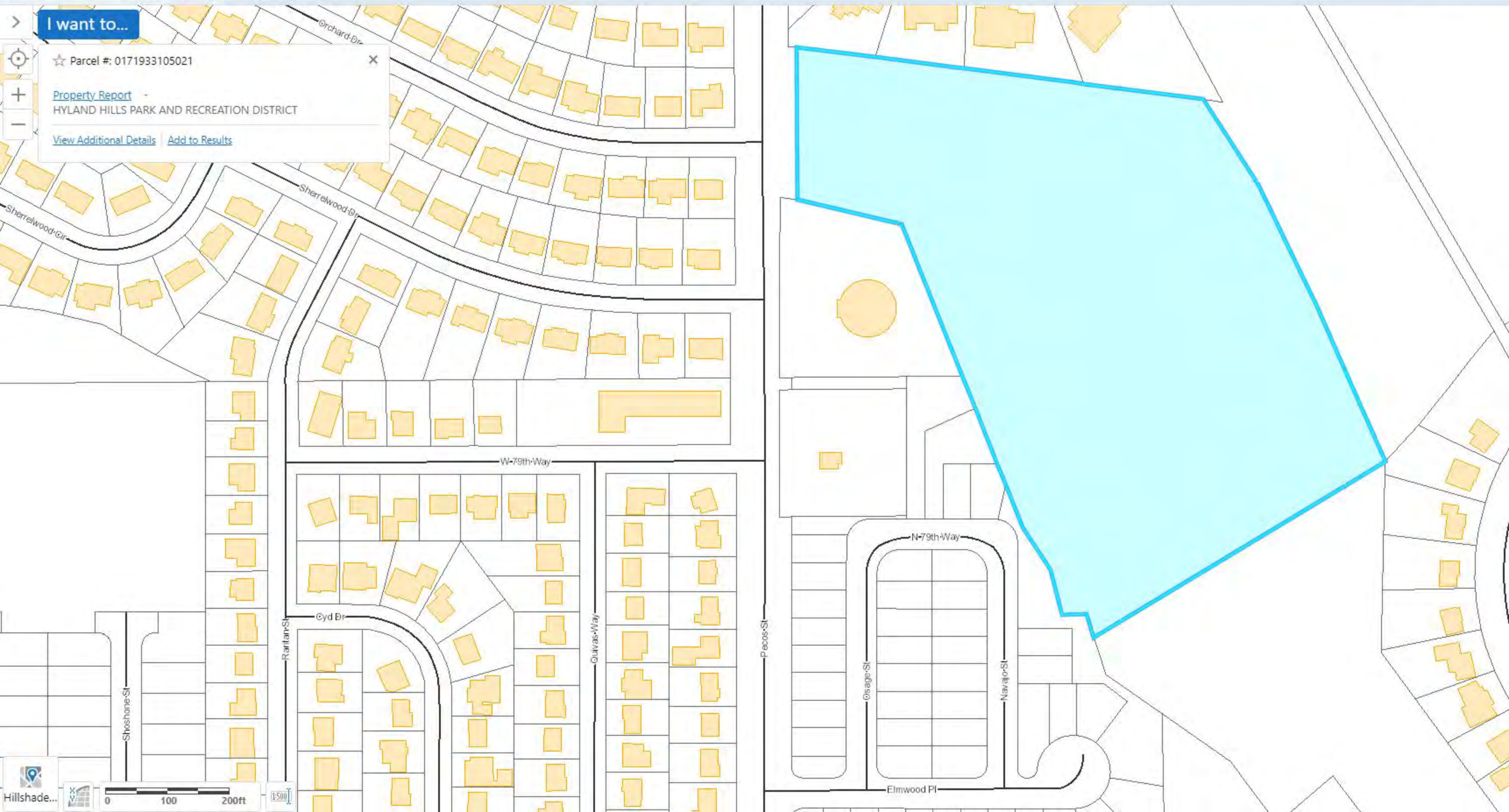


I want to...

☆ Parcel #: 0171933105021

[Property Report](#)
HYLAND HILLS PARK AND RECREATION DISTRICT

[View Additional Details](#) [Add to Results](#)



Recorded at _____ o'clock _____ M.,
Reception No. _____ Recorder.

BOOK 3251 PAGE 920

QUIT CLAIM DEED

705775

THIS DEED, Made this 9th day of September, 1986,
between the City of Thornton

a corporation duly organized and existing under and by virtue of the laws of the State of Colorado
grantor, and Adams County School
District No. 50

a corporation duly organized and existing under and by virtue of the laws of the State of Colorado
grantee, whose legal address is 4476 W. 68th Avenue
of the County of Adams and State of Colorado

WITNESS, That the grantor, for and in consideration of the sum of Ten dollars and other good and
valuable consideration

the receipt and sufficiency of which is hereby acknowledged, has remised, released, sold, conveyed and QUIT CLAIMED, and by these presents does
remise, release, sell, convey and QUIT CLAIM unto the grantee; its successors and assigns forever, all the right, title, interest, claim and demand which
the grantor has in and to the real property, together with improvements, if any, situate, lying and being in the
of Adams
and State of Colorado, described as follows:

See Exhibit A, Parcel C, attached hereto and by this reference
incorporated herein.

~~XXXXXXXXXXXXXXXXXXXX~~

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging, or in anywise thereunto
appertaining, and all the estate, right, title, interest and claim whatsoever, of the grantor, either in law or equity, to the only proper use, benefit and behoof
of the grantee, its successors and assigns forever.

IN WITNESS WHEREOF, The grantor has caused its corporate name to be hereunto subscribed by its _____ President, and its
corporate seal to be hereunto affixed, attested by its _____ Secretary, the day and year first above written.

GRANTOR: City of Thornton

By Margaret W. Carpenter
Margaret W. Carpenter, Mayor

STATE OF COLORADO

County of Adams

ss.

The foregoing instrument was acknowledged before me this

9th day of November, 1986

by Margaret W. Carpenter as Mayor President and
Nancy d. Vincent as City Clerk Secretary of
The City of Thornton a corporation.

My commission expires September 17, 1989
Witness my hand and official seal.

Lewell Miller
Notary Public

EXHIBIT A

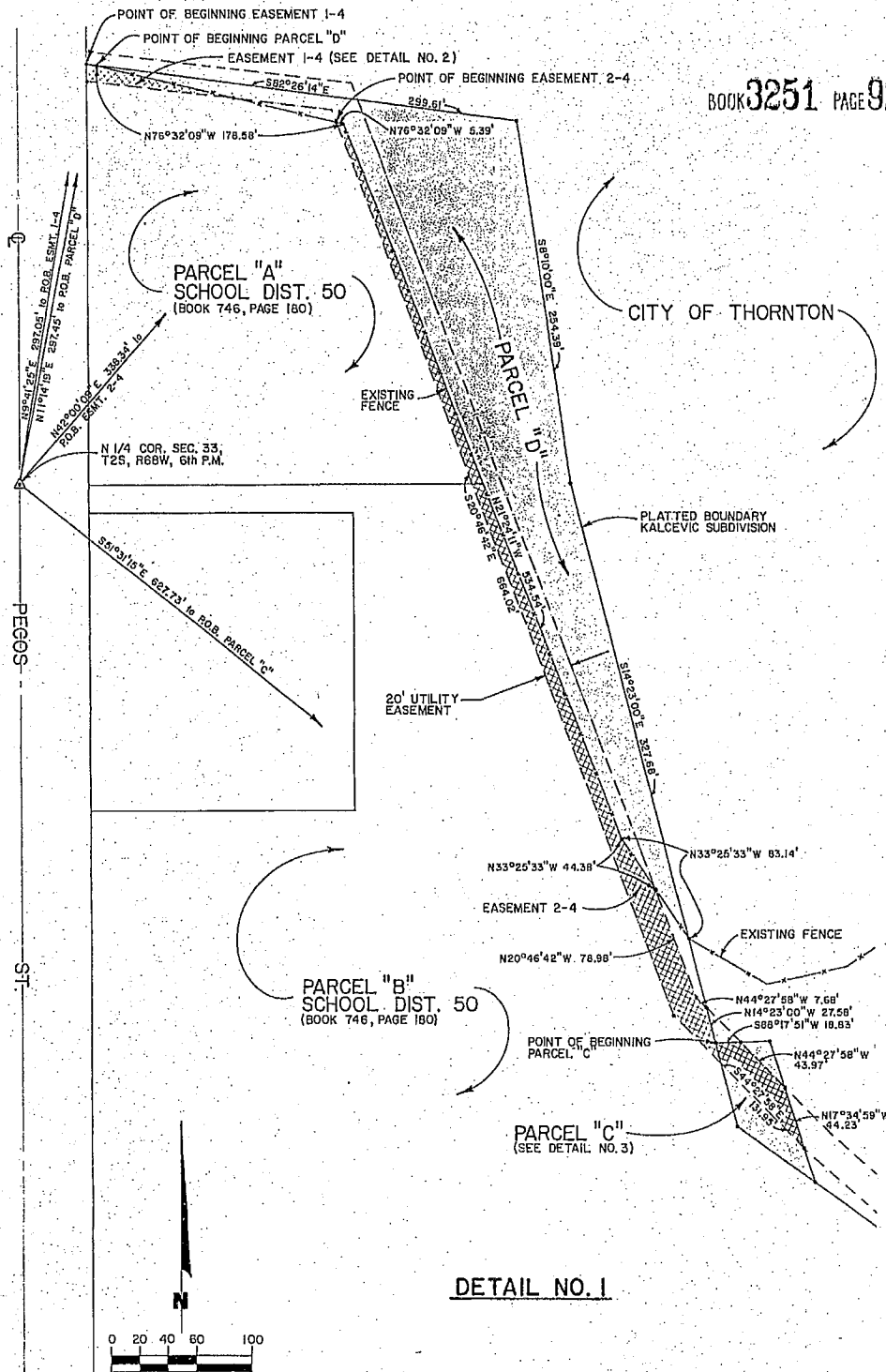
PARCEL C

Beginning at the North one-quarter corner of Section 33, Township 2 South, Range 68 West, 6th Principal Meridian, Adams County, State of Colorado; thence South $51^{\circ}31'15''$ East, a distance of 627.73 feet to a point, said point being the True Point of Beginning; thence the following courses and distances:

North $88^{\circ}17'51''$ East, 39.50 feet;
South $17^{\circ}34'59''$ East, 104.05 feet;
North $54^{\circ}51'00''$ West, 68.33 feet;
North $14^{\circ}23'00''$ West, 60.58 feet to the True Point of Beginning.

The above parcel contains 0.076 acres more or less (3,319.97 square feet).

(The Bearings and Distances are derived from the Kalcevic Subdivision Plat as recorded August 23, 1984, County of Adams, State of Colorado, in File 16, Map Number 142, Reception Number B523787 and the attached Detail Maps Number 1 and 3).



N1/4 COR.
SEC. 33, T2S,
R68W, 6th P.M.

PARCEL "D"

CITY OF THORNTON

EXISTING FENCE

EASEMENT 2-4

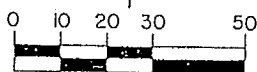
POINT OF BEGINNING PARCEL "C"

PARCEL "C"

PARCEL "B"
SCHOOL DIST. 50
(BOOK 746, PAGE 180)

20' UTILITY EASEMENT

DETAIL NO. 3



Recorded at _____ o'clock _____ M.,
Reception No. _____

Recorder.

BOOK 3251 PAGE 924

QUIT CLAIM DEED

705776

THIS DEED, Made this 9th day of September, 1986,
between Adams County School District No. 50

of the _____ *County of Adams _____ and State of
Colorado, grantor(s) and the City of Thornton

whose legal address is 9500 Civic Center Drive, Thornton

of the _____ County of Adams _____ and State of Colorado, grantee(s).

WITNESSETH, That the grantor(s) for and in consideration of the sum of Ten dollars
and other good and valuable consideration ~~REMARK~~
the receipt and sufficiency of which is hereby acknowledged, has remised, released, sold, conveyed and QUIT CLAIMED, and by
these presents do es remise, release, sell, convey and QUIT CLAIM unto the grantee(s), its ~~successors~~ successors and assigns,
forever, all the right, title, interest, claim and demand which the grantor(s) ha s in and to the real property, together with
improvements, if any, situate, lying and being in the _____ County of Adams _____ and State of
Colorado, described as follows:

See Exhibit A, Parcel D, attached hereto and
by this reference incorporated herein.

~~XXXXXXXXXXXXXXXXXXXX~~

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging or in
anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever, of the grantor(s), either in law or equity, to
the only proper use, benefit and behoof of the grantee(s) ~~and its~~ assigns forever.

IN WITNESS WHEREOF, The grantor(s) ha s executed this deed on the date set forth above.

GRANTOR: Adams County School
District No. 50

By: Donald C. Ciancio
Donald C. Ciancio
President

Attest:

By:

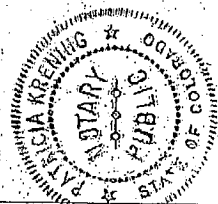
Jean E. Smith
Jean E. Smith
Secretary
STATE OF COLORADO,

County of Adams

ss.

The foregoing instrument was acknowledged before me this 9th day of September, 1986,
by Donald C. Ciancio, as President and Jean E. Geniva R. Deal
Smith, as Secretary of the Adams County School
District No. 50 Board of Education

My commission expires 9/20/89, 19 ____ . Witness my hand and official seal.



Patricia Kreving
Notary Public

*If in Denver, insert "City and"

EXHIBIT APARCEL D

Beginning at the North one-quarter corner of Section 33, Township 2 South, Range 68 West, 6th Principal Meridian, Adams County, State of Colorado; thence North $11^{\circ}14'19''$ East, a distance of 297.45 feet to a point, said point being the True Point of Beginning; thence the following courses and distances:

South $82^{\circ}26'14''$ East, 299.61 feet;
South $08^{\circ}10'00''$ East, 254.39 feet;
South $14^{\circ}23'00''$ East, 327.68 feet;
North $33^{\circ}25'33''$ West, 83.14 feet;
North $21^{\circ}24'11''$ West, 534.54 feet;
North $76^{\circ}32'09''$ West, 178.58 feet to the True Point of Beginning.

The above parcel contains 0.875 acres more or less (38,093.28 square feet).

(The Bearings and Distances are derived from the Kalcevic Subdivision Plat as recorded August 23, 1984, County of Adams, State of Colorado, in File 16, Map Number 142, Reception Number B523787 and the attached Detail Map Number 1).

EXHIBIT AEASEMENT 1-4

Beginning at the North one-quarter corner of Section 33, Township 2 South, Range 68 West, 6th Principal Meridian, Adams County, State of Colorado; thence North 9°41'25" East, a distance of 297.05 feet to a point, said point being the True Point of Beginning; thence the following courses and distances:

South 82°26'14" East, 8.04 feet;
South 76°32'09" East, 98.36 feet;
North 83°17'55" West, 104.34 feet;
North 00°00'01" East, 11.78 feet to the True Point of Beginning.

The above easement contains 0.015 acres more or less (651.27 square feet).

(The Bearings and Distances are derived from the Kalcevic Subdivision Plat as recorded August 23, 1984, County of Adams, State of Colorado, in File 16, Map Number 142, Reception Number B523787 and the attached Detail Maps Number 1 and 2).

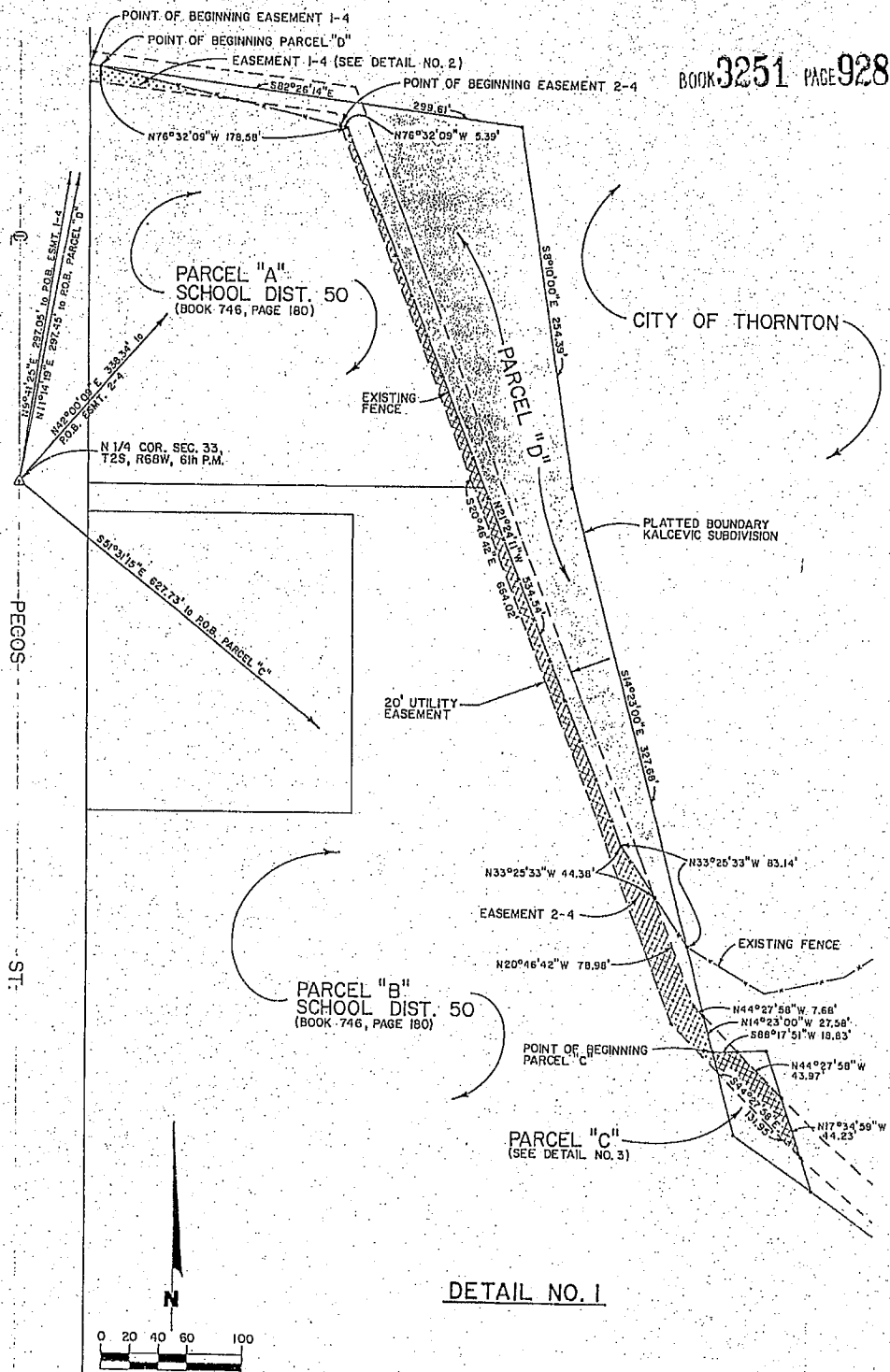
EXHIBIT AEASEMENT 2-4

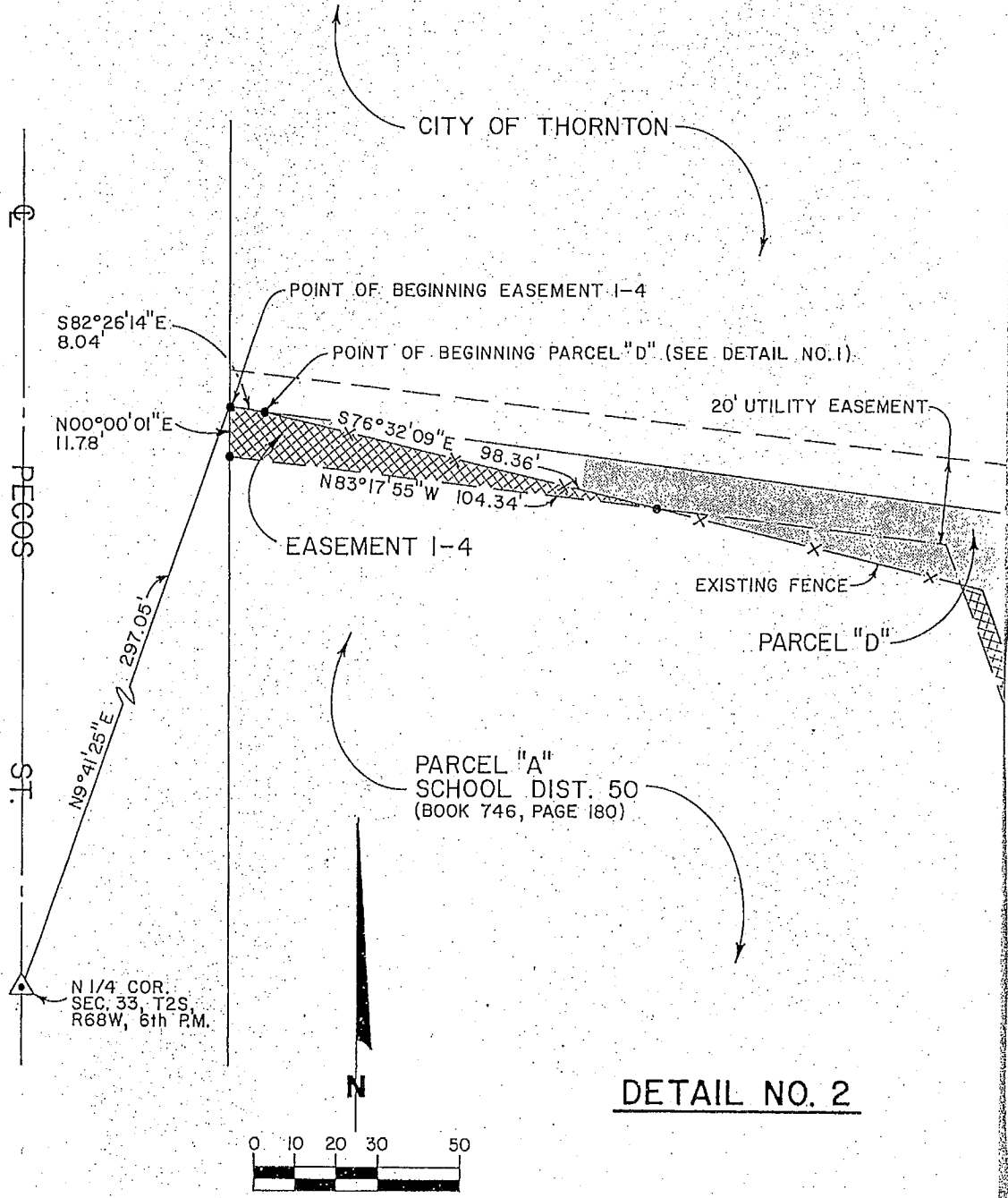
Beginning at the North one-quarter corner of Section 33, Township 2 South, Range 68 West, 6th Principal Meridian, Adams County, State of Colorado; thence North 42°00'09" East, a distance of 338.34 feet to a point, said point being the True Point of Beginning; thence the following courses and distances:

South 20°46'42" East, 664.02 feet;
South 44°27'58" East, 131.95 feet;
North 17°34'59" West, 44.23 feet;
North 44°27'58" West, 43.97 feet;
South 88°17'51" West, 18.83 feet;
North 14°23'00" West, 27.58 feet;
North 44°27'58" West, 7.68 feet;
North 20°46'42" West, 78.98 feet;
North 33°25'33" West, 44.38 feet;
North 21°24'11" West, 534.54 feet;
North 76°32'09" West, 5.39 feet to the True Point of Beginning.

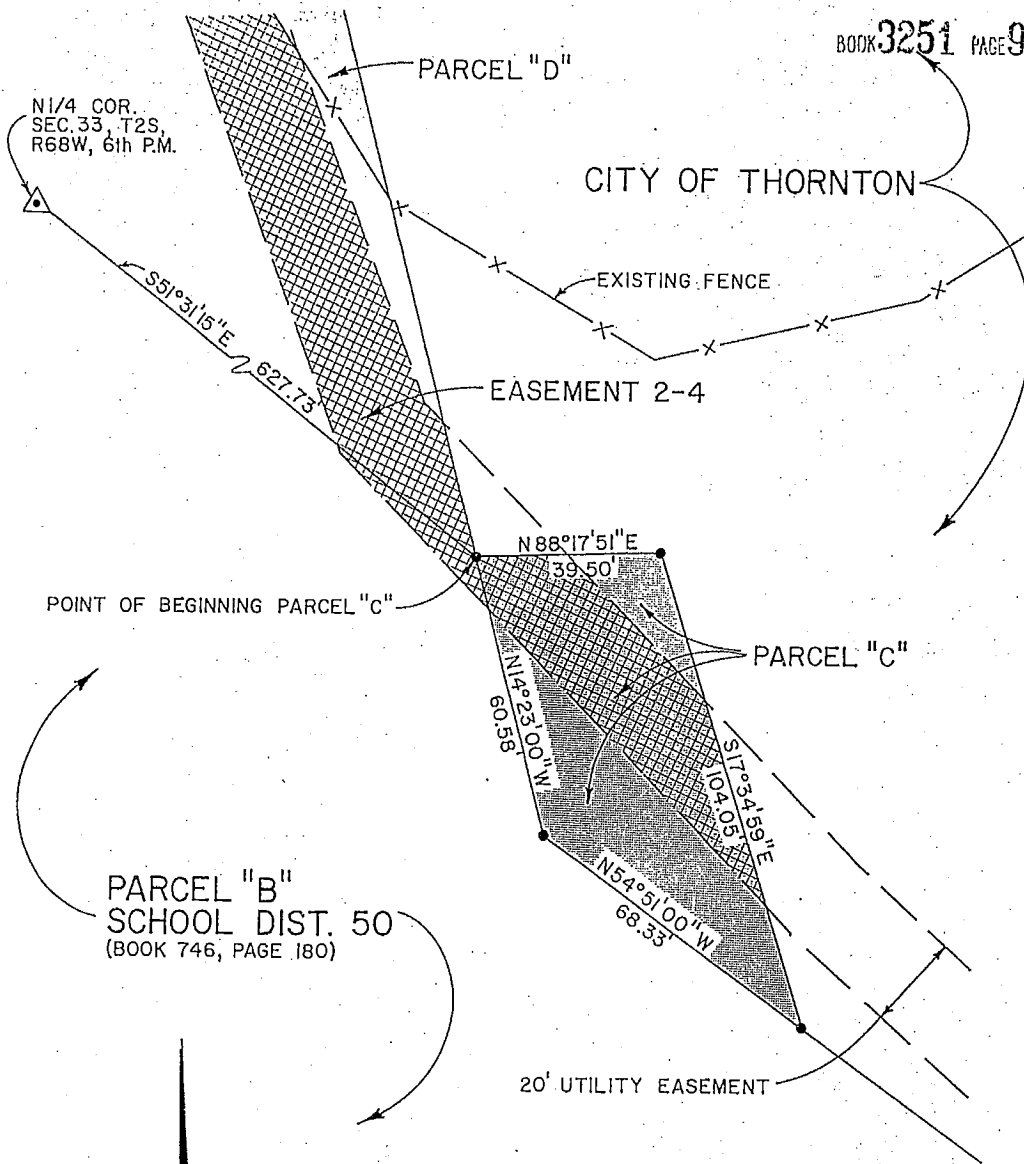
The above easement contains 0.188 acres more or less (8,171.00 square feet).

(The Bearings and Distances are derived from the Kalcevic Subdivision Plat as recorded August 23, 1984, County of Adams, State of Colorado, in File 16, Map Number 142, Reception Number B523787 and the attached Detail Map Number 1).





DETAIL NO. 2



DETAIL NO. 3

Project No. _____

Parcel No. _____

EXCLUSIVE EASEMENT FOR PIPELINE

KNOW ALL MEN BY THESE PRESENTS:

1. That the undersigned Adams County School District No. 50

(hereinafter referred to as "Grantor"), in consideration of the sum of \$5.00, receipt of which is hereby acknowledged, and of further agreements and considerations herein stated does hereby grant to the City of Thornton, acting by and through its Utilities Board, a Municipal corporation of the State of Colorado (hereinafter referred to as "Grantee"), its successors and assigns, the permanent right to enter, reenter, occupy and use the hereinafter described property to construct, maintain, repair, replace, remove, enlarge, and operate one or more pipelines and all underground and surface appurtenances thereto, together with a temporary construction easement during the period of construction of such pipelines in, over, under, through, and across the real property described on Exhibit "A", attached hereto and incorporated herein by reference. The easement hereby granted includes the right of necessary use of the surface and subsurface of such land for the construction, laying, maintenance, repair, removal, and replacement of such pipelines.

2. Grantee shall have and exercise the right of ingress and egress into, over, through, and across the above described property for any purpose needful for the full enjoyment of any other right of occupancy or use provided for herein.

3. Grantor shall not construct or place any structure or building, street light, power pole, yard light, or plant any shrub, trees, wooden plant or nursery stock in any part of the above described right of way. Any structure, building, street light, power pole, yard light, shrub, tree, wooden plant or nursery stock situated on the above-described right of way as of the date of this Agreement, except the existing baseball backstop, may be removed by the Grantee without liability for damages arising therefrom. If Grantee must remove or damage such baseball backstop Grantee agrees to replace it at Grantee's sole expense.

4. Existing fencing disturbed or destroyed by the Grantee in constructing the facilities contemplated hereby shall be replaced

by Grantee to its original condition as near as may be, however Grantor shall not construct new fencing across or within the right of way herein described without the prior written approval of the Grantee.

5. Grantee shall have and exercise the right of subjacent and lateral support to whatever extent is necessary or desirable for the full, complete and unmolested enjoyment of the rights hereinabove described. The Grantor shall take no action which would impair the earth cover over, or the lateral or subjacent support for any pipeline or lines and appurtenances within the right of way without obtaining the specific written permission of the Grantee. Any modification undertaken by the Grantor would be upon terms which would provide for reimbursement to the Grantee of the cost of any alterations to any pipeline facility made necessary by the change. In the event the terms of this paragraph are violated by the Grantor or by any person in privity with him or her, such violation shall be corrected and eliminated immediately upon receipt of notice from Grantee and in the alternative Grantee shall have right to correct and eliminate such violation, and the Grantor, his or her heirs, administrators, successors, and assigns, shall promptly pay the actual cost thereof.

6. Grantor retains the right to undisturbed use and occupancy of the subject property insofar as such use and occupancy is consistent with and does not impair any grant herein contained and except as otherwise herein provided.

7. In case the Grantee shall abandon its rights herein and cease to use the right of way herein described, all right, title and interest of the Grantee shall cease and terminate and all rights of the Grantee so abandoned shall cease and terminate and the Grantor shall hold the premises as the same may then be free from the rights so abandoned but nothing herein shall be construed as working a forfeiture or abandonment if any interest described hereunder is owned by Grantee at the time of abandonment of Grantee's rights.

8. After construction of any pipeline, the general surface of the ground, except as necessarily modified to accommodate appurtenances shall be restored as near as may reasonably be, to the graded condition it was in immediately prior to construction. Top soil shall be replaced in cultivated and agricultural areas and excess earth resulting from installations by the Grantee shall be removed from the right of way at the sole expense of Grantee.

9. Grantor warrants that he has full and lawful authority to make the grant herein above contained, and promises and agrees to defend that Grantee in the exercise of its rights hereunder against any defect and Grantor's title to the land involved or Grantor's right to make the grant hereinabove contained.

Each and every one of the benefits and burdens of this agreement shall inure to and be binding upon the respective legal representatives, heirs, executors, administrators, successors, and assigns of the parties hereto.

IN WITNESS WHEREOF, the undersigned have set their hands hereto this 9th day of September, 1986.

ATTEST:

[SEAL]

By Geniva R. Deal
 Joan E. Smith, Secretary
 Geniva R. Deal

GRANTOR:
 ADAMS COUNTY SCHOOL DISTRICT 50

By Don C. Ciancio
 Don C. Ciancio, President

APPROVED AS TO FORM:

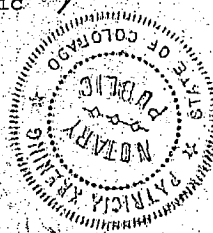
Martin Semple
 Martin Semple, Attorney

STATE OF COLORADO)
) ss.
 COUNTY OF ADAMS)

The within and foregoing instrument was acknowledged before me by Donald C. Ciancio and, this 9th day of September 1986.
Geniva R. Deal

My Commission Expires: 7/27/89

Patricia Fleming
 Notary Public



(SIGNATURES CONTINUED ON NEXT PAGE)

CITY OF THORNTON, acting by and
through its Utilities Board

By Leonard Boulos
Chairman

ATTEST:

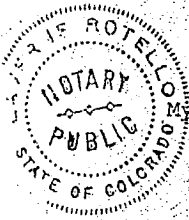
Karin Wierft
Secretary

APPROVED AS TO FORM:

JAMS
Utilities Attorney

STATE OF COLORADO)
) ss.
COUNTY OF ADAMS)

The within and foregoing instrument was acknowledged before
me by Leonard Boulos, this 11th day of Sept. 1986.



Aquelma Rotello
Notary Public

My commission expires: 9-20-89

9500 Civic Center Dr.
Thornton, CO 80229

CASE NO. 139-95-P
F17-537 1/2

CASE NO. 139-95-P
F17-537 1/2

File: 17 map: 537

PLANNING COMMISSION APPROVAL

Ernest W. Miller
CHAIRMAN

LOTS		
12892 SQFT	LOT 25	13067 SQFT
9943 SQFT	LOT 26	12834 SQFT
6343 SQFT	LOT 27	7720 SQFT

12832 SQFT	LOT 25	13047 SQFT
9943 SQFT	LOT 26	12834 SQFT
6343 SQFT	LOT 27	7720 SQFT
5500 SQFT	LOT 28	5546 SQFT
5350 SQFT	LOT 29	7572 SQFT
5500 SQFT	LOT 30	6013 SQFT
5350 SQFT	LOT 31	6079 SQFT
5500 SQFT	LOT 32	5500 SQFT

12892 SQFT	L01 25	13047 SQFT
9943 SQFT	L01 26	12834 SQFT
6343 SQFT	L01 27	7720 SQFT
5603 SQFT	L01 28	5546 SQFT
5590 SQFT	L01 29	7572 SQFT
5590 SQFT	L01 30	6013 SQFT
5590 SQFT	L01 31	6079 SQFT
5590 SQFT	L01 32	5590 SQFT
5590 SQFT	L01 33	5590 SQFT
5590 SQFT	L01 34	5590 SQFT
5670 SQFT	L01 35	5590 SQFT
8978 SQFT	L01 36	5590 SQFT
7543 SQFT	L01 37	5590 SQFT
7049 SQFT	L01 38	6000 SQFT
6578 SQFT	L01 39	6007 SQFT

[illegible]

NOTES AND RESTRICTIONS, the following notes and restrictions shall apply to Enclosed tract:

- 1) FOR OWNERSHIP AND EASEMENTS OF RECORD THIS LAND SURVEY PLAT APPLY UPON BASIS OF BEARING - THE WESTERLY LINE OF THE NE 1/4 OF SECTION 33 IS NOT 100% (ASSUMED) WITH POINTED MONUMENTS AS SHOWN HEREON.
- 2) THE LEGAL DESCRIPTIONS ON THIS PLAT WERE PREPARED BY ROBERT L. PETHOLD, P.S. #2016, OF THE BIRMINGHAM SURVEYING, INC., P.O. BOX 3314, EVERGREEN, CO. 80439
- 3) DATE OF THE D.W. WORK: 3/65 - 1/85.
- 4) ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEGRADES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT, OR ACCESSORY COMPLAINTS CLASS TWO(2) MISDEMEANOR PUNISHABLE TO MUST STATEMENTS 18-4-386 CFS.
- 5) NOTICE TO COLORADO: YOU MUST COMPLY WITH ALL LEGAL ACTION
- 6) DISPOSE OF SUCH INTEREST IN ANY MANNER THAT RESULTS IN ANY ACTION BASED UPON ANY INTEREST IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE

- NOTES AND RESTRUCTIONS, the following notes and restrictions shall apply to Enclosed plat:
- 1) FOR OWNERSHIP AND EASEMENTS OF RECORD THIS LAND SURVEY PLAT RELIED UPON INFORMATION SUPPLIED BY THE CLIENT OR LATER DISCOVERED TO BE UNRELIABLE.
- 2) THE SURVEY IS BASED ON THE DATA OF THE PLAT OF SECTION 13, IS N 00°00' E ASSIGNED WITH TOWNED MONUMENTS AS SHOWN HEREON.
- 3) THE LEGAL DESCRIPTIONS ON THIS PLAT WERE PREPARED BY ROBERT L. FINKOLD, JR.S #2018, OF THE FIRM EVERGREEN SURVEYING, INC., P.O. BOX 351, EVERGREEN, CO. 80439 (303)667-4444, JOB#EVR0001.
- 4) DATE OF FIELD WORK - 08/1 - 11/05.
- 5) DATE OF FIELD BOOK WORK - 08/1 - 11/05.
- 6) ALL PERMITS AND NECESSARY ALTTIES OR DEVICES ANY PUBLIC LAND SURVEYOR MUST OBTAIN PRIOR TO ANY BOUNDARY MONUMENT OR ACCESSORY COMMENTS A CLASS TWO(2) MINDEMANU PRESENTLY IN STATE VITALITY 18-4-268 CENS NOTICE. ACCORDING TO COLORADO LAW YOU MUST COMEANT AN LEGAL ACTION BASED UPON ANY DIRECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SIGNATURE HEREON.
- 7) THIS SURVEY WAS CONDUCTED AS UNASSISTED OR SURVEYED.
- 8) LOT CORNERS AND/OR OFFSET CORNERS ARE TO BE SET BY A COLORADO PROFESSIONAL LAND SURVEYOR PRIOR TO INDIVIDUAL LOT SALES.

NOTES AND RESTRUCTIONS, the following notes and restrictions shall apply to Blawwood Plat:

- 1) FOR OWNERSHIP AND EASEMENTS OF RECORD THIS LAND SURVEY PLAT RELIED UPON BY THE SUBDIVISION MAP WAS PREPARED BY THE FIRM EVERGREEN SURVEYING, INC. FOR RECORD OF THE CLANS OF THE NE 1/4 OF SECTION 13, IS N 00°00' E
- 2) BEING 10.00 ACRES OF LAND, BEING THE NE 1/4 OF SECTION 13, IS N 00°00' E (ASSIGNED) WITH TOWNED MONUMENTS AS SHOWN HEREON.
- 3) THE LEGAL DESCRIPTION ON THIS PLAT WERE PREPARED BY ROBERT L. FENOLDI, J.S. #2013, OF THE FIRM EVERGREEN SURVEYING, INC., P.O. BOX 3514, EVERGREEN, CO. 80439 (03056-4444, J03056-04).
- 4) DATE OF FIELD WORK - 3/85, 1/85.
- 5) TYPE OF FIELD WORK - 365, 1/255.
- 6) SURVEY MONUMENT OR BOUNDARY MONUMENT, ALTIMET OR DEVICES, ANY PUBLIC LAND SURVEY MONUMENT OR BOUNDARY MONUMENT, OR ACCESSORY, COMMENTS A CLASS TWO(2) MIDDLEBAND MURBANT TO STATE STATUTE 18-4-286 CDS.
- 7) NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE AN LEGAL ACTION BASED UPON ANY DIRECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DIRECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DIRECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE SURVEY.
- 8) THE SURVEY IS SHOWN HEREON PREVIOUSLY Y DEEDED OR SURVEYED.
- 9) LAND CORNERS AND OR FOREST CORNERS ARE TO BE SET BY A COLORADO PROFESSIONAL LAND SURVEYOR PRIOR TO INDIVIDUAL LOT SALES.
- 10) A 10' UTILITY AND DRAINAGE EASEMENT IS RESERVED ALONG ALL EXTERIOR REAR LOT LINES ADJOINING THE SUBDIVISION BOUNDARY.
- 11) A UTILITY AND DRAINAGE EASEMENT IS RESERVED ALONG ALL SIDE AND REAR LOT LINES ADJOINING THE SUBDIVISION BOUNDARY.
- 12) A 10' UTILITY AND DRAINAGE EASEMENT IS RESERVED ALONG ALL FRONT LOT LINES ADJOINING THE SUBDIVISION BOUNDARY.
- 13) NO FENCES OR OTHER STRUCTURES ARE TO BE LOCATED WITHIN THE VIEW TRIANGLES AT BOTH INTERSECTIONS OF BLAWWOOD LAKE.
- 14) DEVELOPMENT OF THE PROPERTY SHALL BE SUBJECT TO THE DESIGN REVIEW CRITERIA SET FORTH IN SECTION 3.32 OF THE ZONING REGULATIONS.
- 15) ALL LOTS OF THIS SUBDIVISION SHALL BE ACCESSED FROM THE PROPOSED WEST 78TH CIRCLE AND NO DIRECT ACCESS WILL BE ALLOWED TO BLAWWOOD LAKE.

NOTES AND REVISIONS, the following notes and restrictions shall apply to Elwood Road:

- 1) FOR RECORDATION AND EASEMENTS OF RECORD THIS LAND HEREBY IS PLATTED UPON INFORMATION SUPPLIED BY THE CLIENT AND PLATTED INFORMATION NOT VERIFIED BY THE PLATTEE. SECTION 15 IS IN 00'00"E
- 2) (ASSIGNED) WITH FUNDING MONUMENTS AS SHOWN HEREON.
- 3) THE LEGAL DESCRIPTION ON THIS PLAT WERE PREPARED BY ROBERT L. FENOLDI, P.S. #2015, OF THE PIMA EVERGREEN SURVEYING, INC., P.O. BOX 3514, EVERGREEN, CO. 80439
- 4) DATE OF FIELD WORK: 3/65 - 1/85.
- 5) ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR BEARING OR DISTANCE HEREON SHALL BE CONSIDERED A VIOLATOR OF THE ANTI-SURVEY ACT, P.S. 184-588 CRS
- 6) NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- 8) DIMENSIONS IN () ARE AS PREVIOUSLY DIMENDED OR SURVEYED.
- 9) LOT CORNERS (A) AND (B) OF LOT CORNERS ARE TO BE SET BY A COLORADO PROFESSIONAL SURVEYOR.
- 10) A 10' UTILITY AND DRAINAGE EASEMENT IS RESERVED ALONG ALL EXTERIOR REAR LOT LINES ADJOINING THE SUBDIVISION BOUNDARY.
- 11) A UTILITY AND DRAINAGE EASEMENT IS RESERVED ALONG ALL SIDE AND REAR LOT LINES EXCEPT AS NOTED.
- 12) A 6' GAS, UTILITY AND STRUCTURES EASEMENT IS RESERVED ALONG ALL FRONT LOT LINES.
- 13) NO FENCES OR OTHER STRUCTURES ARE TO BE LOCATED WITHIN THE VIEW TRIANGLES AT BOTH INTERSECTIONS OF ELWOOD ROAD.
- 14) THE DESIGN REVIEW CRITERIA SET FORTH IN SECTION 182 OF THE ZONING REBUD ACT SHALL APPLY.
- 15) ALL LOTS OF THIS SUBDIVISION WILL BE ACCESSED FROM THE PROPOSED WEST 78TH CIRCLE AND NO DIRECT ACCESS WILL BE ALLOWED TO ELWOOD ROAD.

SURVEYOR'S CERTIFICATE


I, ROBERT FENOLDI, A REGISTERED LAND SURVEYOR, BEING IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THERE ARE NO MISTAKES, REVISIONS, MATH OR CLERICAL ERRORS OR OTHER DEFICIENCIES IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR AFFECT THE HEREINFORERECORDED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I, FURTHER CERTIFY THAT I HAVE MADE

CERTIFICATE OF THE CLERK AND RECORDER


THIS PLAT AND DEDICATION WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER, IN THE STATE OF COLORADO, AT 2:08 PM ON THE 14th DAY OF March, 1966.

By 14

I, ROBERT HENDRI, A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THERE ARE NO SLOADE, PIPELINES, IRRIGATION DITCHES, OR OTHER EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE HEREINFORER DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAN. I FURTHER CERTIFY THAT I HAVE MADE THE SURVEY BY THIS PLAN, THAT THIS PLAN ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON.



ROBERT HENDRI
P.L.S. 620136



C-26	30.34/1	98.2/	52.43	26.65	51.81
C-29	90703.00	25.00	36.27	25.00	35.35
C-30	31271.9	98.27	53.95	53.77	53.77
C-32	725.45	285.00	19.15	38.27	38.27
C-33	1015.29		6.37	13.41	13.41
C-34	3125.22	98.27	53.80	37.64	53.70

Station	Time	Lat	Long	Alt	Temp	Wind	Pressure	Humidity	Clouds	Visibility	Remarks
C-35	1704'18"	245.00°	73.00'	36.77'	72.73°						
C-36	538'28"	245.00°	24.12'	12.07'	74.11°						
C-37	08'27"	245.00°	1.81'	2.00'	74.11°						

Case	Age	Sex	Duration	Location	Findings
C-35	1704-18	Male	73.00	72.73	Electrocardiogram
C-34	246.00	Female	36.77	72.73	Electrocardiogram
C-33	246.00	Male	25.12	72.73	Electrocardiogram
C-32	246.00	Male	25.12	72.73	Electrocardiogram
C-31	246.00	Male	25.12	72.73	Electrocardiogram
C-30	246.00	Male	25.12	72.73	Electrocardiogram
C-29	246.00	Male	25.12	72.73	Electrocardiogram
C-28	246.00	Male	25.12	72.73	Electrocardiogram
C-27	246.00	Male	25.12	72.73	Electrocardiogram
C-26	246.00	Male	25.12	72.73	Electrocardiogram
C-25	246.00	Male	25.12	72.73	Electrocardiogram
C-24	246.00	Male	25.12	72.73	Electrocardiogram
C-23	246.00	Male	25.12	72.73	Electrocardiogram
C-22	246.00	Male	25.12	72.73	Electrocardiogram
C-21	246.00	Male	25.12	72.73	Electrocardiogram
C-20	246.00	Male	25.12	72.73	Electrocardiogram
C-19	246.00	Male	25.12	72.73	Electrocardiogram
C-18	246.00	Male	25.12	72.73	Electrocardiogram
C-17	246.00	Male	25.12	72.73	Electrocardiogram
C-16	246.00	Male	25.12	72.73	Electrocardiogram
C-15	246.00	Male	25.12	72.73	Electrocardiogram
C-14	246.00	Male	25.12	72.73	Electrocardiogram
C-13	246.00	Male	25.12	72.73	Electrocardiogram
C-12	246.00	Male	25.12	72.73	Electrocardiogram
C-11	246.00	Male	25.12	72.73	Electrocardiogram
C-10	246.00	Male	25.12	72.73	Electrocardiogram
C-9	246.00	Male	25.12	72.73	Electrocardiogram
C-8	246.00	Male	25.12	72.73	Electrocardiogram
C-7	246.00	Male	25.12	72.73	Electrocardiogram
C-6	246.00	Male	25.12	72.73	Electrocardiogram
C-5	246.00	Male	25.12	72.73	Electrocardiogram
C-4	246.00	Male	25.12	72.73	Electrocardiogram
C-3	246.00	Male	25.12	72.73	Electrocardiogram
C-2	246.00	Male	25.12	72.73	Electrocardiogram
C-1	246.00	Male	25.12	72.73	Electrocardiogram

C-42	653°04'	295.00°	35.45'	17.74'	38.42'	4.51710E+01
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DATE	8/19/95	JOB NO.	E6074
DRK NO.	CHURCH	ACID DNG	PKLOS
FB NO.	35/1	DRGMM BY	EP
REF NO.		CHECKED BY	PT, [5]

COUNTY CLERK AND RECORDER
BY: *Donna M. Taylor*
DEPUTY
FILE NO. 17
MAP NO. 537
RECEPTION NO. C0184761

[illegible]

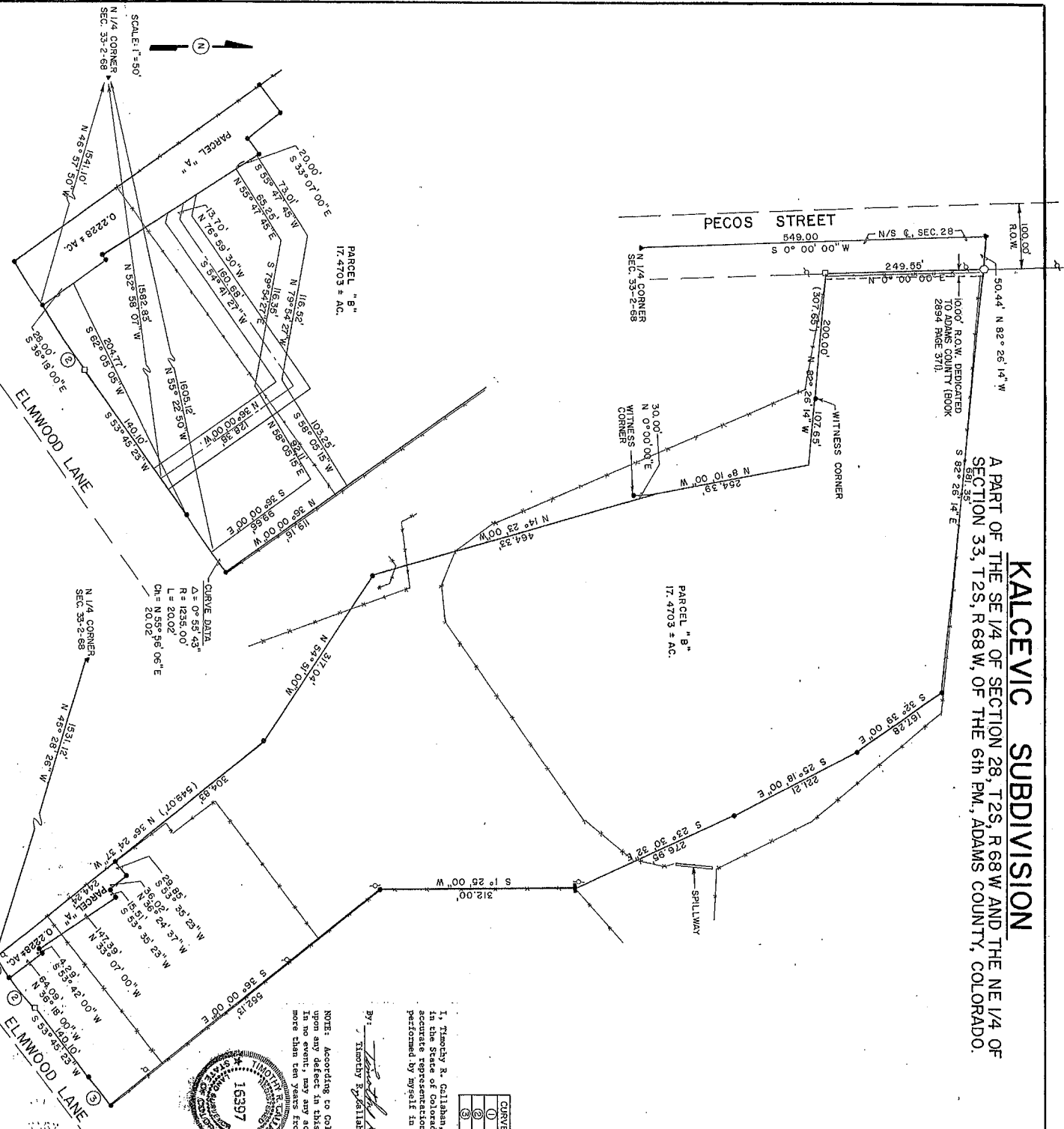
CASE NO. 739-95-P

UNPLATTED
BK 746, PAGE 180
(PARCEL B)

LEGEND

KALCEVIC SUBDIVISION

A PART OF THE SE 1/4 OF SECTION 28, T2S, R68W AND THE NE 1/4 OF SECTION 33, T2S, R68W, OF THE 6th PM, ADAMS COUNTY, COLORADO.



- LEGEND**
- EXIST. FENCE LINE
 - PIN & CAP FOUND, LS # 2730
 - PIN & CAP FOUND, LS # 16823
 - 1/4" PIN FOUND IN ASPHALT
 - ALUMINUM CAP PLACED ON FOUND REBAR, LS # 16397
 - SET PIN & CAP LS # 16397
 - POWER POLE.

CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	CHORD
①	2° 00' 18"	1176.49	41.17'	S 57° 48' 13" W 41.17'
②	3° 02' 41"	1176.49	62.52'	S 55° 16' 44" W 62.51'
③	2° 38' 34"	1235.00	56.96'	S 55° 04' 40" W 56.96'

I, Timothy R. Callahan, do hereby certify that I am a registered land surveyor in the State of Colorado. I also certify that this plat is a complete and accurate representation, to the best of my knowledge and belief, of a survey performed by myself in March and April, 1984.

By: *Timothy R. Callahan* Date: *May 14, 1984*
Timothy R. Callahan, LS#16397

NOTE: According to Colorado Law, you must commence any legal action based upon any defect in this survey within the time specified in the statute. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.



CITY OF THORNTON
UTILITIES DEPARTMENT

KALCEVIC SUBDIVISION

DESIGN TR.C.	DRAWN C. RANELL	CHECKED TR.C.
REV. DATE	DESCRIPTION	JOB NO.
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SHEET 1 OF 3

KALCEVIC SUBDIVISION AMENDED	
JOB NO. 89N060	DATE 4/12/90

KALCEVIC SUBDIVISION AMENDED

A PART OF THE SE 1/4 OF SECTION 28, T2S, R68W, AND
THE NE 1/4 OF SECTION 33, T2S, R68W, OF THE 6TH P.M.,
ADAMS COUNTY, STATE OF COLORADO
SHEET 2 OF 3

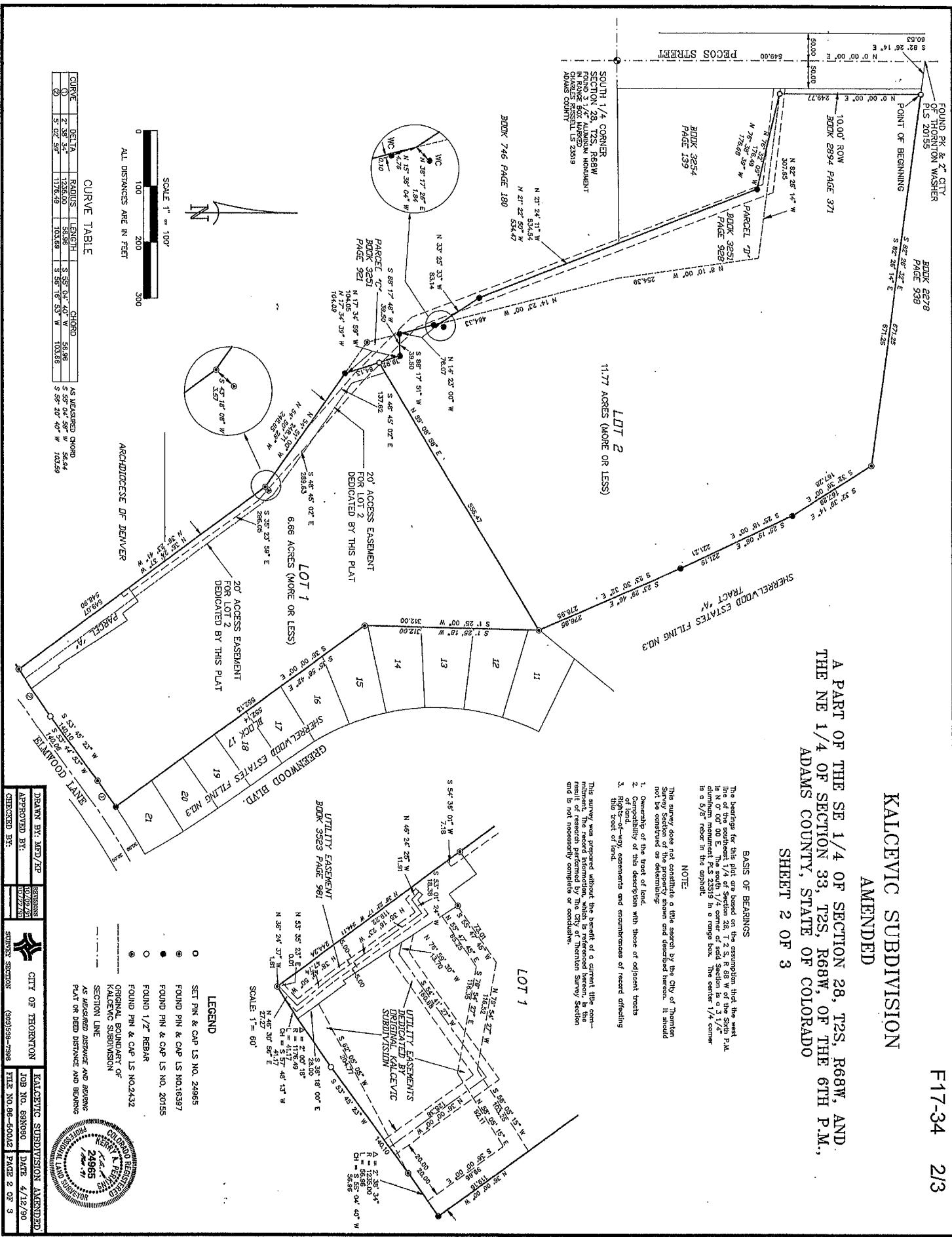
BASIS OF BEARINGS

The bearings for this plat are based on the assumption that the west line of the southeast 1/4 of Section 28, T.2S., R.68W. of the 6th P.M. is N 0° 00' 00" E. The south 1/4 corner of said Section is a 3 1/2" aluminum monument PLS 23519 in a range box. The center 1/4 corner is a 6 3/8" rock in the gravel.

NOTE

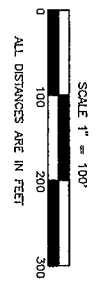
1. This survey does not constitute a title search by the City of Thornton Survey Section of the property shown and described herein. It should not be construed as determining.
2. Ownership of the tract of land.
3. Competibility of this description with those of adjacent tracts.
4. Right-of-way, easements and encumbrances of record affecting the tract of land.

This survey was prepared without the benefit of a current title commitment. The record information, which is referenced herein, is the responsibility of the person providing the information to the City of Thornton Survey Section and is not necessarily complete or conclusive.



CURVE	DATA	RADIUS	LENGTH	CHORD
1	2° 38' 54"	1235.00	55.86	55.86
2	5° 02' 59"	1176.49	103.69	103.66
3	5° 02' 59"	1176.49	103.69	103.66

CURVE TABLE



ARCHDIOCESE OF DENVER

LEGEND

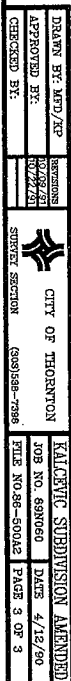
- SET PIN & CAP LS NO. 24965
- FOUND PIN & CAP LS NO. 16397
- FOUND PIN & CAP LS NO. 20155
- FOUND 1/2" REBAR
- FOUND PIN & CAP LS NO. 2432

ORIGINAL BOUNDARY OF
KALCEVIC SUBDIVISION
SECTION LINE
AS MEASURED DISTANCE AND BEARINGS
PLAT OR DEED DISTANCE AND BEARINGS



DRAWN BY: MTD/KP	REVISIONS	CITY OF THORNTON	KALCEVIC SUBDIVISION AMENDED	JOB NO. 880060	DATE 4/12/90
APPROVED BY:	10/03/93				
CHECKED BY:	02/22/93				
SURVEY SECTION		(405)958-7980	F17E NO.06-40002	PAGE 2 OF 3	

A PART OF THE SE 1/4 OF SECTION 28, T2S, R68W, AND THE NE 1/4 OF SECTION 33, T2S, R68W, OF THE 6TH P.M., ADAMS COUNTY, STATE OF COLORADO



KALCEVIC SUBDIVISION AMENDED

A PART OF THE SE 1/4 OF SECTION 28, T2S, R68W, AND
THE NE 1/4 OF SECTION 33, T2S, R68W, OF THE 6TH P.M.,
ADAMS COUNTY, STATE OF COLORADO

SHEET 1 OF 3

Certification of Dedication and Ownership

Know all men by these presents that the City of Thornton, a municipality, being the owner of that part of the Kalcevic Subdivision, as it is recorded in File 16 Map 142 at the Adams County Clerk and Recorder's Office, located in the southeast 1/4 of Section 28 and the northeast 1/4 of Section 33 Township 2 South, Range 68 West of the Sixth Principal Meridian, Adams County, State of Colorado, said parcel being more particularly described as follows:

Commencing at the south 1/4 corner of said Section 28; thence, coincident with the north/south center line of said Section 28, North 00° 00' 00" East a distance of 549.00 feet; thence South 82° 26' 14" East a distance of 60.53 feet to the east right-of-way line of Pecos Street and the south line of a parcel recorded in Book 2278 at Page 938 at said office, said point being the Point of Beginning; thence, coincident with said south line, South 82° 26' 14" East a distance of 671.26 feet to a point on the west line of the third filing of Sherrelwood Estates as recorded in File 10 as Map 335 at said office; thence, coincident with said west line, the following courses and distances:

South 32° 39' 00" East a distance of 167.28 feet;
South 25° 18' 00" East a distance of 221.21 feet;
South 23° 30' 32" East a distance of 276.95 feet;
South 01° 25' 00" West a distance of 312.00 feet;
South 36° 00' 00" East a distance of 552.13 feet to the

north right-of-way line of Elmwood Lane; thence, coincident with said north right-of-way line, along a curve to the left having a radius of 1235.00 feet, through a central angle of 02° 38' 34" an arc distance of 56.96 feet, whose chord bears South 55° 04' 40" West a chord distance of 56.96 feet to a point of tangency; thence, coincident with said north right-of-way line, South 53° 45' 23" West a distance of 140.10 feet; thence, coincident with said north right-of-way line, along a curve to the right having a radius of 1176.49 feet, through a central angle of 05° 02' 59" an arc distance of 103.69 feet, whose chord bears South 56° 16' 53" West a chord distance of 103.66 feet to the east line of a parcel owned by the Archdiocese of Denver; thence, coincident with said east line, North 36° 24' 37" West a distance of 549.07 feet; thence, coincident with the east line of a parcel recorded in Book 746 at Page 180 at said office, North 54° 51' 00" West a distance of 248.71 feet to the east line of a parcel recorded in Book 3251 at Page 921 at said office; thence, coincident with said east line, North 17° 34' 59" West a distance of 104.05 feet to the north line of said parcel; thence, coincident with said north line, South 88° 17' 51" West a distance of 39.50 feet to the east line of said parcel described in Book 746 at Page 180; thence, coincident with said east line, North 14° 23' 00" West a distance of 76.07 feet to the west line of a parcel recorded in Book 3251 at Page 928 at said office; thence, coincident with said west line and the east line of a parcel described in Book 3254 at Page 139 at said office, the following courses and distances:

North 33° 25' 33" West a distance of 83.14 feet;
North 21° 24' 11" West a distance of 534.54 feet;
North 76° 32' 09" West a distance of 176.49 feet to said

east right-of-way line of Pecos Street; thence, coincident with said east right-of-way line, North 00° 00' 00" East a distance of 249.77 feet to the south line of said parcel described in Book 2278 at Page 938, said point being the POINT OF BEGINNING, containing 18.43 acres more or less;

have by these presents laid out, platted and subdivided the same into lots and blocks as shown on this plat under the name and style of "Kalcevic Subdivision Amended", and do hereby dedicate to the County of Adams, State of Colorado, for public use all streets and other public ways and lands as shown on this plat, forever, and also reserve those real property which are labeled as utility easements on this plat for the installation and maintenance of utilities and drainage facilities, including but not limited to electric lines, gas lines, telephone lines, water lines, sewer lines; together with the right to trim interfering trees and brush, together with a perpetual right of ingress and egress for installation, maintenance, and replacement of such lines; said easements and rights are to be utilized in a responsible and prudent manner. Executed this 5th day of November 1991.

Jack Ethredge
City of Thornton (Owner)
Jack Ethredge (City Manager)

Acknowledgement

State of Colorado)

) SS

City of Thornton)

The foregoing plat and dedication was acknowledged before me this 5th day of November 1991 by JACK ETHREDGE

Paula A. Meier
Notary Public

My commission expires July 29, 1995

My address is: 9500 Civic Ctr. Dr.

SURVEYOR'S CERTIFICATE

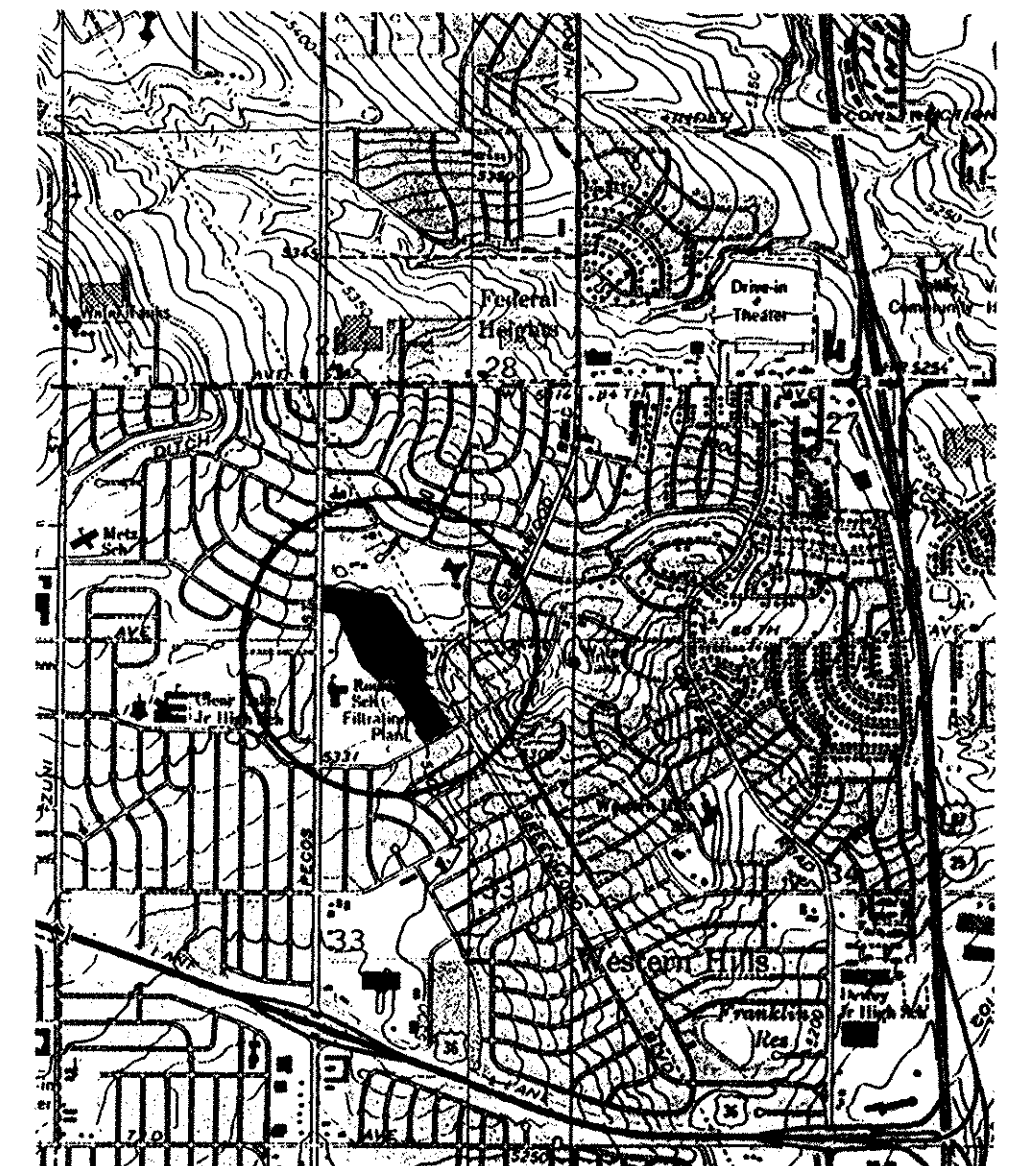
I, Kerry A. Perkins, a licensed professional Land Surveyor in the State of Colorado, do hereby state that the survey of this plat was made under my direct supervision and that the accompanying plat accurately and properly shows said subdivision in conformance with Title 38, Article 51 of the Colorado Revised Statutes as amended.



Kerry A. Perkins
KERRY A. PERKINS PLS 24965
Acting City Surveyor
For and on behalf of the
City of Thornton
Date 1 November 91
Job No. 89N060

SURVEYOR'S NOTICE C.R.S. Section 13-80-105

NOTICE: According to Colorado law, any legal action based upon any defect in this survey must be commenced within three years after discovering such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.



VICINITY MAP
SCALE: 1" = 2000'

Notes and Restrictions

The following notes and restrictions shall apply to Kalcevic Subdivision Amended:

None

Planning Commission Approval:

Approved by the Adams County Planning Commission this 10th day of OCTOBER 1991.

Ed Lapsport
Chairman

Board of County Commissioners Approval:

Approved by the Adams County Board of County Commissioners this 21st day of OCTOBER 1991.

Harold Ethredge
Chairman

Clerk and Recorder's Certificate

This plat and dedication was filed for record in the office of the Adams County Clerk and Recorder, in the State of Colorado, at 8:00 A.M. on the 6 day of Jan, 1992.



Robert Sack
County Clerk and Recorder

By: *Genis L. Reasoner*
Deputy

File No. 17

Map No. 34

Reception No. B1041161

DRAWN BY: MFD/KP	REVISIONS	 CITY OF THORNTON	KALCEVIC SUBDIVISION AMENDED	
APPROVED BY:	10/09/91		JOB NO. 89N060	DATE 4/12/90
CHECKED BY: 	10/22/91		FILE NO. 86-500A2	PAGE 1 OF 3
SURVEY SECTION (303)538-7398				

KALCEVIC SUBDIVISION
AMENDED

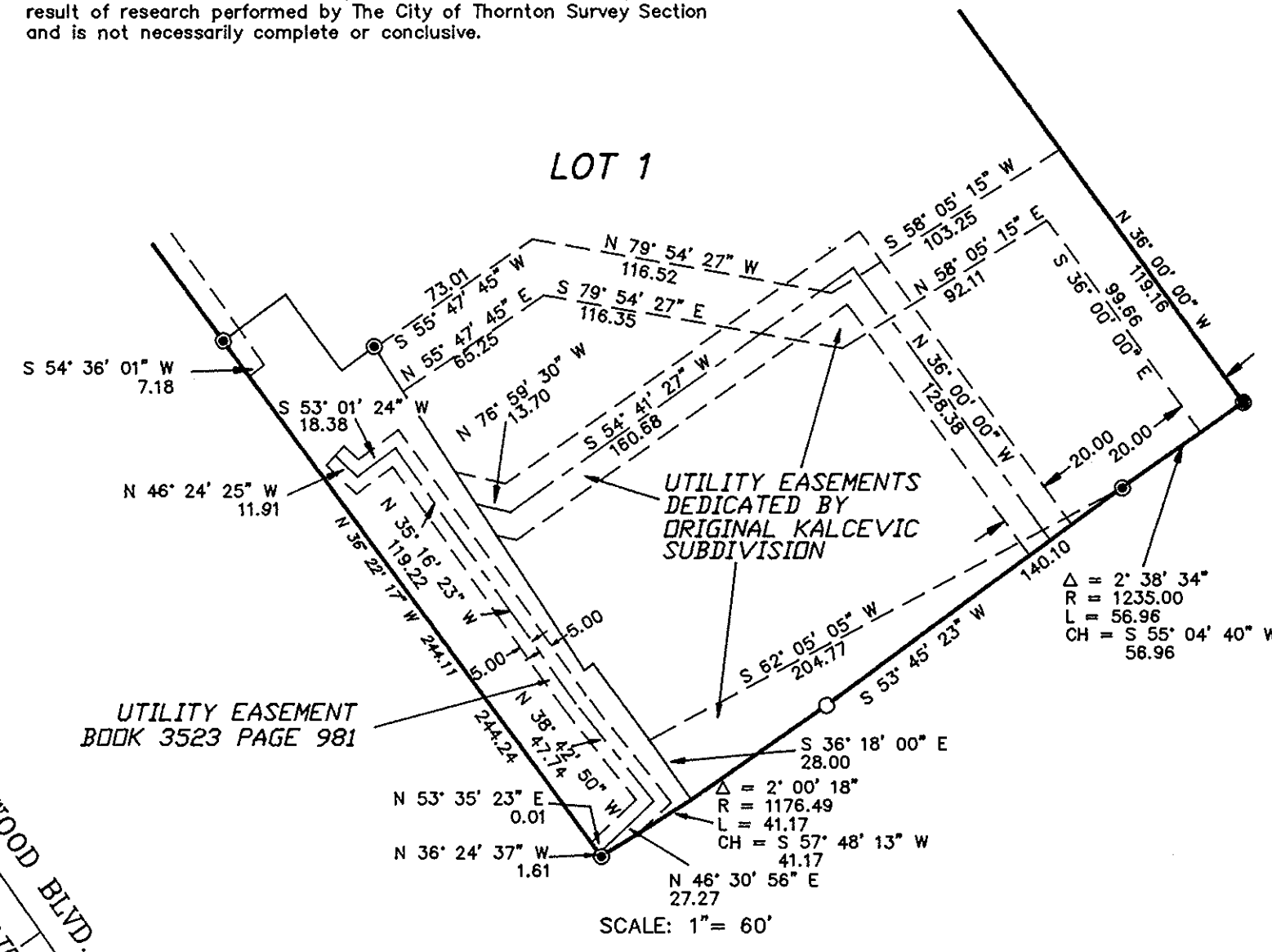
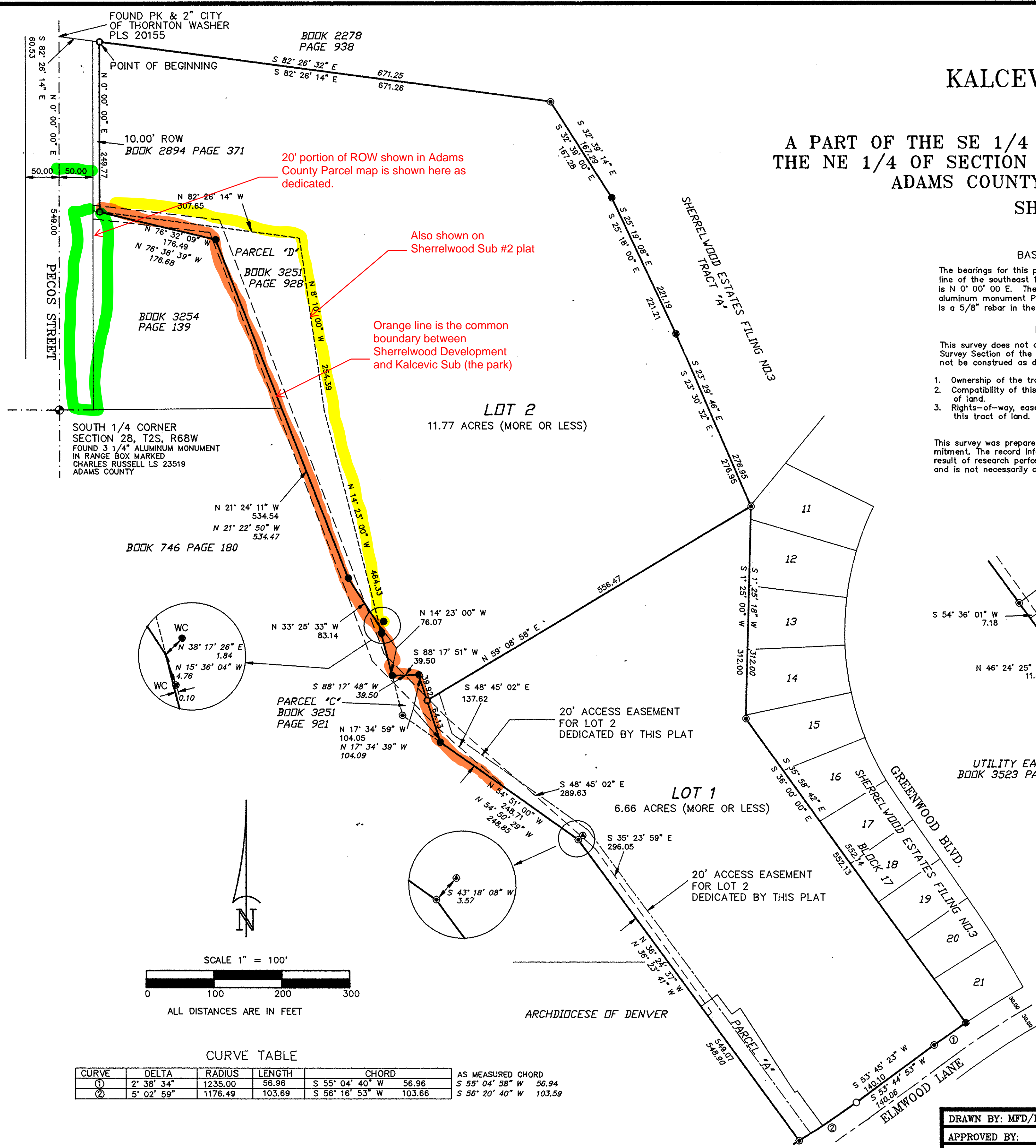
A PART OF THE SE 1/4 OF SECTION 28, T2S, R68W, AND
THE NE 1/4 OF SECTION 33, T2S, R68W, OF THE 6TH P.M.,
ADAMS COUNTY, STATE OF COLORADO
SHEET 2 OF 3

BASIS OF BEARINGS
The bearings for this plat are based on the assumption that the west line of the southeast 1/4 of Section 28, T 2 S, R 68 W of the Sixth P.M. is N 0° 00' 00" E. The south 1/4 corner of said Section is a 3 1/4" aluminum monument PLS 23519 in a range box. The center 1/4 corner is a 5/8" rebar in the asphalt.

NOTE:
This survey does not constitute a title search by the City of Thornton Survey Section of the property shown and described hereon. It should not be construed as determining:

1. Ownership of the tract of land.
2. Compatibility of this description with those of adjacent tracts of land.
3. Rights-of-way, easements and encumbrances of record affecting this tract of land.

This survey was prepared without the benefit of a current title commitment. The record information, which is referenced hereon, is the result of research performed by The City of Thornton Survey Section and is not necessarily complete or conclusive.



CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD
1	2° 38' 34"	1235.00	56.96	S 55° 04' 40" W 56.96
2	5° 02' 59"	1176.49	103.69	S 56° 16' 53" W 103.66

AS MEASURED CHORD
S 55° 04' 58" W 56.94
S 56° 20' 40" W 103.59

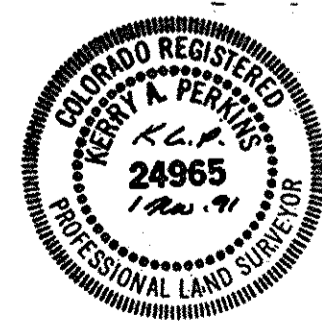
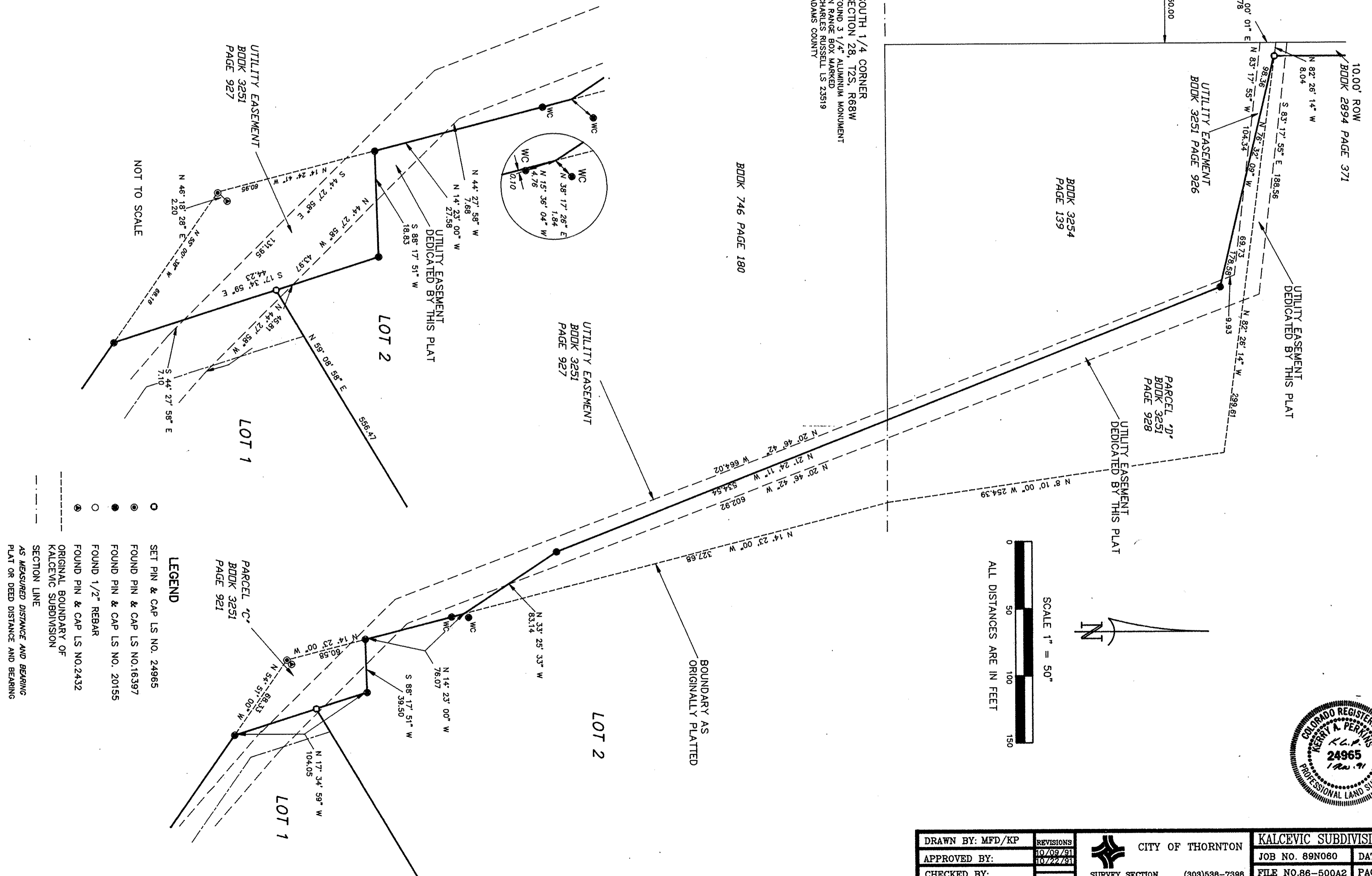
- LEGEND**
- SET PIN & CAP LS NO. 24965
 - FOUND PIN & CAP LS NO.16397
 - FOUND PIN & CAP LS NO. 20155
 - FOUND 1/2" REBAR
 - FOUND PIN & CAP LS NO.2432
 - ORIGINAL BOUNDARY OF KALCEVIC SUBDIVISION
 - - - SECTION LINE
 - AS MEASURED DISTANCE AND BEARING
 - PLAT OR DEED DISTANCE AND BEARING



KALCEVIC SUBDIVISION AMENDED

A PART OF THE SE 1/4 OF SECTION 28, T2S, R68W, AND
THE NE 1/4 OF SECTION 33, T2S, R68W, OF THE 6TH P.M.,
ADAMS COUNTY, STATE OF COLORADO

SHEET 3 OF 3



DRAWN BY: MFD/KP	REVISIONS	CITY OF THORNTON SURVEY SECTION (303)538-7398	KALCEVIC SUBDIVISION AMENDED	
APPROVED BY:	10/09/91 10/22/91		JOB NO. 89N060	DATE 4/12/90
CHECKED BY:			FILE NO.86-500A2	PAGE 3 OF 3

At a regular meeting of the Board of County Commissioners for Adams County, Colorado,
held at the Administration Bldg. in Brighton on Wednesday, the 4th day of
February, A.D. 1987, there were present:

<u>Leo M. Younger</u>	Commissioner Chairman
<u>Steven E. Cramer</u>	Commissioner
<u>Harold E. Kite</u>	Commissioner
<u>Mike Kaminski</u>	County Attorney
<u>Wilma Thatcher, Deputy</u>	Clerk of the Board

when the following proceedings, among others were held and done, to-wit:

RESOLUTION ACCEPTING DEED FROM COMMUNITY OUTREACH PROJECT
THERAPEUTIC DAYCARE CENTER

WHEREAS, the Adams County Planning Commission has considered the advisability of accepting deed from Community Outreach Project Therapeutic Daycare Center to Adams County, a body politic, for the following described property:

Legal Description as set forth in Exhibit "A" attached hereto and incorporated by this reference.

WHEREAS, this property is being dedicated for street right-of-way and is approximately located east of Pecos Street between West 79th Way and Orchard Way; and,

WHEREAS, the Adams County Planning Commission has recommended by Resolution of January 22, 1987, that the Board of County Commissioners accept said Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners of the County of Adams, State of Colorado, that the Deed from Community Outreach Project Therapeutic Daycare Center is hereby accepted.

WILLIAM SOKOL
COUNTY RECORDER
ADAMS COUNTY, COLO.
FEB 5 8 00 AM '87

6715200

Upon motion duly made and seconded the foregoing Resolution was adopted by the following vote:

<u>Younger</u>	Aye
<u>Cramer</u>	Aye
<u>Kite</u>	Aye

Commissioners

STATE OF COLORADO

County of Adams

} ss.

I, William Sokol, County Clerk and ex-officio Clerk of the Board of County Commissioners in and for the County and State aforesaid do hereby certify that the annexed and foregoing Order is truly copied from the Records of the Proceedings of the Board of County Commissioners for said Adams County, now in my office.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County, at Brighton, this
4th day of February, A.D. 1987

County Clerk and ex-officio Clerk of the Board of County Commissioners

William Sokol

By Wilma Thatcher
Deputy



THIS DEED, Made this 8th day of OCTOBER, 1986, between Community Outreach Project Therapeutic Daycare Center, a Colorado Corporation a corporation duly organized and existing under and by virtue of the laws

of the State of Colorado of the first part, and Adams County, a body politic, 450 South 4th Avenue, Brighton, Colorado 80601

of the County of Adams and State of Colorado of the second part:

Recorder's Stamp

WITNESSETH, That the said party of the first part, for and in consideration of the sum of Good and Valuable Considerations-----DOLLARS, to the said party of the first part in hand paid by the said part Y of the second part, the receipt whereof is hereby confessed and acknowledged, hath granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm unto the said party of the second part, its successors heirs, and assigns forever, all of the following described lot or parcel of land, situate, lying and being in the County of Adams and State of Colorado, to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated by this reference.

Dedicated for Pecos Street

TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining, and the reversion or reversions, remainders, rents, issues and profits thereof; and all the estate, right, title, interest, claim and demand whatsoever of the said party of the first part, either in law or equity, of, in and to the above bargained premises with the hereditaments and appurtenances.

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances unto the said part y of the second part its successors heirs and assigns forever. And the said Community Outreach Project Therapeutic Daycare Center, a Colorado Corporation

party of the first part, for itself, and its successors, doth covenant, grant, bargain, and agree to and with the said part Y of the second part, its successors heirs and assigns, that at the time of the ensealing and delivery of these presents it is well seized of the premises above conveyed, as of a good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and hath good right, full power and lawful authority to grant, bargain, sell and convey the same in manner and form aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments and incumbrances of whatever kind or nature soever; with no exceptions.

and the above bargained premises in the quiet and peaceable possession of the said part Y of the second part its successors heirs and assigns, against all and every person or persons lawfully claiming or to claim the whole or any part thereof, the said party of the first part shall and will WARRANT AND FOREVER DEFEND.

IN WITNESS WHEREOF, The said party of the first part hath caused its corporate name to be hereunto subscribed by its President, and its corporate seal to be hereunto affixed, attested by its Secretary, the day and year first above written.

Attest:

Timothy E. Glasgow

Secretary.

Community Outreach Project Therapeutic Daycare Center, a Colorado Corporation

By Gordon P. Schick

President.

STATE OF COLORADO,

County of Adams

ss.

The foregoing instrument was acknowledged before me this 8th day of October, 1986, by Gordon P. Schick as President and Timothy E. Glasgow as Secretary of Community Outreach Project Therapeutic Daycare Center, a Colorado Corporation.

My notarial commission expires

Witness my hand and official seal.

Martha S. Hall

My address is: 1010 Depot Hill Road, Suite 104, Broomfield, CO 80020

Notary Public.

Community Outreach Project
Therapeutic Daycare Center

Exhibit "A"

That part of the Southeast 1/4 of Section 28, Township 2 South, Range 68 West of the 6th P.M., County of Adams, State of Colorado, more particularly described as follows:

Beginning at the South 1/4 corner of said Section 28; thence N89°55'33"E a distance of 30.00 feet to the True Point of Beginning; thence N00°00'00"E parallel with the west line of said Southeast 1/4 a distance of 295.42 feet; thence S82°26'14"E a distance of 20.18 feet to a point 50.00 feet East of the west line of said Southeast 1/4; thence S00°00'00"E parallel with the west line of said Southeast 1/4 a distance of 292.74 feet; thence S89°55'33"W a distance of 20.00 feet to the True Point of Beginning.

Contains 5,881.58 square feet or 0.135 acres more or less.

(The Bearings and Distances are derived from the Kalcevic Subdivision Plat as recorded August 23, 1984, County of Adams, State of Colorado in File 16, Map Number 142, Reception Number B 523787.)

At a regular meeting of the Planning Commission for Adams County, Colorado, held at the Administration Building in Brighton on Thursday, the 22nd day of January, 1987 A.D., the following proceedings, among others, were had and done; to wit:

WHEREAS, The Adams County Planning Commission has considered the advisability of accepting a deed from Community Outreach Project Therapeutic Daycare Center to Adams County, a body politic, for the following described property:

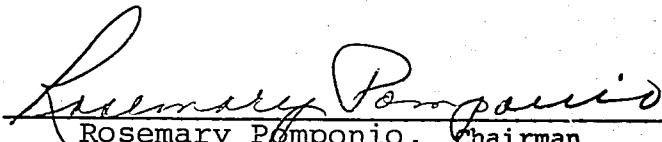
Legal description as set forth in Exhibit "A" attached hereto and incorporated by this reference.

AND WHEREAS this property is being dedicated for street right-of-way and is approximately located east of Pecos Street between West 79th Way and Orchard Way,

NOW, THEREFORE, BE IT RESOLVED that the Adams County Planning Commission recommends to the Board of County Commissioners that said deed be accepted by the Board of County Commissioners.

Upon motion duly made and seconded the foregoing resolution was adopted.

I, Rosemary Pomponio, Chairman of the Adams County Planning Commission do hereby certify that the annexed and foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.


Rosemary Pomponio, Chairman
Adams County Planning Commission

LEGAL DESCRIPTION:

A PARCEL OF LAND AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2019000075343, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE SOUTH QUARTER CORNER OF SAID SECTION 28, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE SOUTHEAST CORNER OF SAID SECTION 28, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 28, THENCE N 89°30'30" E, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 50.00 FEET TO THE NORTHWEST CORNER OF SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940, SAID ADAMS COUNTY RECORDS, ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS AND THE POINT OF BEGINNING;

THENCE N 00°14'47" W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.01 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL OF LAND DESCRIBED IN RECEPTION NO. 2019000075343;

THENCE S 82°41'00" E, ALONG SAID NORTH LINE, A DISTANCE OF 8.12 FEET TO THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D, THE FOLLOWING TWO (2) COURSES:

1. S 76°46'56" E, A DISTANCE OF 178.56 FEET;
2. S 21°38'59" E, ALONG THE EAST LINE OF SAID PARCEL DESCRIBED IN BOOK RECEPTION NO. 2019000075343, A DISTANCE OF 267.62 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28 ALSO BEING THE NORTHEAST CORNER OF SAID SHERRELWOOD VILLAGE PLAT;

THENCE S 89°30'30" W, ALONG THE NORTH LINE OF SAID SHERRELWOOD VILLAGE PLAT AND ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 279.36 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 61,556 SQUARE FEET OR 1.413 ACRES, MORE OR LESS.

LEGAL DESCRIPTION:

A PARCEL OF LAND AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2019000073502, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE S 56°38'28" E, A DISTANCE OF 35.90 FEET TO THE NORTHWEST CORNER OF THAT PARCEL OF LAND DESCRIBED AT SAID RECEPTION NO. 2019000073502, BEING A POINT 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 AND 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 AND THE POINT OF BEGINNING;

THENCE N 89°30'30" E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, AND ALONG THE SOUTH LINE OF TRACT D, SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940, SAID ADAMS COUNTY RECORDS, A DISTANCE OF 208.00 FEET TO THE SOUTHEAST CORNER OF SAID TRACT D; THENCE S 00°01'53" W, ALONG THE WEST LINE OF SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 208.00 FEET TO THE NORTHEAST CORNER OF TRACT B, SAID SHERRELWOOD VILLAGE PLAT; THENCE S 89°30'30" W, ALONG THE NORTH LINE OF SAID TRACT B, A DISTANCE OF 208.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE N 00°01'53" E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 43,262 SQUARE FEET OR 0.993 ACRES, MORE OR LESS.