



Re-submittal Form

Case Name/ Number: _____

Case Manager: _____

Re-submitted Items:

- ☐ Development Plan/ Site Plan
- ☐ Plat
- ☐ Parking/ Landscape Plan
- ☐ Engineering Documents
- ☐ Subdivision Improvements Agreement (Microsoft Word version)
- ☐ Other: _____

*** All re-submittals must have this cover sheet and a cover letter addressing review comments.**

Please note the re-submittal review period is 21 days.

The cover letter must include the following information:

- Restate each comment that requires a response
- Provide a response below the comment with a description of the revisions
- Identify any additional changes made to the original document

For County Use Only:

Date Accepted:

Staff (accepting intake):

Resubmittal Active: Addressing, Building Safety, Neighborhood Services,

Engineering, Environmental, Parks, Planner, ROW, SIA - Finance, SIA - Attorney

January 10, 2022

Adams County
Attn: Layla Bajelan
4430 S. Adams County Parkway
Brighton, CO 80601

Re: Clear Creek Valley (Previously TTLC Denver – Lowell) – 3rd Review Comments
Project Number: PRC2021-00002

Dear Ms. Bajelan:

Thank you for taking the time to review the third submittal of Clear Creek Valley (Previously TTLC Denver-Lowell) Rezone, Planned Unit Development-Preliminary Development Plan and Major Subdivision Preliminary Plat along with County staff. Valuable feedback was received on November 3, 2021. Detailed responses to comments made can be found on the following pages. Additionally, we have included documentation pertaining to previous comments regarding a well on this site which are noted on pages 6-11. Furthermore, Colorado Division of Water Resources can provide a confirmation letter if requested by Adams County. Please feel free to reach out should you have any questions or concerns by phone, 303-892-1166 or by email, emather@norris-design.com.

We look forward to working with Adams County to make this project a success.

Thank you,



Eva Mather
Principal

Development Services, Planning – Layla Bajelan (720-523-6863; lbajelan@adcogov.org)

PLN01: Preliminary Plat

1. Please provide the lot width in feet and inches to demonstrate that the lots are meeting the minimum 24' 8' lot width.

Response: Lot widths shown. Lots are 24.67', or 24' 8" meeting minimum lot width

2. Why are there two parcels being proposed?

Response: There are currently 2 existing parcels that make up the site. We are proposing that they be combined into one parcel.

Preliminary Development Plan

3. Please see attached edits.

Response: Please see redlines attached to comment response letter for specific responses to comments.

Development Services, Engineering – Eden Steele (720-523-6897; esteeel@adcogvo.org)

1. The 65th Ave entrance is showing alterations to the 65th Ave cross-section within the public ROW. Roadway curves or tapers must occur within the private roadway tracts. The applicant must demonstrate the radius of curvature or taper transition is appropriate for a 25 mph residential speed limit. Private roadway configurations shall not negatively impact public roadway systems, nor the health and safety of County residents.

Response: Per conversations with public works, we have expanded the 65th Ave entrance to the existing width at ROW and are not altering the public ROW.

2. Monument signs for the development shall not be placed in the public ROW at either access point.

Response: Noted, no monument signs will be placed in the public ROW at either access point.

3. Perpendicular parking is placed too close to the 64th Ave access and will impede westbound right turn movements, especially since no right turn deceleration lane is proposed in the 64th Ave ROW. Perpendicular parking should be setback a minimum of 60 feet from the access intersection to provide onsite storage for vehicles entering the development.

Response: Parking has been removed near the 64th Ave access area.

4. Plans appear to show detached walk along 64th Ave and landscaping within the public ROW. Is the sidewalk within the ROW or on private property? The proposed sidewalk must connect with the sidewalk to the west and no landscaping shall be placed within the site distance triangle. Alterations to County cross sections requires approval from the Director of Public Works.

Response: The detached walk is on private property and a sidewalk easement has been added to this area. As the existing curb, gutter and walk is integral, we will be replacing the curb and gutter along the 64th Ave and providing landscaping in public ROW.

5. The secondary (northern) crosswalk at the 64th Ave access is too close to the intersection/turn radius and presents a safety hazard.

Response: Crosswalk has been removed.

6. MHFD must approve landscaping within the Hidden Lake Drainageway tract. Who will maintain the proposed landscaping? Agreements and/or easements may be required, which would involve MHFD and County Facilities & Fleet Management Department.

Response: No landscaping is proposed within the Hidden Lake Drainageway tract and will not require MHFD approval.

7. Tract boundaries must reflect changes to parking, open space, and drainage configurations.

Response: Tract boundaries updated

Development Services, Right-of-Way Agent – David Dittmer (720-523-6811; ddittmer@adcogov.org)

1. Correct title of preliminary plat to read “CLEAR CREEK VALLEY SUBDIVISION PRELIMINARY PLAT” and correct the location by T-R-S

Response: The title of the preliminary plat has been corrected and is reflected on all preliminary plat sheets

2. Provide OWNERSHIP AND DEDICATION CERTIFICATION, which will include the following information:
 - 1) Ownership by name/entity and vesting deed
 - 2) Legal description of entire lot prior to subdivision
 - 3) Legal subdivision of parcels (1 and 2)

Response: Ownership and Dedication Certification statement added with required information

3. Legal description of current lot needs to provide a POINT OF COMMENCEMENT AND POINT OF BEGINNING, based of Basis of Bearings, including all monuments used or set according to Colorado Revised Statutes, and a legend for the different types of monuments

Response: Point of commencement has been provided on page 5 and monuments have been shown on page 2.

4. Basis of Bearings and other provided statements will be Plat Notes.

Response: Plat notes have been revised.

5. Need to specify what utilities are allowed with the utility easements and drainage easements

Response: Drainage easement note added on cover sheet.

6. Property cannot dedicate anything. Dedication must include all necessary information as to Blocks, Lots, Tracts, Easement, etc. Have by these presents laid out, platted and subdivided the same into Blocks, Lots, Tracts, Streets and Easements as shown on this plat under the name and style of Clear Creek Valley Subdivision Preliminary Plat. The undersigned does hereby dedicate, grant and convey to Adams County Tract B as shown on the plat; and further restricts the use of all public easements to Adams County and/or its assigns, provided however, that the sole right and authority to release or quitclaim all or any such public easements shall remain exclusively vested in Adams County

Response: Notes on cover page revised to dedicate tract B to Adams County per language above.

7. Vicinity map should include all property within a 2- or 3-mile radius and does not need to be to scale.

Response: Vicinity Map Revised

8. The actual limits of the Drainage Easement will be dedicated by separate instrument with access to same even though it is situated within TRACT B. This will be part of the C.O.

Response: Noted

9. Cannot place parking stalls within a Dedicated Open Space/Common Area TRACT

Response: Parking areas revised

10. Need all of the required notes as they pertain to Colorado Revised Statutes per Title 38 and bylaws, and Adams County Design and Performance Standards

- 1) Drainage Facilities Statement

- 2) Maintenance Manual for Storm Drainage Facilities
- 3) Closure Statement
- 4) Damage statement to monuments
- 5) Engineering notes as required
- 6) And others as required

Response: These notes have been added to the cover page

11. Any/All owners will need to execute the plat. On the execution block, will need to correctly provide legal information, etc. and it properly formatted

Response: The property is under contract and the owners signature on the rezoning application will be provided. This issue was discussed with David on a phone call on December 7th, 2021.

12. Order of execution/signatory blocks is: 1) Owner (s), Lien Holder(s), Surveyor, Planning Commission, Board of County Commissioners, Clerk and Recorder. Correct Clerk and Recorders Block

Response: Signatory Blocks Revised on Cover Sheet

13. Need to provide a sheet with the overall boundary of the lot by current legal description, and the sheets following can break out the new lots and other required information. Provide more definitive line weight for new lots being created as line work at time is unclear as to purpose.

Response: Additional sheet provided showing existing conditions, inserted as sheet 2.

14. Provide match lines to include all of the entrance off Lowell Blvd at W. 65th Ave for clarity

Response: Match lines revised to show entirety of entrance off Lowell Blvd at W. 65th.

15. Are the areas shown by redlines open/common space as shown between lots? These will need to be within a TRACT and labeled properly in Tract Table.

Response: All common areas between lots within a TRACT and labeled for clarity.

16. Provide curve data within a table for clarity

Response: Curve Data table provided on all plat sheets.

17. Review all comments provided on plat sheets

Response: All comments on plat sheets have been reviewed and addressed

Parks and Open Space – Aaron Clark (720-523-8005; aclark@adcogov.org)

1. Applicant has been in contact with Parks regarding a landscape waiver/trees and landscaping on County property near Jim Baker/Lowell Trail. Awaiting revision to this waiver request.

Response: This is no longer applicable. Waiver request to provide additional on lot landscaping was approved January 5, 2022.

Adams County Fire Comments – Carla Gutierrez

2 comments remain from the initial review conducted on 4/21/2021, please see below:

1. Fire apparatus specifications used for the auto-turn exhibit do not appear to match our fire apparatus specs. I have attached our original comment letter that includes our fire apparatus specifications to this email.

Response: Auto-turn exhibit provided using truck that meets provided specifications

2. Fire hydrants shall not be spaced more than 500 feet apart with the required fire flow of 1,500 GPM. An additional hydrant needs to be added on the eastern corner of road B and D- near unit 113. The engineering plans do not show the requested hydrant.

Response: Additional fire hydrant shown on engineering plans near corner of road B and D.

Mile High Flood District Comments – Charlie Pajares

This letter is in response to the request for our comments concerning the referenced project. We have reviewed this proposal only as it relates to maintenance eligibility of major drainage features, in this case:

- Hidden Lake Drainageway

We have the following comments to offer:

1. We have concerns regarding the proposed landscaping improvements. This section of Hidden Lake drainageway is a very narrow corridor with an effective FEMA floodplain which could be negatively impacted by the addition of shrubs and/or woody vegetation due to an increase in manning's roughness through the area. In narrow corridors where vegetation is present, increased maintenance activities are typically necessary to provide the required flood conveyance area and avoid potential local flooding. Unless drainageway improvements along Hidden Lake drainageway are being considered for this area, we recommend that the channel be preserved in its current state.

Response: No landscaping is proposed within the Hidden Lake Drainageway tract and the channel's current state will be preserved.

2. Please help us understand how future drainage will be conveyed to Hidden Lake Drainageway and/or other downstream stormwater facilities.

Response: Stormwater runoff will be treated and detained on site and released at historical rates to the existing storm sewer within 64th avenue.

WELL LOG

Ground Elevation_____ (if known)

How Drilled Cable tool rows

[illegible]

(If more space is required use additional sheet)

WELL DRILLER'S STATEMENT

This well was drilled under my supervision and the above information is true and correct to the best of my knowledge and belief.

Signed

By

Dated

April 30, 1964

Form C Rev.
9-62/10M

STATE OF COLORADO

APPLICATION FOR:

☐ A PERMIT TO USE GROUND WATER
☒ A PERMIT TO CONSTRUCT A WELL

RECEIVED

APR 20 1964
GROUND WATER SECT.

Applicant Joe Valbo Jr

P. O. Address 3735 W 64th

Quantity applied for 1/2 gpm or
AF Storage

Used for Lawn irrigation Purposes

on/at 3735 W 64th
(legal description of land site)

Total acreage irrigated and other rts.

ESTIMATED DATA OF WELL

Hole size: 7 in. to 45 ft.
in. to ft.

Casing Plain 6 7/8 in. from 0 to 20 ft.
in. from to ft.

Open or Perf 6 7/8 in. from 20 to 45 ft.
in. from to ft.

PUMP
DATA: Type Jet HP 3/4 Outlet Size 3/4

Use initiation date 4/29 19 64
(Use Supplemental pages for additional data)

Driller to furnish Log and History (Form E)
within 30 days after completion of well.

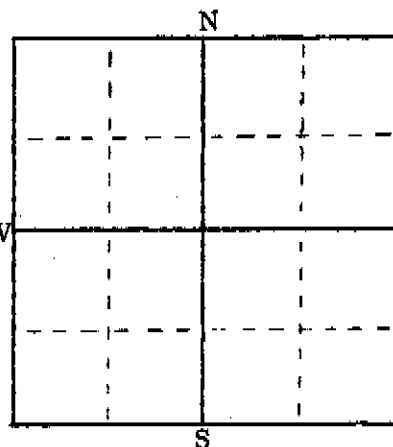
County Adams LOCATION OF WELL COLORADO
STATE ENGINEER

1/4 of 1/4 of Sect. Twp.

Rge. P. M. OR

3735 W 64th
Street Address or Lot & Block No.

Town or Subdivision



Locate
well in
40 acre
(small)
square
as near
as possible.

Large square
is one section.

\$25.00 fee required for uses other
than Domestic or Livestock.

Applicant Comarco Pumping Co
Agent or
Driller No. 267

Address 5511 N Washington St Denver

THIS APPLICATION APPROVED

PERMIT NO. 19349

ISSUED:

DATE APR 20 1964 19

NOTE — SATISFACTORY COMPLETION REQUIRED FOR APPROVAL OF APPLICATION

From: Dickinson - DNR, Wenli
To: Mark Foster
Cc: Kristin A. Sullivan; Beccah Bailey
Subject: Re: 6501 Lowell - Well Permit Issues. Case No PRC2021-0002 -Please respond
Date: Thursday, January 6, 2022 8:55:02 AM
Attachments: image002.png

Great, thank you.

Wenli Dickinson
Water Resource Engineer



P 303.866.3581 x8206
1313 Sherman St, Suite 821, Denver, CO 80203
wenli.dickinson@state.co.us | dwr.colorado.gov

On Thu, Jan 6, 2022 at 8:27 AM Mark Foster <mfoster@thetruelifecompanies.com> wrote:

Morning

We will advise the County to contact you for a letter

Thanks!

Mark Foster
Development Director, Colorado



We create attainable housing so that our children, and grandchildren, can live and prosper where we do.

1800 Wazee Street, Suite 300

Denver, CO 80202

C 303-910-5470

thetruelifecompanies.com

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From: Dickinson - DNR, Wenli <wenli.dickinson@state.co.us>
Sent: Wednesday, January 5, 2022 4:43 PM
To: Mark Foster <mfoster@thetruelifecompanies.com>
Cc: Kristin A. Sullivan <ksullivan@fostergraham.com>; Beccah Bailey <bbailey@norris-design.com>
Subject: Re: 6501 Lowell - Well Permit Issues. Case No PRC2021-0002 -Please respond

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Hi Mark,

Thanks for letting me know. If you would like an updated letter from our office with our opinion on the water supply, please have the county request the letter from us directly.

Thank you and Happy New Year to you as well!

Wenli Dickinson
Water Resource Engineer

P 303.866.3581 x8206
1313 Sherman St, Suite 821, Denver, CO 80203
wenli.dickinson@state.co.us | dwr.colorado.gov

On Wed, Jan 5, 2022 at 3:35 PM Mark Foster <mfooster@thetruelifecompanies.com> wrote:

Wenli

I hope all is well and Happy New Year!

Thanks for the prompt response and clarification. Per your email, we will resolve the issue per option 1 and provide a written statement that the well is not located on the property

Thanks again for your help

Mark Foster
Development Director, Colorado



We create attainable housing so that our children, and grandchildren, can live and prosper where we do.

1800 Wazee Street, Suite 300

Denver, CO 80202

C 303-910-5470

thetruelifecompanies.com

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From: Dickinson - DNR, Wenli <wenli.dickinson@state.co.us>
Sent: Thursday, December 23, 2021 6:38 PM
To: Mark Foster <mfooster@thetruelifecompanies.com>
Cc: Kristin A. Sullivan <ksullivan@fostergraham.com>
Subject: Re: 6501 Lowell - Well Permit Issues. Case No PRC2021-0002 -Please respond

Caution! This message was sent from outside your organization.

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Mark,

The location shown on the screenshot you provided is not an exact location of the well. We do not have the GPS coordinates of the well so our map automatically places it in the center of the SE 1/4 of the SE 1/4 of Section 6, Township 3 South, Range 68 West, which is the location you see on the map. However that is just an approximate location and is not evidence of which property the well is actually located on.

In order to resolve the issue of the well, there are a few options:

1. If you have information that this well was never on the property, please state so and no further information is required.
2. If you believe the well may have been located on the property but has already been plugged and abandoned, please file a well abandonment report (attached) completed by the property owner to the best of their ability.
3. If the well is located on the property and will be plugged and abandoned, please complete the well abandonment report once the well has been abandoned (attached).
4. If the well is located on the property and will be covered by a court-approved augmentation plan, evidence that such plan has been approved by the court must be submitted to this office.

Please let me know if you have any questions.

Happy Holidays,

Wenli Dickinson
Water Resource Engineer

P 303.866.3581 x8206
1313 Sherman St, Suite 821, Denver, CO 80203
wenli.dickinson@state.co.us | dwr.colorado.gov

On Thu, Dec 23, 2021 at 9:04 AM Mark Foster <mfoster@thetruelifecompanies.com> wrote:

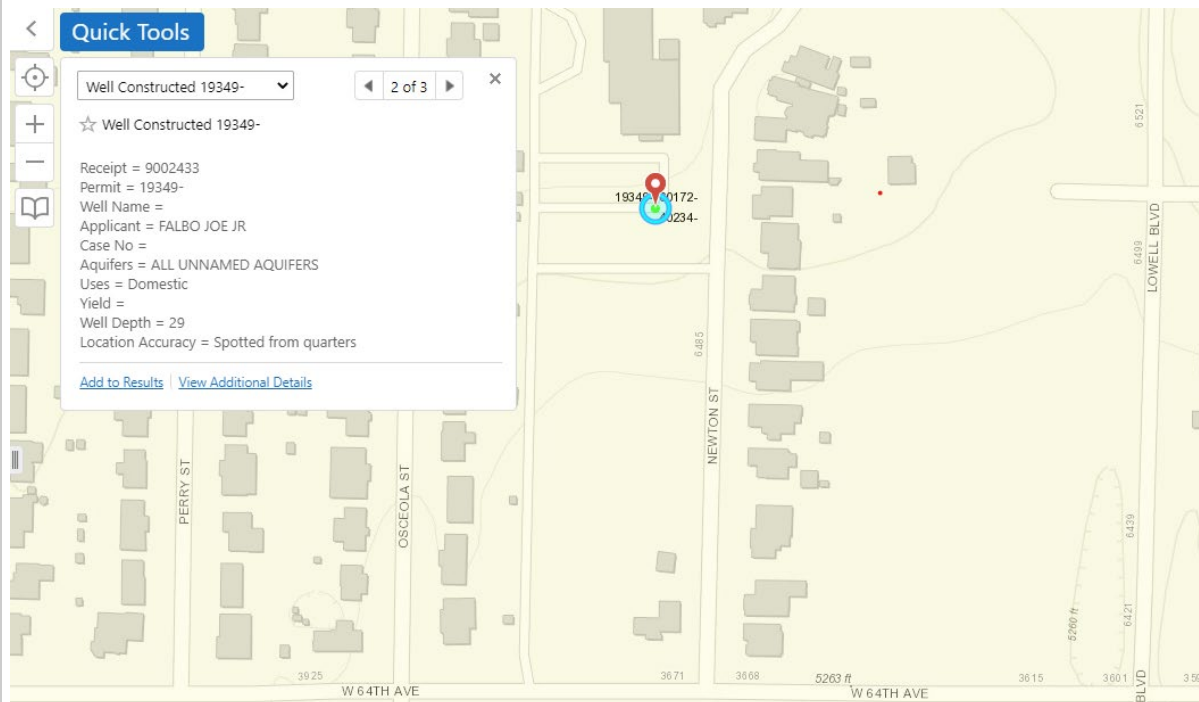
Wenli

I hope all is well!

I have tried to call the Division of Water Resource number a couple times, but it seems to be disconnected. I am trying to resolve the Well issue for our application Case No PRC2021-0002 for the property located at 6501 Lowell Blvd. Per the letters attached, records indicate that well permit no. 19349 is located on the property. However, when I look up the well on the DWR Well Permit website it is not located on our property. See images and links below. We really need to resolve this issue, so please let me know the best course of action. Per your comment letter it seems that we can state that the well will be covered by a court-approved augmentation plan or plugged and abandoned prior to subdivision approval. If this will suffice, please let me know.

<https://dwr.state.co.us/Tools/WellPermits/9002433>

<https://maps.dnrgis.state.co.us/dwr/Index.html?viewer=dwrwellpermit>



Mark Foster
Development Director, Colorado



We create attainable housing so that our children, and grandchildren, can live and prosper where we do.

1800 Wazee Street, Suite 300

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN

VICINITY MAP



SITE

CERTIFICATE OF OWNERSHIP

Linnette Brozovich, being the owner of 6501 Lowell Boulevard, located in the County of Adams, State of Colorado, hereby submits this Planned Unit Development - Preliminary Development Plan and agrees to perform under the terms noted heron.

Owner: _____

State: _____

County: _____

City: _____

The forgoing instrument was acknowledged before me this ____ day of _____ 20 ____.

Notary Public _____

My commission expires: _____

PLANNING COMMISSION APPROVAL

Approved by Adams County Planning Commission this ____ day of _____ 20 ____.

Chair _____

BOARD OF COUNTY COMMISSIONS APPROVAL

Approved by Adams County Planning Commission this ____ day of _____ 20 ____.

Chair _____

CERTIFICATE OF CLERK AND RECORDER

This Amended Preliminary Development Plan was filed for the record in the Office of Adams County County Clerk and Recorder in the State of Colorado at __m, on the ____ day of _____ 20 ____.

SHEET INDEX	
1	COVER SHEET
2	WRITTEN NARRATIVE
3	DEVELOPMENT STANDARDS
4	SITE PLAN
5	CONNECTIVITY SITE PLAN
6	TRAIL AMENITIES
7	LOT TYPICALS
8	FENCE DETAILS
9	SIGNAGE DETAILS
10	STREET SECTIONS
11	BUILDING 1-1 FRONT ELEVATIONS
12	BUILDING 2-2 FRONT ELEVATIONS
13	BUILDING 3-3 FRONT ELEVATIONS

LEGAL DESCRIPTION

PARCEL A:

THAT PART OF THE SOUTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 6; THENCE SOUTH 00°52'48" WEST ALONG THE EAST LINE OF THE SOUTHEAST ONE-QUARTER A DISTANCE OF 330.00 FEET TO A POINT ON THE EASTERLY EXTENSION OF THE SOUTH LINE OF A PARCEL DESCRIBED IN BOOK 2838 AT PAGE 601, ADAMS COUNTY RECORDS; THENCE SOUTH 89°34'06" WEST ALONG SAID EASTERLY EXTENSION A DISTANCE OF 120.02 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL, SAID CORNER ALSO BEING THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89°34'06" WEST ALONG THE SOUTH LINE OF SAID PARCEL DESCRIBED IN BOOK 2838 AT PAGE 601, DISTANCE OF 312.42 FEET TO A POINT ON AN OLD EXISTING FENCE LINE AS SHOWN IN BOOK 176 AT PAGE 93, ADAMS COUNTY RECORDS; THENCE NORTH 00°31'17" WEST ALONG SAID OLD EXISTING FENCE LINE A DISTANCE OF 22.50 FEET TO AN OLD EXISTING (EAST-WEST) FENCE LINE; THENCE SOUTH 89°12'14" EAST ALONG SAID OLD EXISTING (EAST-WEST) FENCE LINE A DISTANCE OF 312.89 FEET TO A POINT ON THE EAST LINE OF A PARCEL DESCRIBED IN BOOK 2838 AT PAGE 601; THENCE SOUTH 00°52'48" WEST ALONG SAID EAST LINE A DISTANCE OF 15.80 FEET TO THE TRUE POINT OF BEGINNING,
COUNTY OF ADAMS,
STATE OF COLORADO.

PARCEL B:

THAT PART OF THE SE1/4 SE 1/4 OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M., DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 6; THENCE WEST, A DISTANCE OF 420.58 FEET, MORE OR LESS, TO THE SOUTHEAST CORNER OF TRACT OF LAND DESCRIBED IN DECREE RECORDED IN BOOK 367 AT PAGE 43; THENCE NORTHEASTERLY, ALONG THE EAST LINE OF SAID TRACT DESCRIBED IN BOOK 367 AT PAGE 43, A DISTANCE OF 849 FEET TO THE TERMINAL POINT OF COURSE NO. 5 OF SAID TRACT DESCRIBED IN BOOK 367 AT PAGE 43; THENCE NORTH 89°50' WEST, ALONG SAID COURSE NO. 5, A DISTANCE OF 28.5 FEET TO THE TERMINAL POINT OF COURSE NO. 4 OF SAID TRACT DESCRIBED IN BOOK 367 AT PAGE 43; THENCE NORTH 0°40' EAST, ALONG SAID COURSE NO. 4, TO A POINT 330 FEET SOUTH OF THE NORTH LINE OF THE SE 1/4 SE 1/4 OF SAID SECTION 6; THENCE EAST, ALONG A LINE 330 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE SE 1/4 SE 1/4 OF SAID SECTION 6, TO A POINT ON THE EAST LINE OF SAID SECTION 6; THENCE SOUTH, ALONG THE EAST LINE OF SAID SECTION 6, TO THE POINT OF BEGINNING,
COUNTY OF ADAMS,
STATE OF COLORADO.

EXCLUDING THEREFROM THAT PORTION AS DESCRIBED IN RULE, ORDER, JUDGEMENT AND DECREE RECORDED AUGUST 16, 1985 AT RECEPTION NO. 593561.

NOTE: THE ABOVE LEGAL DESCRIPTION WILL BE AMENDED UPON SATISFACTION OF THE REQUIREMENTS HEREIN SET FORTH.

LAND OWNER

Linnette Brozovich
12633 Irving Circle
Broomfield, CO 80020
720-971-7283
linnettemae@aol.com

APPLICANT

The True Life Companies
1350 17th Street, Suite 350
Denver, CO 80202
Contact: David Clock
720-330-9211
dclock@thetruelifecompanies.com

LANDSCAPE ARCHITECT & ENTITLEMENTS

Norris Design
1101 Bannock St
Denver, CO 80202
Contact: John Norris & Eva Mather
303-892-1166
jnorris@norris-design.com
emather@norris-design.com

CIVIL ENGINEER

Harris Kocher Smith
1120 Lincoln St
Denver, CO 80203
Contact: John Stafford
jstafford@hkseng.com
303-623-6300

ARCHITECT

KTGY Architects
820 16th St Mall, Suite 500
Denver, CO 80202
Contact: Doug Heaton
dheaton@ktgy.com
303-825-6400

CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTLIC MANAGEMENT, INC
DAVID CLOCK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
09/22/2021

SHEET TITLE:
COVER
SHEET

SHEET NUMBER:

1 OF 13

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN

A. Explanation of the Characteristics of the PUD and its Potential Impact on the Surrounding Area

TTLIC Denver proposes a new residential subdivision to provide new homes to the burgeoning area within Adams County that is identified in the future land use area plan and comprehensive plan as Urban Residential. This property is approximately 6.8 acres located at the northwest corner of 64th Avenue and Lowell Boulevard. These applications propose 124 residential duplex lots that will provide new homes to help relieve some of the current housing demand within the County. The new community is designed to attract a broad spectrum of residents with access to the existing Jim Baker Trail, Hidden Lake Park and Clear Creek Valley Park. The neighborhood will have convenient access to major transportation corridors as well as direct access to several RTD FastTrack Stations

The abutting neighborhoods to the west and north are zoned R-1-C with other neighbors zoned PUD, R-4 and R-2 and R-3. This development provides a residential transition from the single-family detached homes to the north and the west, to the multi-family development on the northeast corner of 64th and Lowell Boulevard.

The applications for Clear Creek Valley rezone to rezone the site from R-1-A and C-4 to Planned Unit Development (PUD) to create standards to allow this product at this location. The proposal draws from several other neighboring zones to provide compatibility. The applicant's PUD is requesting a density of 18.2 du/ac, which is consistent with R-4 zoning and height restriction of 35' which is consistent with R-3 zoning.

The property is located near several key transit areas creating great opportunity for transition to higher density residential and per the Southwest Adams County Making Connections plan is an area that is anticipated to be very urbanized. The site is within 1.4 miles of the Clear Creek-Federal RTD Station, 1.5 miles of the 60th & Sheridan / Arvada Gold Strike RTD Station on the Gold Line, and within 0.8 miles from the Westminster RTD Station on the B Line.

B. Provisions for Parking

Clear Creek Valley will provide a minimum of two (2) resident parking spaces per single-family attached unit in garages plus 0.29 guest parking spaces.

C. Circulation and Road Patterns

The primary entrance to the site will be from Lowell Boulevard with a second access point from West 64th Avenue. A system of internal 30' private streets and attached walkways will provide access through the neighborhood. The private streets shall be constructed and maintained by the Developer and HOA. Internal walkways are designed to provide pedestrian access around the site and draw residents into the central greenway amenity area, the northwest amenity area and southwest amenity area with amenities including a bocce ball court, climbing boulders, playground areas, cornhole lanes, pergola, covered picnic areas and community grilling stations. Side walk connections to the Jim Baker Regional trail are provided at the north and south ends of the site to all connectivity to this regional amenity. A pedestrian walk on the western edge of the site provides north-south connectivity for residents. A detailed connectivity graphic is shown on page 5 of this PUD.

D. Type, Location, Examples of Copy and Monument Signs

The community will have entry monumentation signage at key intersections. Entry monumentation will be located off W. 64th Avenue and W. 65th Avenue. Signage may have the name of the community. Internally illuminated cabinet with mounted signage. All signage specifications are subject to change at time of Final Development Plan.

Signage monumentation shall be constructed using acid etched letters, stone tile sign face, brick wall and LED up-lighting. All signage characterization and materials are conceptual and subject to change at the of Final Development Plan. See proposed signage character images on sheet 9.

E. Type and Allocation of All Uses Including Permitted Uses, Uses Permitted After Amendment to the PUD and Prohibited Uses

This neighborhood provides for single-family duplex homes, private access drives, landscape amenities, necessary detention facilities and any other uses that may be typical in a residential neighborhood. *Other residential types may be proposed at time of Final Development Plan if they meet a similar density and design aesthetic.*

F. Location and Types of Landscaping and Maintenance Provisions

A Conceptual Landscape Plan has been included as part of this submittal that demonstrates the connectivity and community amenities provided, such as a pergola, both covered and uncovered picnic areas, grilling spaces, children's playground with an added climbing rock/boulder feature, cornhole, bocce ball, other flex lawn open space gaming locations suitable for mini soccer, frisbee, catch or other lawn games, and trail side benches. This landscape plan is conceptual and subject to change at the time of Final Development Plan.

Detailed landscaping lot typical designs are included with this PDP/PUD, please refer to sheet 6. Landscape typicals are conceptual and subject to change at the time of Final Development Plan. Common area landscaping and landscape amenities will be owned and maintained by the HOA.

Homes will be designed to front on Lowell Boulevard to provide a uniform urban streetscape with front doors facing outwards towards the larger community. Internal homes will front a green court facing the center of the community or oriented towards the west to capture westerly views. Native landscaping will surround the detention pond to mirror the existing landscape.

The proposed density achieves the Urban Residential land use designation. The proposed neighborhood provides open space areas consistent with this type of urban infill development. This neighborhood will make use of the adjacent Jim Baker Regional trail, connecting people to parks throughout the community - and adding to the trail amenity with shelter, barbeque, bike repair stations and benches for residents and passerby.

G. Bufferyard and Landscaping Requirements

In lieu of a bufferyard, various vine species shall be permitted near galvanized mesh in order to grow upwards and provide a buffer where applicable. A variety of large shade trees shall be provided along Adams County Open space adjacent to The Jim Baker Trail.

Right-of-Way landscaping along 64th Avenue shall require a minimum of one (1) shade tree and two (2) shrubs per one-thousand (1000) square feet of right-of-way landscape area shall be provided. Ornamental trees and shrubs shall be provided along private streets where utilities and site plan allows.

Plant size minimum required in the right-of-way and detention areas are a 2 1/2" caliper deciduous or ornamental trees, 6' evergreens, and 5-gallon shrubs or better. Twenty (20) percent of trees shall be 3" caliper deciduous or ornamental trees and 8' evergreen or better. The caliper of all trees shall be measured at at point one (1) foot above grade level.

The property owner's association is responsible for maintenance of all common area landscapes including areas such as the right-of-way landscaping along roads, open spaces, and all detention pond landscaping.

H. Fencing

42" 3-rail fence with pet mesh is proposed on eastern property line to replace existing fence and provide separation between the Jim Baker Trail and new residences. 6' privacy fence is permitted along north and west property lines to provide a new uniform residential edge. All fencing shown is conceptual and may be permitted to change at time of Final Development Plan.

I. Accessory Structures

Accessory structures are prohibited.

J. Utility Service Providers

The Crestview Water and Sanitation District has indicated that they have adequate capability to serve the property. The City of Westminster and sewer. Xcel Energy will provide gas and electric services to the property.

K. Estimated Timetable for Development

Depended on the final government approvals, the proposed development work will begin in approximately two (2) years with completion in four (4) to six (6) years.

L. Fire Protection District

Adams County Fire Station No. 12 will serve this property.

M. Phasing

This property will be developed in one (1) total phase.

N. HOA

Homeowners association will be established for care and maintenance of this subdivision.

It is really unclear as to what fencing could be allowed on the individual lots. See sheet 8.

Response: Text has been updated to show no lot fencing permitted.

Please be advised that a minor or major amedment to the PDP would be required. This docuement is NOT conceptual.

Response: Text has been revised.

CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTLIC MANAGEMENT, INC
DAVID CLOCK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
09/22/2021

SHEET TITLE:
WRITTEN
NARRATIVE
SHEET NUMBER:

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN

DEVELOPMENT STANDARDS

SINGLE-FAMILY ATTACHED DUPLEX HOMES WITH REAR LOADED GARAGE									
USE	MINIMUM LOT SIZE	MINIMUM LOT WIDTH	MAXIMUM DENSITY	MINIMUM SETBACK TO PORCH	MINIMUM FRONT YARD SETBACK FOR PRINCIPAL STRUCTURE	MINIMUM SIDE YARD SETBACK FOR ALL STRUCTURES	MINIMUM REAR YARD SETBACK FOR PRINCIPAL STRUCTURES	MAXIMUM BUILDING HEIGHT	MAXIMUM LOT COVERAGE
LOT TYPICAL	1,159 sq ft	24'-8"	18.2 du/ac	3'	8'	3'-6" EXTERIOR WALL 0' COMMON WALL	5'	38'-6"	70%

NOTES:

- Bay windows, cantilevers, chimneys, exterior posts/columns, solar panels, porches, decks, patios, balconies, stairs and other similar architectural features are allowed to extend outward from the principal structure in front, side and rear yards. In no instance may an encroachment cross the property line or be located within the required setbacks. Encroachments shall be limited to the shed material of the encroachment to the adjacent property. When an encroachment is less than 5' from the property line, then the current ICB and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.
- Roof overhangs are permitted in the building setback and are not included as a part of lot coverage. In no instance may an encroachment cross the property line or be located less than six-feet from the building face of the adjacent property. When an encroachment is less than 5' from the property line, then the current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant and minimum fire-separation distance requirements. All building components such as roof overhangs, desks, sidewall bump-out / chimneys, that are less than 5' from a property line must meet all current building code requirements. Roof overhangs shall not exceed 12" into the areas where openings are prohibited as noted in current building code.

Why would solar panels be extending into setbacks/?

Response: Text has been revised.

Why not make the max. 40 feet to make things simple?

Response: Maximum Building Height has been changed to 40'.

Desks?

Response: Spelling error has been addressed.

As previously noted, staff has concerns with any setback less than 5 feet.

Response: Comment noted, thank you.

Please ensure that the proposed lots will be able to meet a 70% maximum with the setbacks that are proposed.

Response: Maximum lot coverage has been calculated to show 70%. Some lots have less than 70% lot coverage.

CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTLIC MANAGEMENT, INC
DAVID CLOCK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

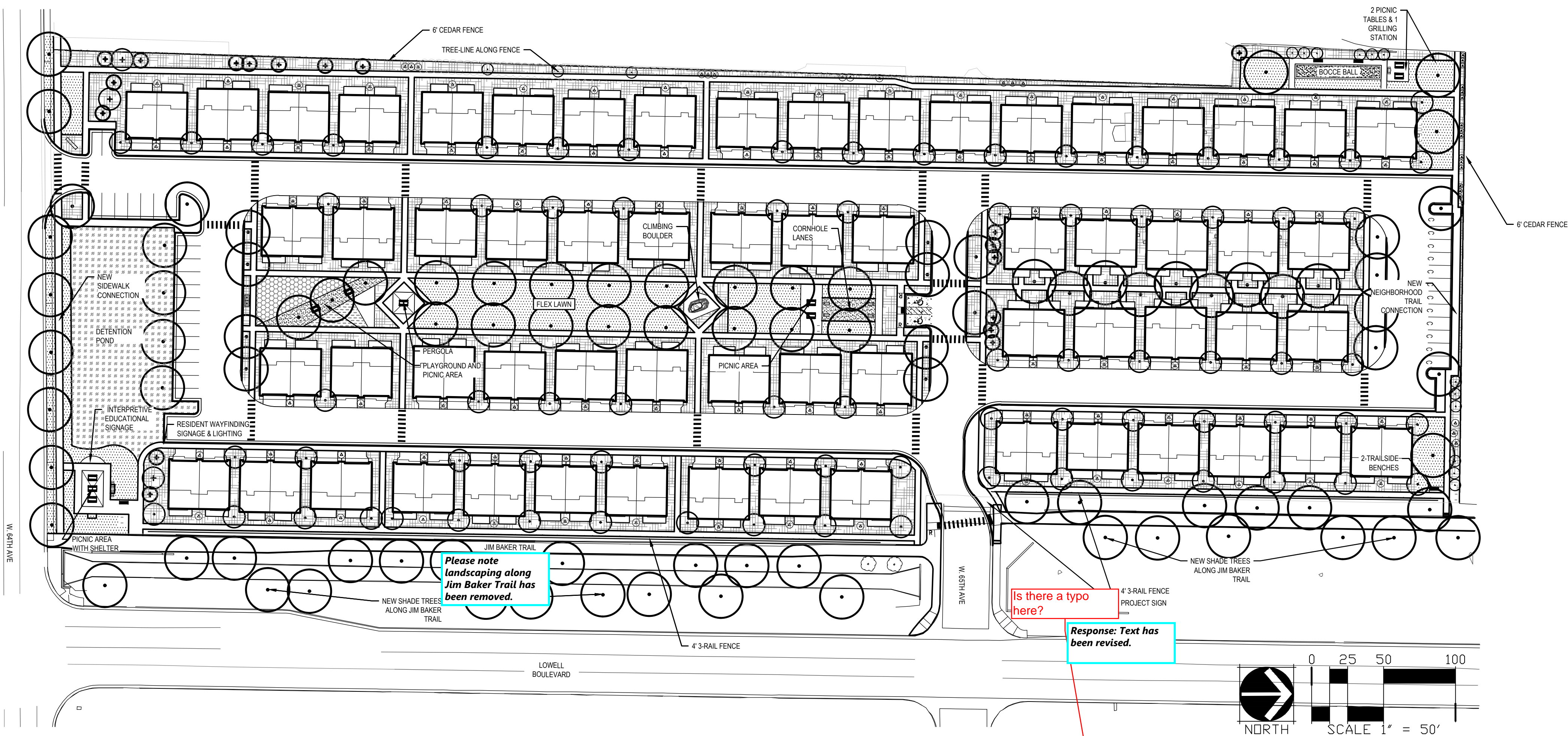
DATE:
03/19/2021
06/11/2021
09/22/2021

SHEET TITLE:
DEVELOPMENT
STANDARDS
SHEET NUMBER:

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN



Please note landscaping along Jim Baker Trail has been removed.

Is there a typo here?

Response: Text has been revised.

LAND USE SUMMARY				
LAND USE	ACREAGE	% TOTAL	UNITS	DENSITY
BUILDING AREAS				
RESIDENTIAL LOTS	3.4	50%	124	
OPEN AREAS				
PRIVATE ACCESS DRIVES	1.6	24%		
LANDSCAPE BUFFER AREAS	1.80 (0.62 ACTIVE)	26%		
OPEN AREAS SUBTOTAL	3.4	50%		
TOTAL	6.8	100%	124	18.2 DU/AC

* NOTE: AT LEAST THIRTY PERCENT (30%) OF THE SITE SHALL BE OPEN AREA (2.2AC). TWENTY FIVE PERCENT (25%) OF THE OPEN AREA MUST BE ACTIVE OPEN SPACE (0.5AC).

- NOTES:
1. Site plan is shown is conceptual and may change at time of Final Development Plan.
 2. Active land uses, landscape areas, and amenities are conceptual and subject to change with the Final Development Plan.
 3. Signage locations are conceptual and subject to change at time of Final Development Plan.

A PDP is not conceptual. Please remove all language pertaining to "conceptual" within the PDP. Please be advised that either minor or major amendments may be required to amend details in the PDP.

Response: Text has been revised.

Applicant should really consider including the document showing the breakdown of open space "community perspective 3" within the document, as it does a nice job of demonstration what is proposed for open space.

Response: Comment noted, thank you.

CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTL MANAGEMENT, INC.
DAVID CLOK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
09/22/2021

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
4 OF 13

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN



LEGEND

- JIM BAKER TRAIL**
- INTERNAL COMMUNITY WALK**
- CROSS WALK**
- MAIN CONNECTION AREAS**
- PASSIVE OPEN SPACE (1.18 ACRES)**
- ACTIVE OPEN SPACE (0.62 ACRES)**

CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTL MANAGEMENT, INC.
DAVID CLOCK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
09/22/2021

SHEET TITLE:
CONNECTIVITY
SITE PLAN
SHEET NUMBER:
5 OF 13

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN



CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTL MANAGEMENT, INC.
DAVID CLOCK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
09/22/2021

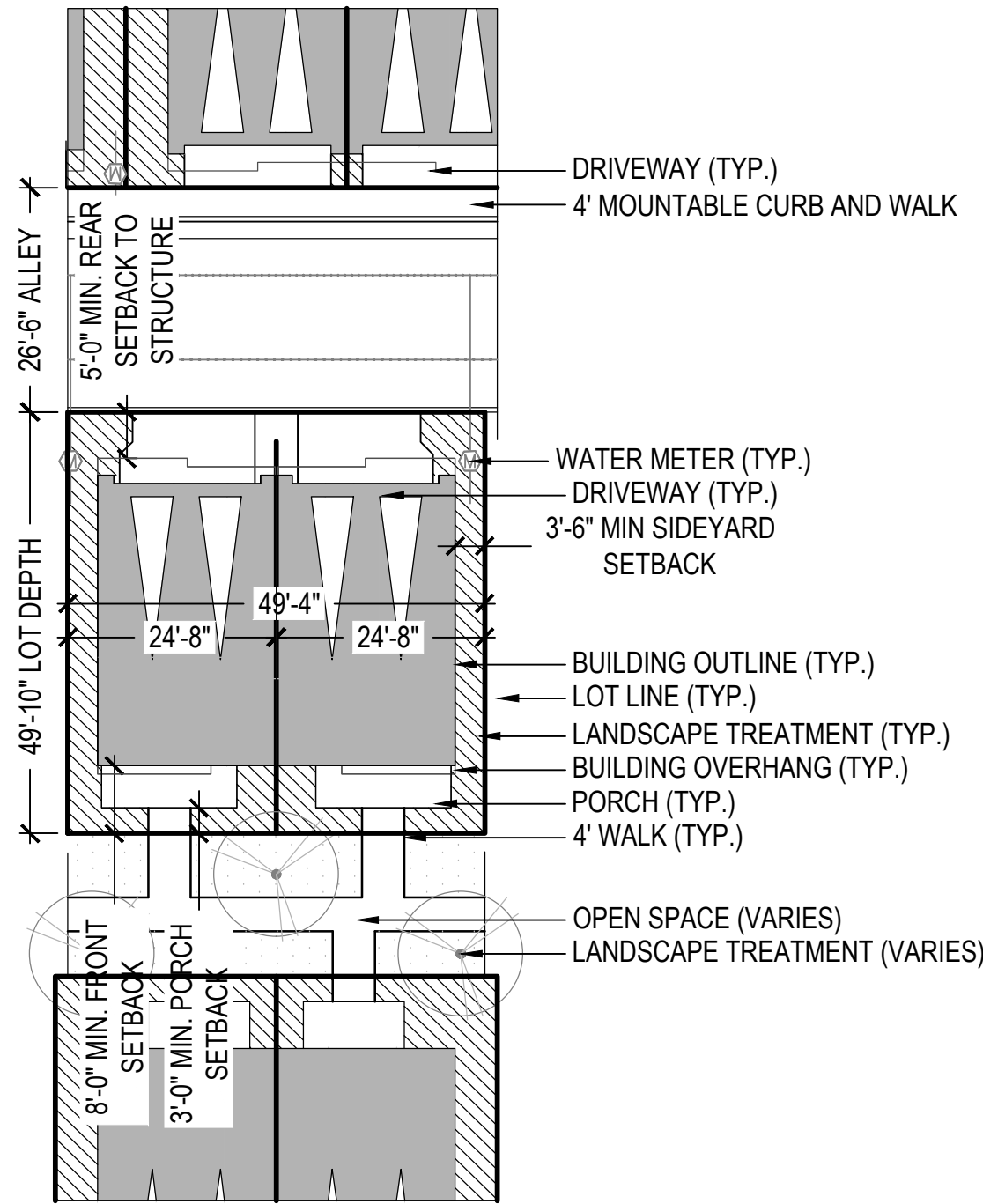
SHEET TITLE:
TRAIL
AMENITIES
SHEET NUMBER:
6 OF 13

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN

PLAN VIEW - LOT TYPICALS



ON-LOT PLANT LIST

ORNAMENTAL TREE
AUTUMN BRILLIANCE SERVICEBERRY
CHANTICLEER PEAR
HOT WINGS MAPLE
JAPANESE LILAC TREE
PRAIRIEFIRE CRABAPPLE
SPRING SNOW CRABAPPLE
EVERGREEN TREE
BABY BLUE EYES SPRUCE
BOSNIAN PINE
PINYON PINE
VANDERWOLF'S PYRAMID PINE
DECIDUOUS SHRUB
AUTUMN AMBER SUMAC
DWARF BUTTERFLY BUSH
BLUE MIST SPIREA
DARKKNIGHT SPIREA
CRIMSON PIGMY BARBERRY
COMMON PURPLE LILAC
MISS KIM LILAC
RUSSIAN SAGE
RED TWIG DOGWOOD
SAND CHERRY PAWNEE BUTTES
EVERGREEN SHRUB
BLUE CHIP JUNIPER
BUFFALO JUNIPER
GLOBE SPRUCE
MOPS MUGO PINE
ORNAMENTAL GRASS/ PERENNIAL
STELLA D'ORO DAYLILY
ICE PLANT
FEATHER REED GRASS
LITTLE BUNNY FOUNTAIN GRASS
PURPLE MAIDEN GRASS

* ON-LOT PLANTS ARE SUBJECT TO CHANGE AT THE TIME OF THE FDP.

FRONT YARD LANDSCAPING - TYPE A

- (1) TREE - ORNAMENTAL (2"), CLUMP (6'-8"), OR EVERGREEN (6')
- (6) SHRUBS- DECIDUOUS OR EVERGREEN (#5 CONTAINER)

SIDE YARD LANDSCAPING - TYPE A

- INTERNAL SIDE YARD, NOT EXPOSED TO PUBLIC VIEW- NO PLANT MATERIALS REQUIRED BUT MULCHES ARE REQUIRED FOR SOIL STABILITY.
- EXTERNAL SIDE YARDS ON CORNER LOTS EXPOSED TO PUBLIC VIEW- SHALL BE LANDSCAPED BY COMBINING VISIBLE SIDE AND FRONT YARD AREAS AND APPLYING FRONT YARD STANDARDS.

CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTL/C MANAGEMENT, INC
DAVID CLOCK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

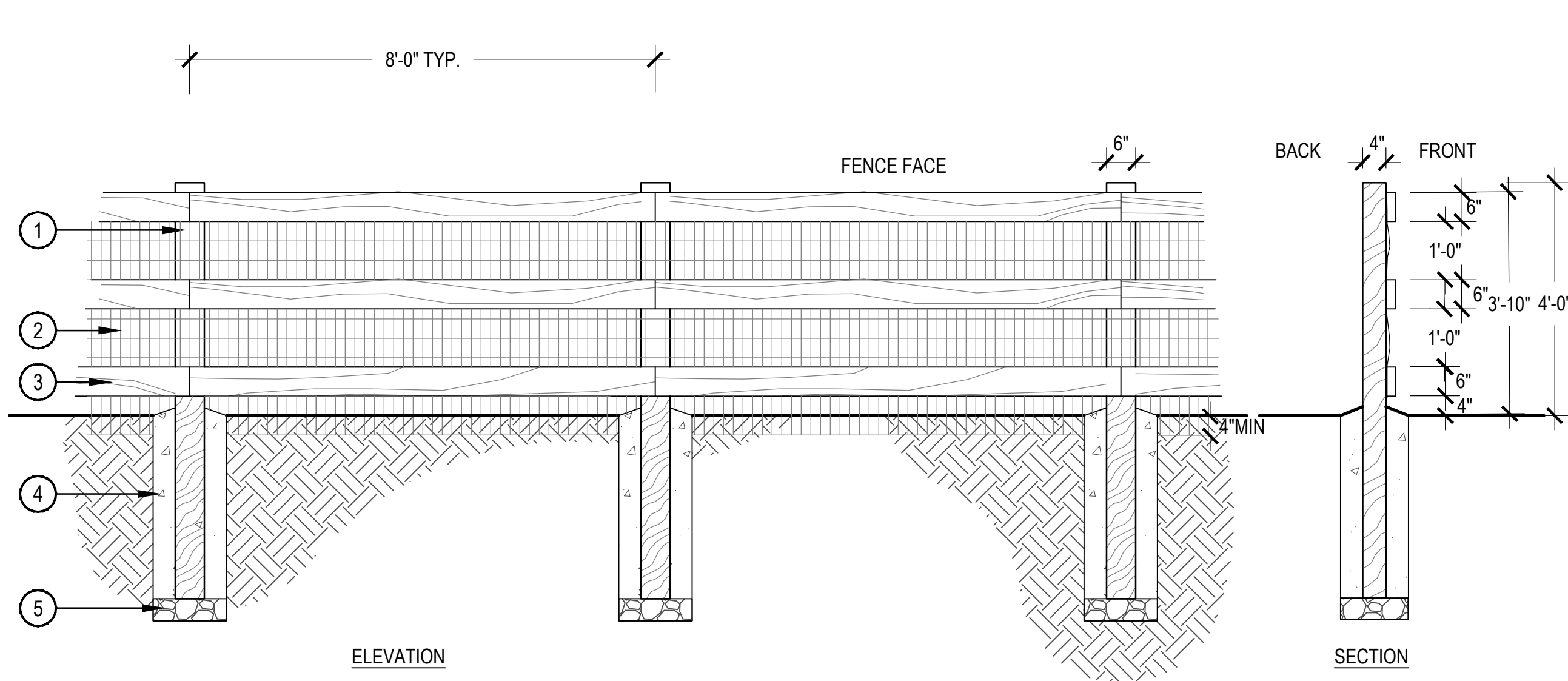
DATE:
03/19/2021
06/11/2021
09/22/2021

SHEET TITLE:
LOT
TYPICALS
SHEET NUMBER:

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN

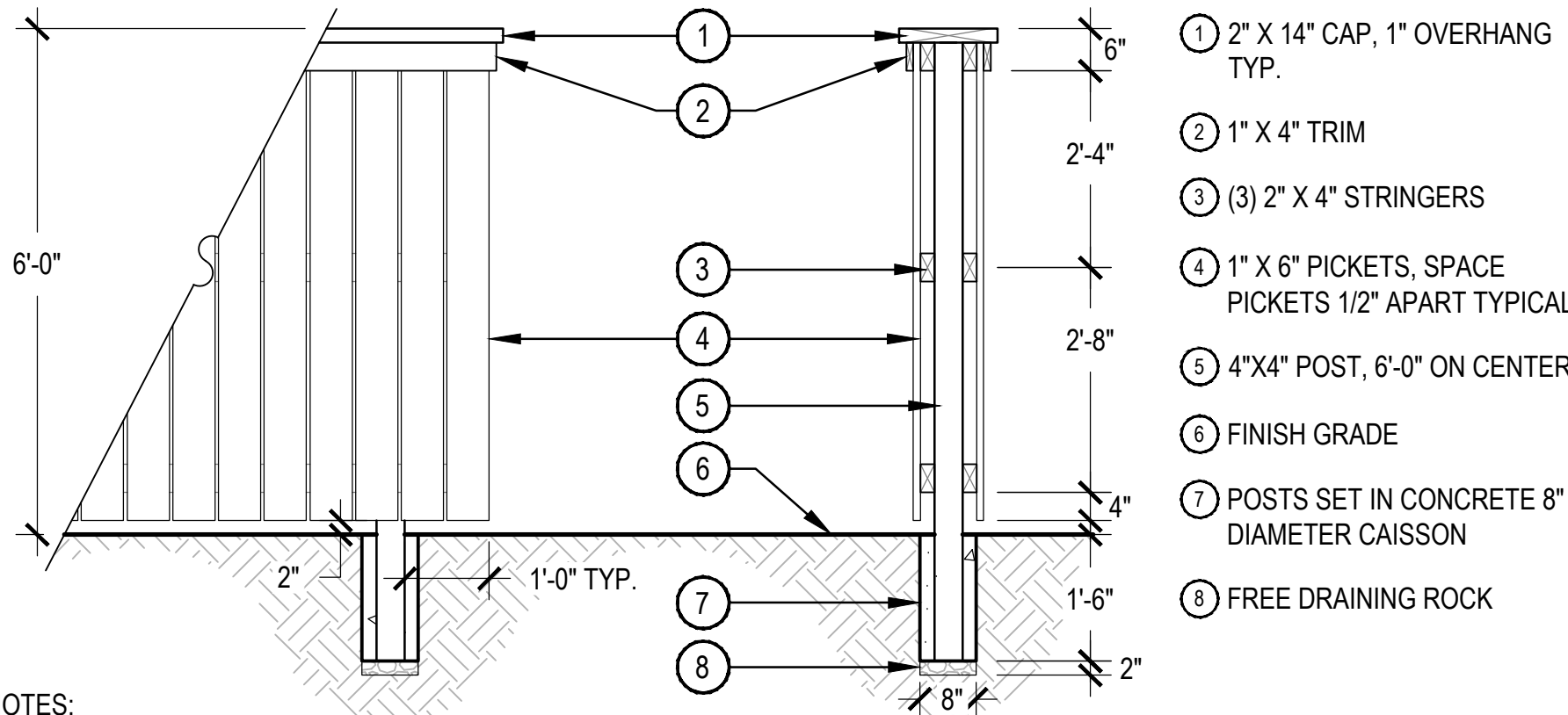


- ① 4" X 6" STAINED ROUGH SAWN CEDAR POST
- ② 4"X2" GALVANIZED WELDED WIRE MESH (12.5 GAUGE) 5' X 8' to 6'x8' PANELS(PANELS TO EXTEND 4" MIN BELOW GRADE). SANDWICH MESH BETWEEN RAIL AND POST W/ HEAVY DUTY GAL. FASTENERS. TOP OF MESH SHALL BE LEVEL WITH TOP OF TOP RAIL
- ③ 2" X 6" STAINED ROUGH SAWN CEDAR
- ④ CONCRETE FOOTING
- ⑤ 3/4" ANGULAR ROCK - 4" DEPTH

NOTE:
REMAINING MESH TO BE BURIED BELOW GRADE

3-RAIL FENCE

SCALE: 1/2" = 1'-0"



- NOTES:
1. UNLESS OTHERWISE INDICATED, THE FENCE SHALL BE CENTERED ON THE PROPERTY LINE.
 2. ALL LUMBER SHALL BE ROUGH SAWN CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, AND DISCOLORATION.
 3. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED NAILS OR SCREWS, SIZED TO PENETRATE HALF WAY INTO THE SECURING MEMBER.
 4. ALL FENCE PANELS SHALL BE SET LEVEL WITH STEPS TO FOLLOW GRADE. THE MAXIMUM STEP SHALL BE 6". ADJUST POST SPACING AS NEEDED SO THERE IS NO GREATER THAN A 6" GAP FROM THE BOTTOM RAIL TO FINISHING GRADE.

Information on what type of fencing, if any, is allowed on individual lots should be included in this section. Where are the different fencing types allowed? Are they allowed within the front, rear or side setbacks?

Response: No fencing will be permitted on individual lots, this information has been added to the narrative.

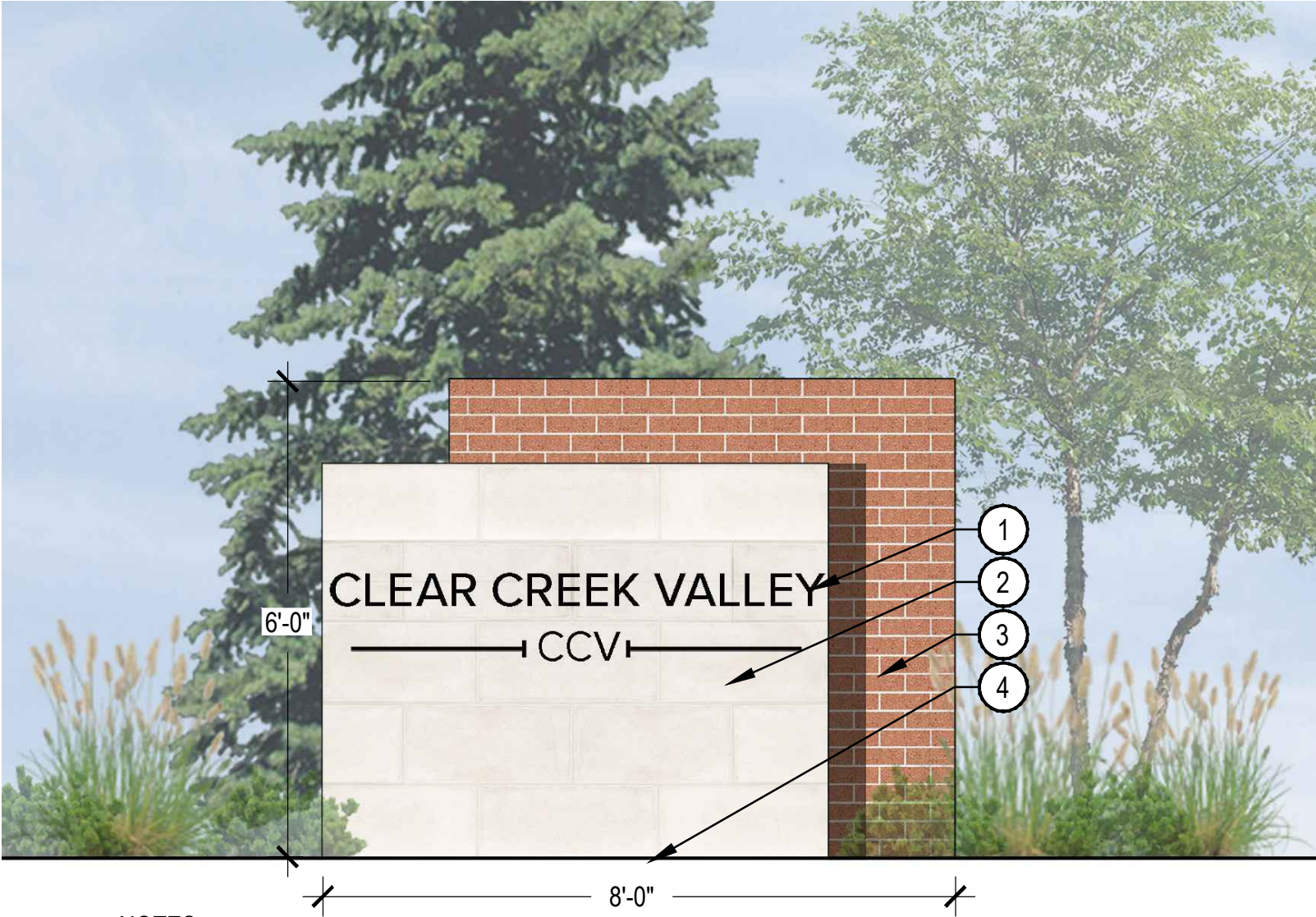
6' DOUBLE-SIDED WOOD FENCE

SCALE: 1/2" = 1'-0"

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

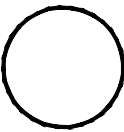
PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN



- ① ACID ETCHED LETTERS
- ② STONE TILE SIGN FACE
- ③ BRICK WALL
- ④ LED UP-LIGHTING

NOTES:

1. MONUMENT DESIGN IS CONCEPTUAL AND SUBJECT TO CHANGE.



MONUMENT

SCALE: 1/2" = 1'-0"

CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTL MANAGEMENT, INC
DAVID CLOCK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
09/22/2021

SHEET TITLE:
SIGNAGE
DETAILS

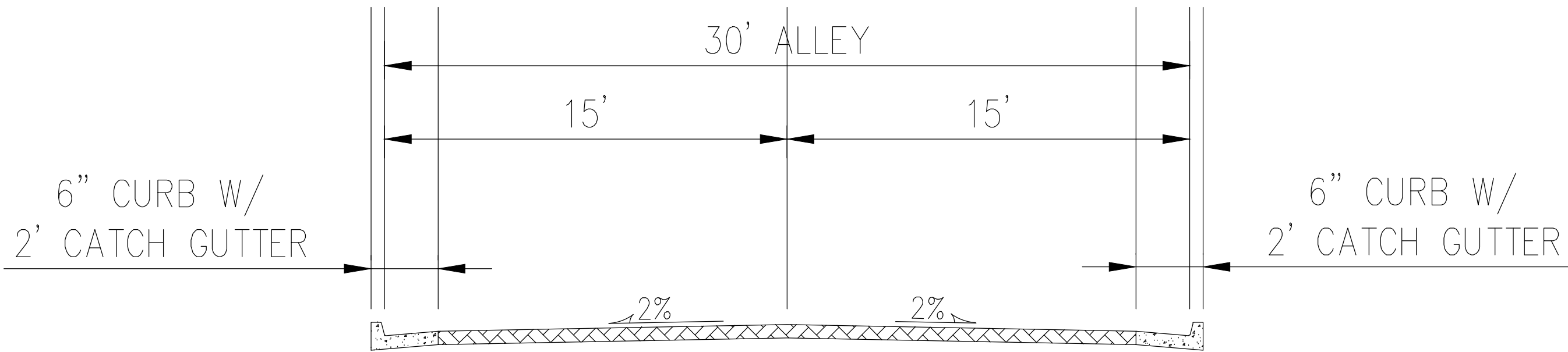
SHEET NUMBER:

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

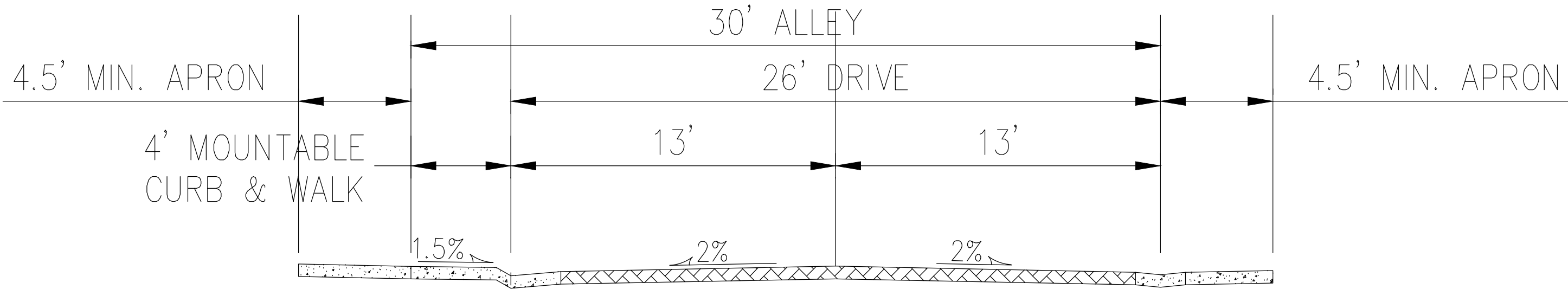
PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN

ACCESS DRIVES



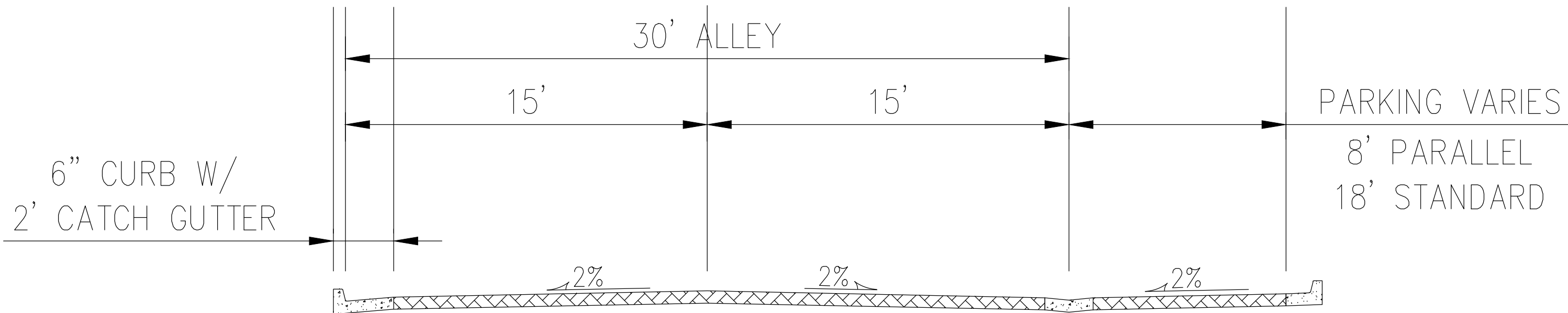
30' ALLEY

SCALE: N.T.S.



30' ALLEY W/ ATTACHED WALK

SCALE: N.T.S.



30' ALLEY W/ PARKING

SCALE: N.T.S.

CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTL MANAGEMENT, INC.
DAVID CLOOK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
09/22/2021

SHEET TITLE:
STREET
SECTIONS
SHEET NUMBER:

10 OF 13

CLEAR CREEK VALLEY
IN THE COUNTY OF ADAMS, COLORADO
PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN

While little details are not required in the PDP document, the applicant should consider adding more variety into the development.

Response: Per email correspondence with Layla B on December 3, 2021, current architectural detail is sufficient.



HEIGHT OF BUILDING IS MEASURED FROM THE ESTABLISHED GRADE ELEVATION TO THE MEAN HEIGHT LEVEL BETWEEN EAVES AND RIDGES FOR GABLE, HIP, OR GAMBREL ROOFS PER ADAMS COUNTY CODE SEC. 11-02-585.
BUILDING PLATE HEIGHTS, ROOF PITCH, DECK AND PORCH SIZE, MATERIALS, COLORS/CONTRASTING COLORS, AND WINDOW/DOOR PLACEMENTS MAY VARY AT TIME OF DESIGN ENTITLEMENT.



CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTL MANAGEMENT, INC.
DAVID CLOK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
08/25/2021

SHEET TITLE:
BUILDING 1-1
FRONT
ELEVATIONS
SHEET NUMBER:



CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN



HEIGHT OF BUILDING IS MEASURED FROM THE ESTABLISHED GRADE ELEVATION TO THE MEAN HEIGHT LEVEL BETWEEN EAVES AND RIDGES FOR GABLE, HIP, OR GAMBREL ROOFS PER ADAMS COUNTY CODE SEC. 11-02-585.

BUILDING PLATE HEIGHTS, ROOF PITCH, DECK AND PORCH SIZE, MATERIALS, COLORS/CONTRASTING COLORS, AND WINDOW/DOOR PLACEMENTS MAY VARY AT TIME OF DESIGN ENTITLEMENT.

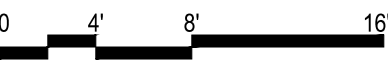
UNIT 2 UNIT 2R 'A' FRONT



UNIT 2 UNIT 2R 'B' FRONT



UNIT 2 UNIT 2R 'C' FRONT



CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTL MANAGEMENT, INC.
DAVID CLOK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
08/25/2021

SHEET TITLE:
BUILDING 2-2
FRONT
ELEVATIONS
SHEET NUMBER:

CLEAR CREEK VALLEY
IN THE COUNTY OF ADAMS, COLORADO
PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN





REZONING (Zoning Map Amendment)

Application submittals must include all documents on this checklist as well as this page. Please use the reference guide (pg. 2) included in this packet for more information on each submittal item.

All applications shall be submitted electronically to epermitcenter@adcogov.org. If the submittal is too large to email as an attachment, the application may be sent as an unlocked OneDrive link. Alternatively, the application may be delivered on a flash drive to the One-Stop Customer Service Center. All documents should be combined in a single PDF. Once a complete application has been received, fees will be invoiced and payable online at <https://permits.adcogov.org/CitizenAccess/>.

1. Development Application Form (pg. 4)
2. Application Fees (see table)
3. Written Explanation of the Project
4. Site Plan Showing Proposed Development, including:
 - a. Proposed Building Envelope
 - b. Parking Areas
 - c. Site Access
 - d. Landscape Areas
5. Trip Generation Letter
6. Preliminary Drainage Analysis
7. Neighborhood Meeting Summary
8. Proof of Ownership (warranty deed or title policy)
9. Proof of Water and Sewer Services
10. Legal Description
11. Certificate of Taxes Paid
12. Certificate of Notice to Mineral Estate Owners/and Lessees (pg. 6)
13. Certificate of Surface Development (pg. 7)

Applications Fees	Amount	Due
Application	\$1,500	After complete application received
Tri-County Health	\$150 (public utilities-TCHD Level 1) \$210 (individual septic-TCHD Level 2)	After complete application received



Application Type:

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

PROJECT NAME:

APPLICANT

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

OWNER

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

DESCRIPTION OF SITE

Address: 6501 Lowell Boulevard

City, State, Zip: Denver, CO 80221

Area (acres or square feet): 6.83 AC

Tax Assessor Parcel Number 0182506400046

Existing Zoning: R-1-A and C-4

Existing Land Use: Residential

Proposed Land Use: Urban Residential

Have you attended a Conceptual Review? YES ☒ NO ☐

If Yes, please list PRE#: 2020-00056

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name: Linette Brozovich

Date: 03/19/2021

Owner's Printed Name

Name: 
Linette Brozovich (Mar 19, 2021 12:18 MST)

Owner's Signature

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

CLEAR CREEK VALLEY
TWO PARCELS LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF
SECTION 6, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M.
COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY ENGINEERING PLAN
SHEET 1 OF 12

LEGAL DESCRIPTION

PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-989426-CO, WITH A COMMITMENT DATE OF NOVEMBER 14, 2019
AT 5:00 P.M.:

PARCEL A:

THAT PART OF THE SOUTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS: BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 6; THENCE SOUTH 00°52'48" WEST ALONG THE EAST LINE OF THE SOUTHEAST ONE-QUARTER A DISTANCE OF 330.00 FEET TO A POINT ON THE EASTERLY EXTENSION OF THE SOUTH LINE OF A PARCEL DESCRIBED IN BOOK 2838 AT PAGE 601; ADAMS COUNTY RECORDS; THENCE SOUTH 89°34'06" WEST ALONG SAID EASTERLY EXTENSION A DISTANCE OF 120.02 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL, SAID CORNER ALSO BEING THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89°34'06" WEST ALONG THE SOUTH LINE OF SAID PARCEL DESCRIBED IN BOOK 2838 AT PAGE 601, DISTANCE OF 312.42 FEET TO A POINT ON AN OLD EXISTING FENCE LINE AS SHOWN IN BOOK 176 AT PAGE 93, ADAMS COUNTY RECORDS; THENCE NORTH 00°31'17" WEST ALONG SAID OLD EXISTING FENCE LINE A DISTANCE OF 22.50 FEET TO AN OLD EXISTING (EAST-WEST) FENCE LINE; THENCE SOUTH 89°12'14" EAST ALONG SAID OLD EXISTING (EAST-WEST) FENCE LINE A DISTANCE OF 312.89 FEET TO A POINT ON THE EAST LINE OF A PARCEL DESCRIBED IN BOOK 2838 AT PAGE 601; THENCE SOUTH 00°52'48" WEST ALONG SAID EAST LINE A DISTANCE OF 15.80 FEET TO THE TRUE POINT OF BEGINNING.
COUNTY OF ADAMS,
STATE OF COLORADO.

PARCEL B:

THAT PART OF THE SE $\frac{1}{4}$ SE $\frac{1}{4}$ OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M., DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 6; THENCE WEST, A DISTANCE OF 420.58 FEET, MORE OR LESS, TO THE SOUTHEAST CORNER OF TRACT OF LAND DESCRIBED IN DECREE RECORDED IN BOOK 367 AT PAGE 43;
THENCE NORTHEASTERLY, ALONG THE EAST LINE OF SAID TRACT DESCRIBED IN BOOK 367 AT PAGE 43, A DISTANCE OF 849 FEET TO THE TERMINAL POINT OF COURSE NO. 5 OF SAID TRACT DESCRIBED IN BOOK 367 AT PAGE 43;
THENCE NORTH 89°50' WEST, ALONG SAID COURSE NO. 5, A DISTANCE OF 28.5 FEET TO THE TERMINAL POINT OF COURSE NO. 4 OF SAID TRACT DESCRIBED IN BOOK 367 AT PAGE 43;
THENCE NORTH 0°40' EAST, ALONG SAID COURSE NO. 4, TO A POINT 330 FEET SOUTH OF THE NORTH LINE OF THE SE $\frac{1}{4}$ SE $\frac{1}{4}$ OF SAID SECTION 6;
THENCE EAST, ALONG A LINE 330 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE SE $\frac{1}{4}$ SE $\frac{1}{4}$ OF SAID SECTION 6, TO A POINT ON THE EAST LINE OF SAID SECTION 6; THENCE SOUTH, ALONG THE EAST LINE OF SAID SECTION 6, TO THE POINT OF BEGINNING,
COUNTY OF ADAMS,
STATE OF COLORADO.

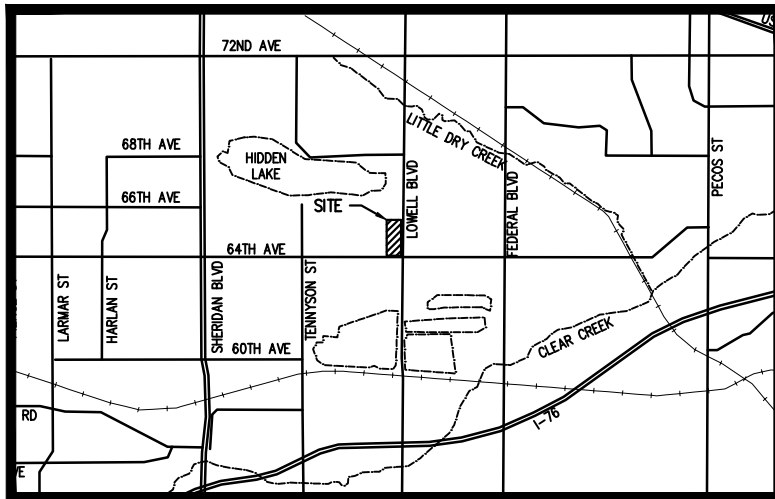
EXCLUDING THEREFROM THAT PORTION AS DESCRIBED IN RULE, ORDER, JUDGEMENT AND DECREE RECORDED AUGUST 16, 1985 AT RECEPTION NO. 593561.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM GPS OBSERVATION BASED UPON THE COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE (NAD 83, 2011) REFERENCED TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 68 WEST, SIXTH PRINCIPAL MERIDIAN BEING MONUMENTED AS SHOWN HEREON, TAKEN TO BEAR SOUTH 89°35'29" WEST, A DISTANCE OF 2,640.29 FEET.

BENCHMARK

AZTEC CONTROL POINT 55 BEING A 1.5 INCH ALUMINUM CAP 18 FEET EAST OF THE BACK OF WALK ON THE EAST SIDE OF LOWELL BOULEVARD AND 33 FEET SOUTHEAST OF A POWER POLE.
NAVD88 ELEV.=5233.13'



VICINITY MAP
SCALE: 1" = 800'

SHEET INDEX

- 1 COVER SHEET
- 2 SITE PLAN
- 3 SITE PLAN
- 4 SITE PLAN
- 5 OVERALL UTILITY PLAN
- 6 OVERALL UTILITY PLAN
- 7 OVERALL UTILITY PLAN
- 8 OVERALL GRADING PLAN
- 9 OVERALL GRADING PLAN
- 10 OVERALL GRADING PLAN
- 11 EXISTING CONDITIONS
- 12 SITE DETAILS

FIRE FLOW CALCULATION	
CONSTRUCTION TYPE	V-B
FIRE FLOW CALCULATION AREA	4,578 SQUARE FEET
MINIMUM FIRE FLOW	1,750 GALLONS PER MINUTE
FIRE FLOW W/ REDUCTION	1,500 GALLONS PER MINUTE
MINIMUM NO. OF HYDRANTS	1
AVG. HYDRANT SPACING	500 FEET
*2018 INTERNATIONAL FIRE CODE APPENDIX D, W/ ADAMS COUNTY AMENDMENTS	

CALCULATIONS BASED ON TWO FAMILY DWELLING OF 4,578 SF, TYPE V-B CONSTRUCTION, WITH TYPE 13 D SPRINKLERS.

DEVELOPER

THE TRUE LIFE COMPANIES
1350 17TH ST, STE 350
DENVER, CO 80202
CONTACT: DAVID CLOCK
720-330-9211
DCLOCK@THETRUELIFECOMPANIES.COM

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DHEATON@KTOY.COM

LANDSCAPE ARCHITECT

NORRIS DESIGN
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CONTACT: JOHN NORRIS & EVA MATHER
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EMATHER@NORRIS-DESIGN.COM

CIVIL ENGINEER

HKS **HARRIS KOCHER SMITH**
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

ISSUE DATE: 06-11-2021		PROJECT #: 200917
DATE	REVISION COMMENTS	
09-08-2021	PER CITY COMMENTS	
01-10-2022	PER SITE CHANGES	

Filename: K:\200917\ENGINEERING\PRELIMINARY ENGINEERING PLAN\PEP - COVER.DWG Layout: LAYOUT1
Plotted: MON 01/10/2022 15:24:29 By: Hunter Thompson

PROJECT #: 200917

SHEET 2 OF 12



SHEET 3 OF 12



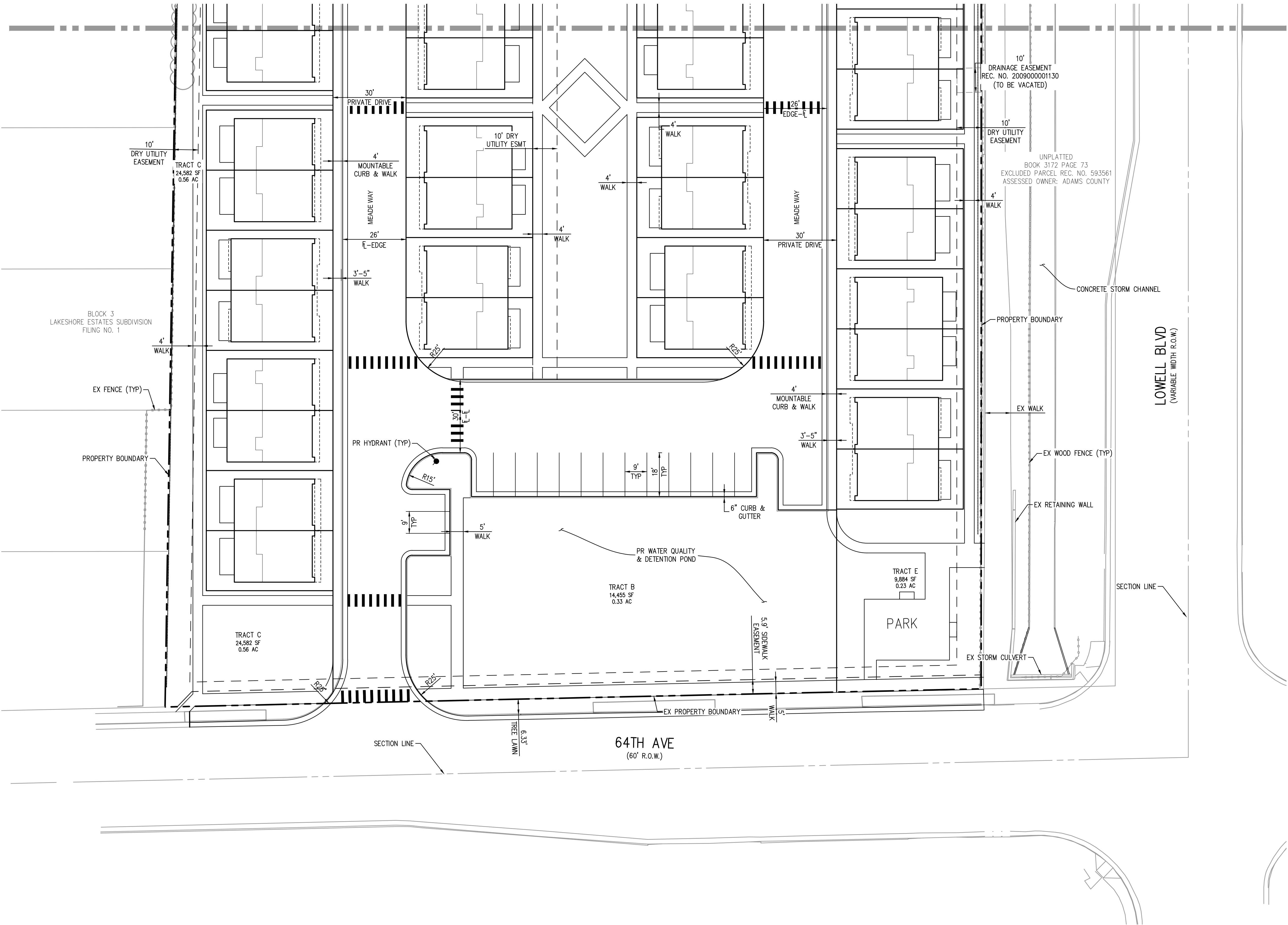
SHEET 3 OF 12

CLEAR CREEK VALLEY

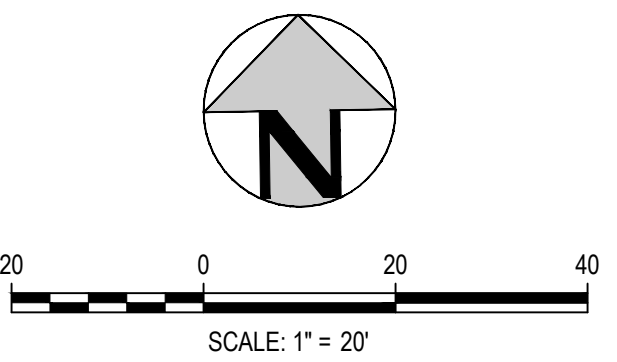
CLEAR CREEK VALLEY
TWO PARCELS LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF
SECTION 6, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M.
COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY ENGINEERING PLAN

MATCH LINE - SEE SHEET 3

SHEET 4 OF 12



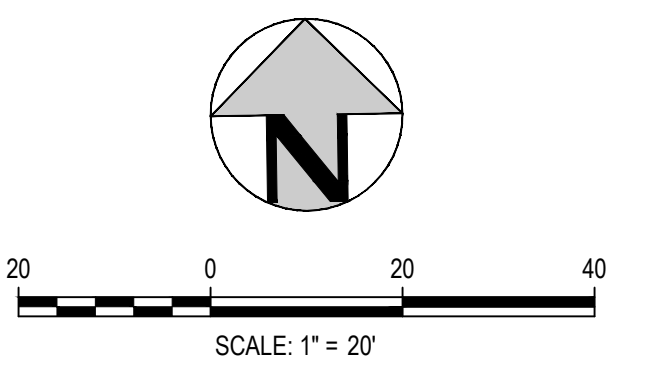
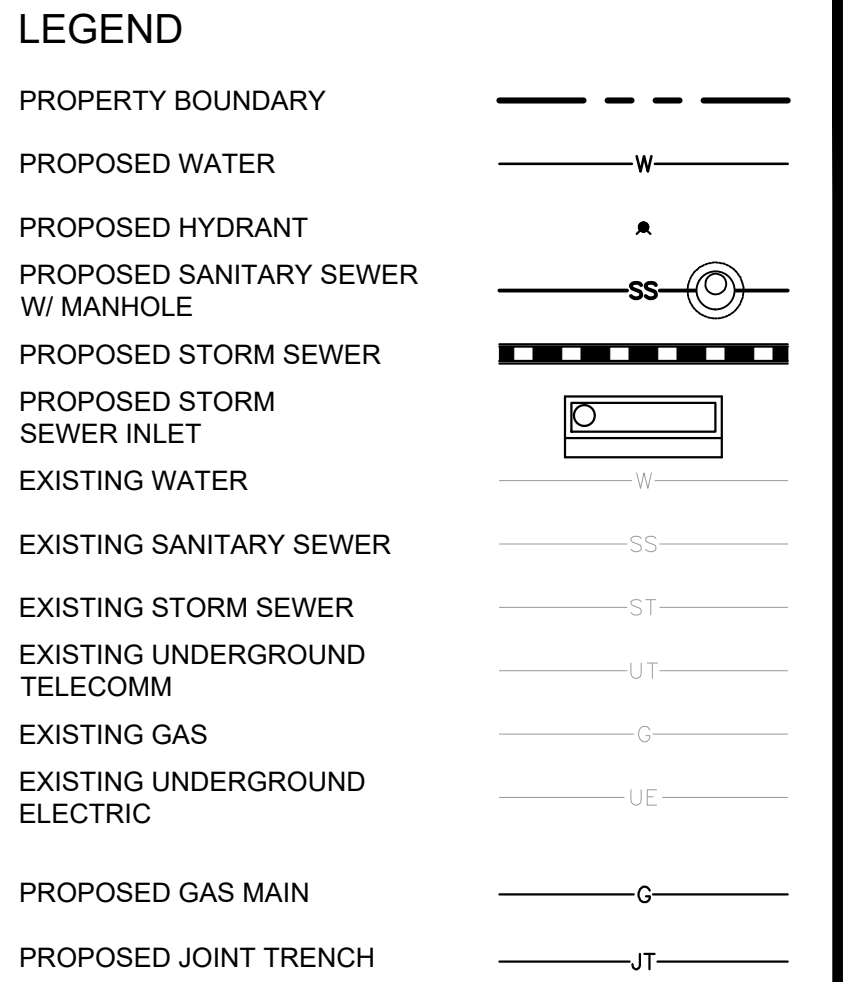
LEGEND
PROPERTY BOUNDARY
LOT LINE
SETBACK LINE
DRY UTILITY EASEMENT



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

Filepath: K:\2021 PRELIMINARY ENGINEERING PLAN\PEP - SITE PLANS\DWG Layout\LAYOUT3
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Project # 200817

SHEET 5 OF 12



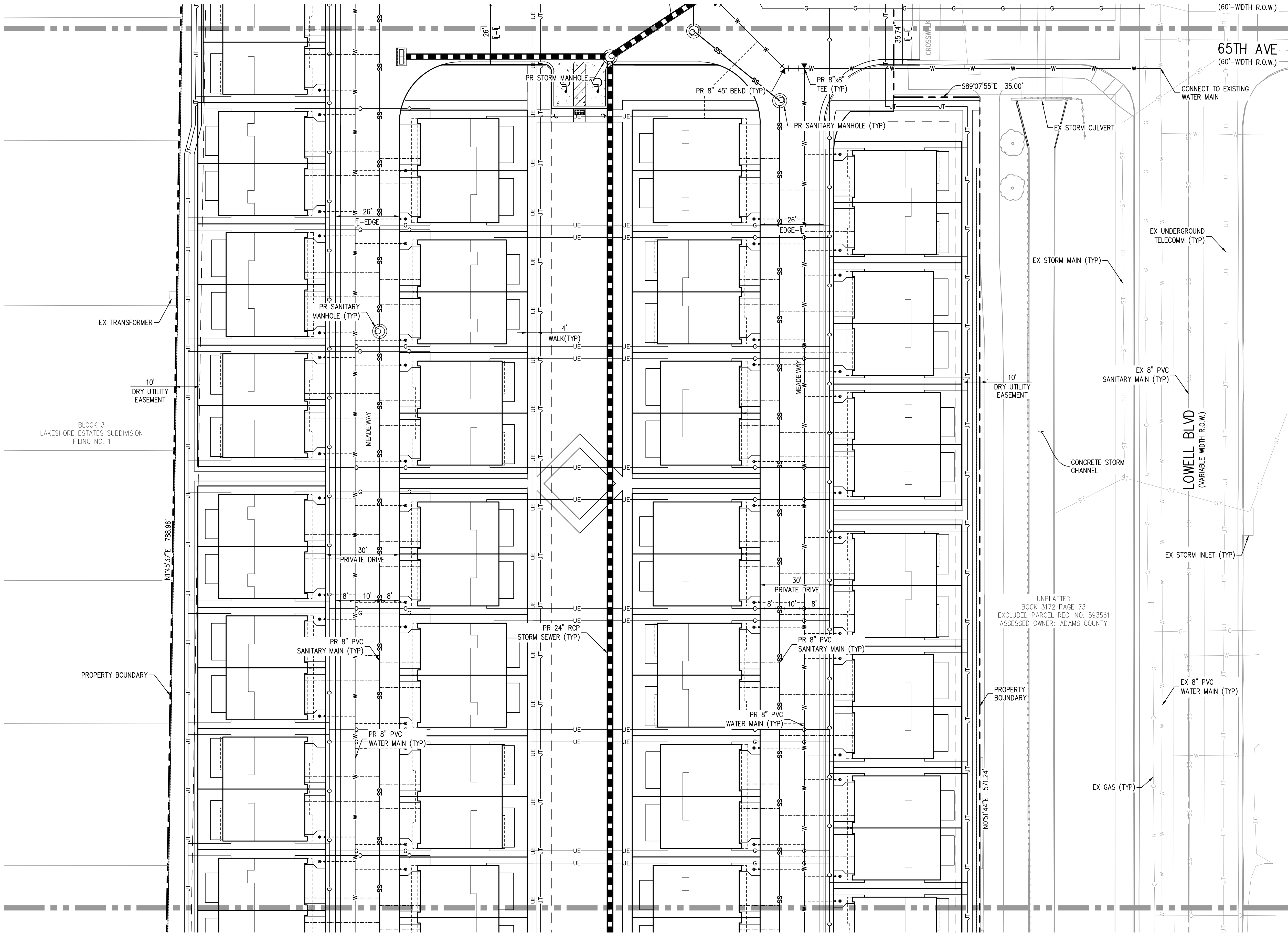
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CASE NO. PRC2021-00002

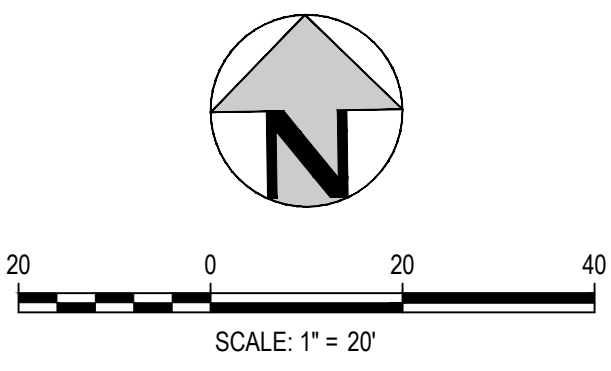
CLEAR CREEK VALLEY
TWO PARCELS LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF
SECTION 6, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M.
COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY ENGINEERING PLAN

MATCH LINE - SEE SHEET 5

SHEET 6 OF 12



LEGEND	
PROPERTY BOUNDARY	---
PROPOSED WATER	W
PROPOSED HYDRANT	▲
PROPOSED SANITARY SEWER W/ MANHOLE	SS
PROPOSED STORM SEWER	ST
PROPOSED STORM SEWER INLET	IN
EXISTING WATER	W
EXISTING SANITARY SEWER	SS
EXISTING STORM SEWER	ST
EXISTING UNDERGROUND TELECOMM	UT
EXISTING GAS	G
EXISTING UNDERGROUND ELECTRIC	UE
PROPOSED GAS MAIN	G
PROPOSED JOINT TRENCH	JT



MATCH LINE - SEE SHEET 7

REVISION DATE: 01-10-2022 ISSUE DATE: 06-11-2021 SHEET 6 OF 12

CLEAR CREEK VALLEY

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Project: K001102213306P By: Harker Thompson

PROJECT # 200817

Filepath: K:\2009\7\ENGINEERING\UTILITIES\PP - OVERALL UTILITY PLAN.DWG Layout: LAYOUT3
5 XREFs: e-base, e-legal, e-util, p-base, p-util
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NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

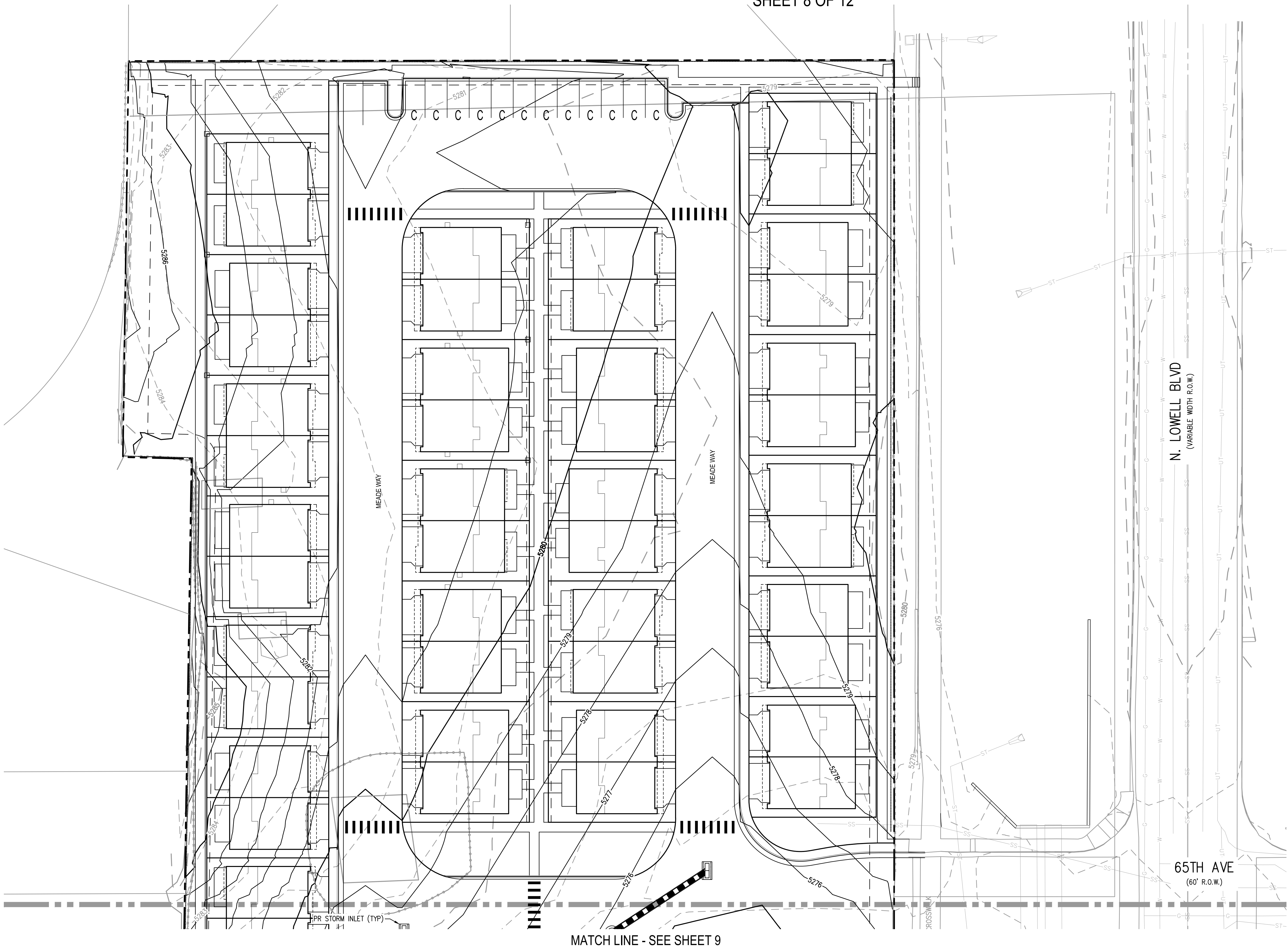
CASE NO. PRC2021-00002

CLEAR CREEK VALLEY

TWO PARCELS LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF
SECTION 6, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

PRELIMINARY ENGINEERING PLAN

SHEET 8 OF 12



LEGEND

PROPERTY BOUNDARY

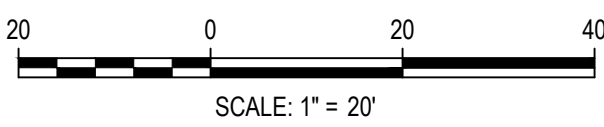
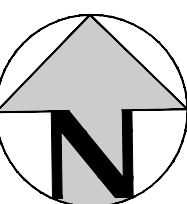
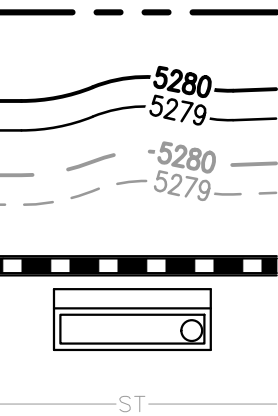
PROPOSED CONTOUR

EXISTING CONTOUR

PROPOSED STORM SEWER

PROPOSED STORM
SEWER INLET

EXISTING STORM SEWER



OVERLOT GRADING PLAN

SHEET 8 OF 12

CLEAR CREEK VALLEY

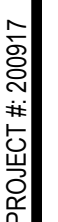
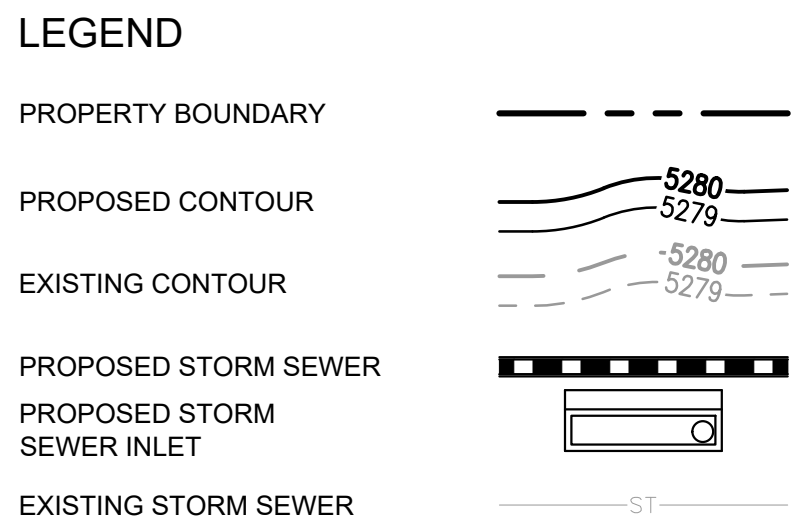
REVISION DATE: 01-10-2022 ISSUE DATE: 06-11-2021

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PROJECT # 200817

SHEET 9 OF 12

MATCH LINE - SEE SHEET 10

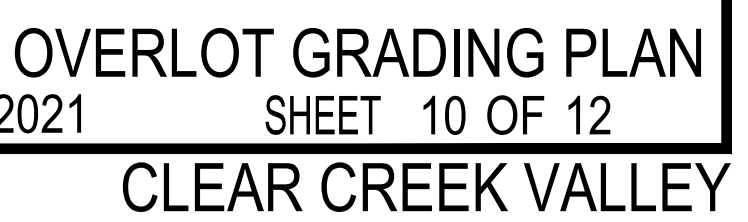
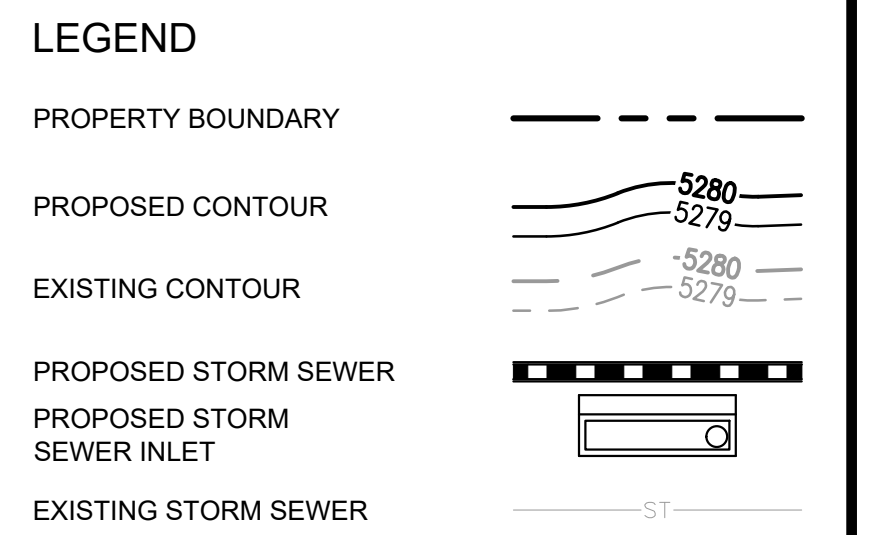


SHEET 9 OF 12

CLEAR CREEK VALLEY

MATCH LINE - SEE SHEET 9

SHEET 10 OF 12



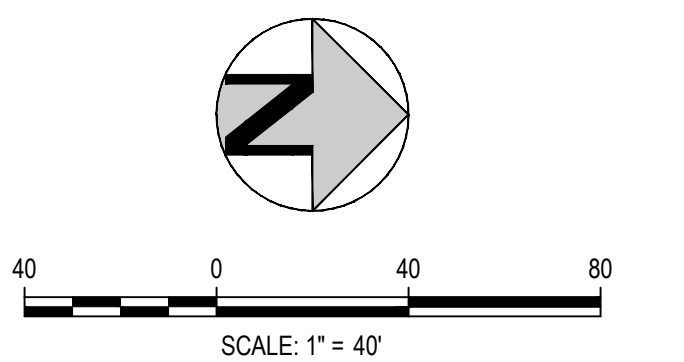
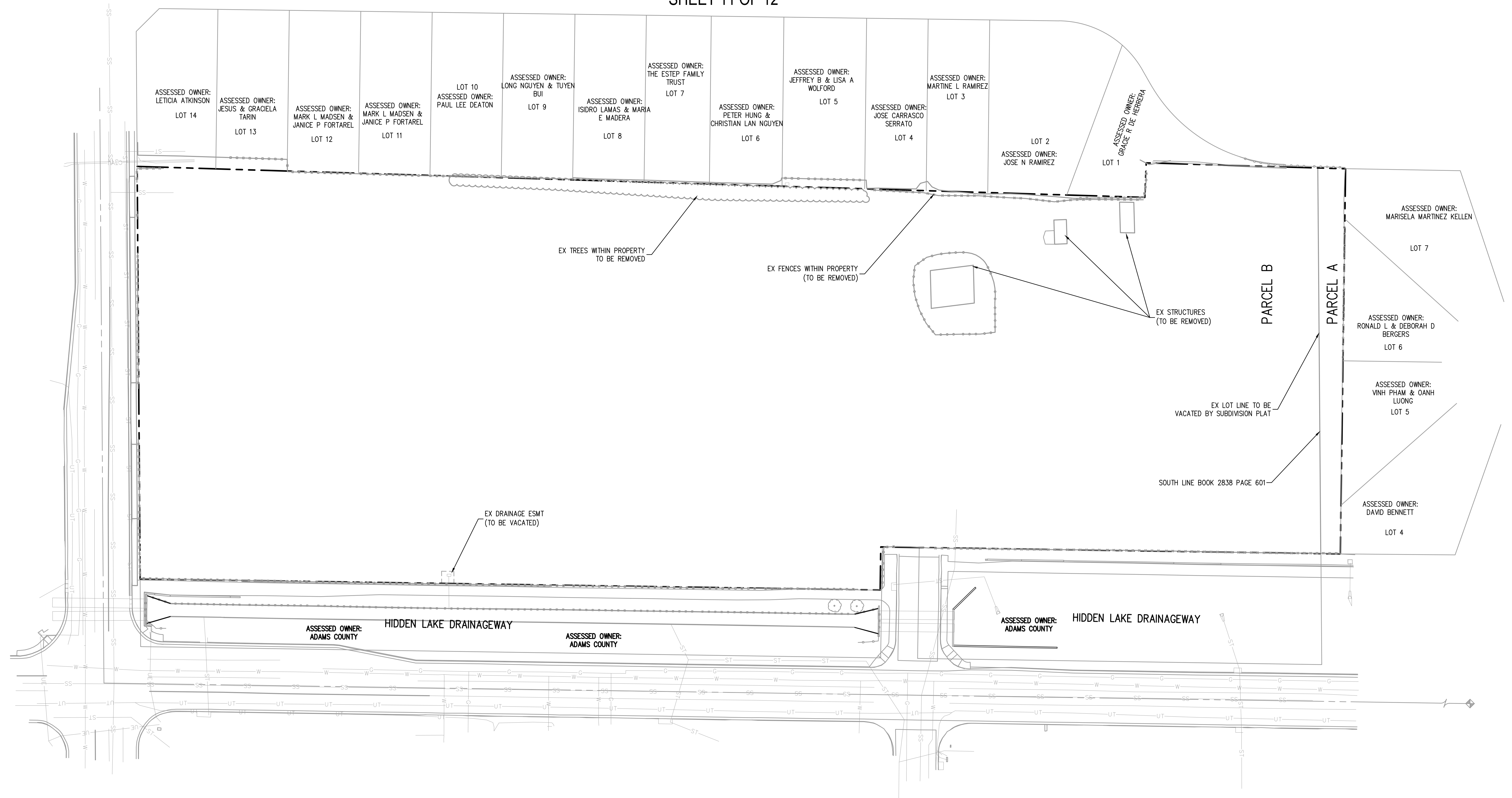
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

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Printed: MON 01/10/2025 15:38P By: Hunter Thompson

CLEAR CREEK VALLEY

TWO PARCELS LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF
SECTION 6, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M.
COUNTY OF ADAMS, STATE OF COLORADO
PRELIMINARY ENGINEERING PLAN

SHEET 11 OF 12



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

Filepath: K:\2009\ENGINEERING\PRELIMINARY PLAT\PRELIMINARY PLAT - COVER.DWG Layout: LAYOUT1
Printed: MON 01/10/2022 11:55:59 By: Hunter Thompson

DEVELOPER

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303-825-6400
DHEATON@KTGY.COM

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JNORRIS@NORRIS-DESIGN.COM
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HKS

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KOCHER
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HarrisKocherSmith.com

ISSUE DATE: 09-08-2021		PROJECT #: 200917
DATE	REVISION COMMENTS	
01-10-2022	PER CITY COMMENTS	

NOTES AND RESTRICTIONS:

- SURFACED ACCESS ROADS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF FIRE APPARATUS AND ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING CONSTRUCTION
- RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON AND THROUGH ANY AND ALL PRIVATE ROADS, DRIVES AND ALLEYS.
- ALL PRIVATE ROADS, ALLEYS AND DRIVES ARE HEREBY DESIGNATED AS FIRE LANES. WHEN REQUIRED, ALL FIRE LANES SHALL BE POSTED "NO PARKING-FIRE LANE". ALL FIRE LANES SHALL BE INCLUDED INTO THE ADAMS COUNTY PROGRAM FOR ENFORCEMENT OF PRIVATE PROPERTY PARKING.
- ALL INTERNAL ROADS AND DRAINAGE FACILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FINAL PUD, STREET CONSTRUCTION PLANS, PAVEMENT DESIGN, GRADING & EROSION CONTROL PLAN, AND A FINAL DRAINAGE PLAN SUBMITTED TO AND APPROVED BY ADAMS COUNTY. PRIOR TO ISSUANCE OF BUILDING PERMITS FOR HOMES WITHIN THE SUBDIVISION, ALL COUNTY IMPROVEMENTS REQUIRED IN ACCORDANCE WITH APPROVED PLANS BY ADAMS COUNTY, SHALL HAVE RECEIVED PRELIMINARY ACCEPTANCE OF CONSTRUCTION BY THE DEPARTMENT OF PUBLIC WORKS.
- NOTICE IS GIVEN THAT THIS SUBDIVISION WILL BE SUBJECT TO RECORDED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS. ADAMS COUNTY IS NOT RESPONSIBLE FOR ENFORCEMENT OF THESE RECORDED COVENANTS, CONDITIONS AND RESTRICTIONS THAT SHALL BE FILED AGAINST THIS SUBDIVISION PLAT.
- THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.

STATEMENT RESTRICTING ACCESS:

THE PROJECT WILL BE ACCESSED FROM 64TH AVENUE OR LOWELL BLVD. (VIA EXISTING 65TH AVENUE). BOTH ENTRIES WILL BE PRIVATE AND WILL INTERSECT WITH THE ADJACENT ROW OF 64TH AVENUE OR LOWELL BLVD. (VIA 65TH AVENUE). PUBLIC ACCESS ACROSS RIGHT-OF-WAY LINES, INCLUDING 64TH AVENUE AND LOWELL BLVD, IS RESTRICTED. NO INDIVIDUAL LOT ACCESS WILL BE ALLOWED OFF 64TH AVENUE, 65TH AVENUE OR LOWELL BLVD.

FLOODPLAIN

THE SUBJECT PROPERTY SHOWN HEREIN LIES WITHIN OTHER AREAS - ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP INDEX NO. 08001C0583H. MAP REVISED MARCH 5, 2007.

BOARD OF COUNTY COMMISSIONERS APPROVAL:

APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS
THIS ____ DAY OF _____, A.D. 2021

CHAIRMAN

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM GPS OBSERVATION BASED UPON THE COLORADO COORDINATE SYSTEM OF 1983 NORTH ZONE (NAD 83, 2011) REFERENCED TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 68 WEST, SIXTH PRINCIPAL MERIDIAN BEING MONUMENTED AS SHOWN HEREON, TAKEN TO BEAR SOUTH 89°35'29" WEST, A DISTANCE OF 2,640.29 FEET.

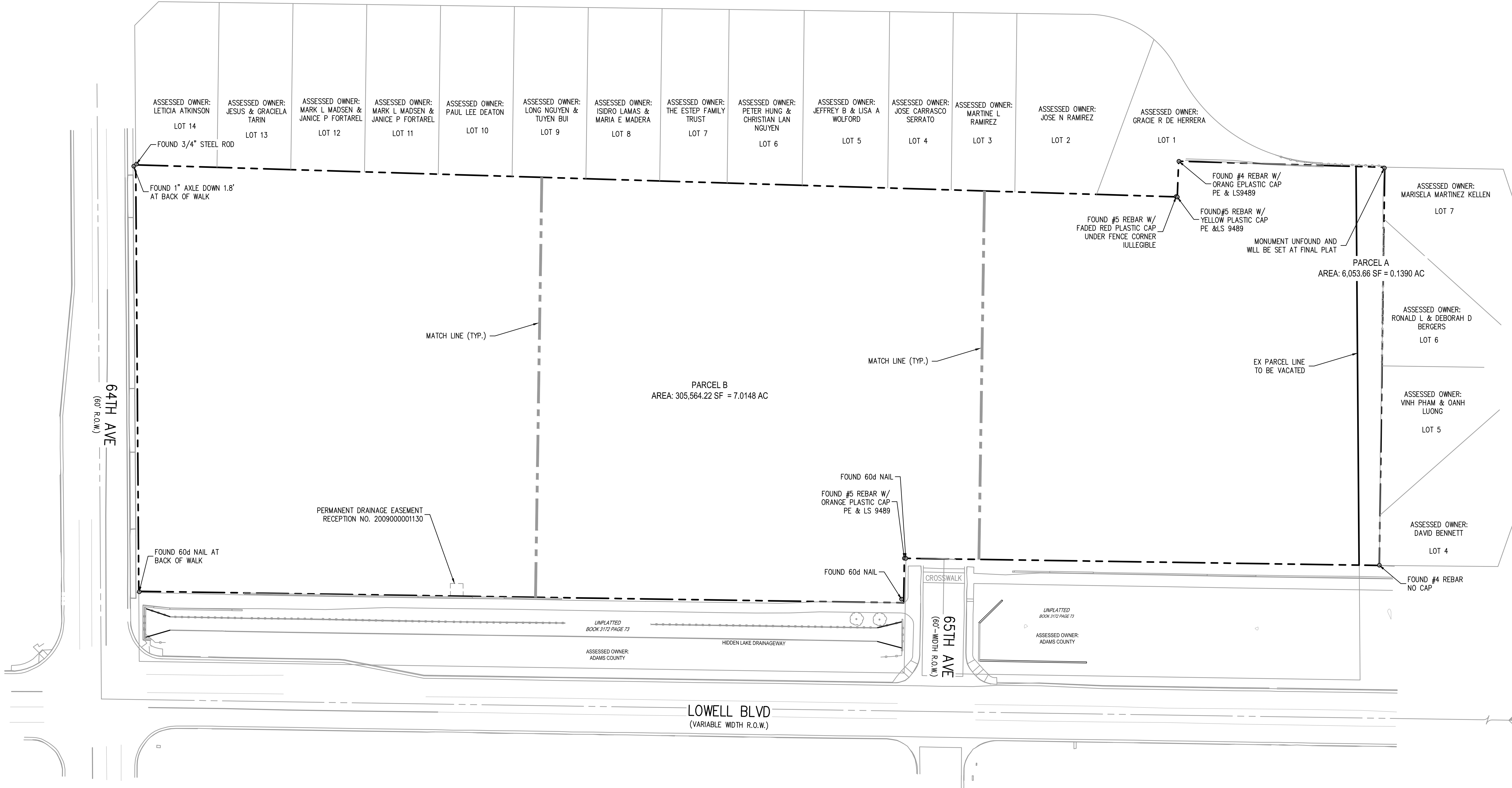
SURVEYOR'S CERTIFICATION:

I, AARON MURPHY, A LICENSED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY FOR TTLC DENVER - FEDERAL BLVD SUBDIVISION PLAT WAS MADE UNDER MY SUPERVISION AND THE ACCOMPANYING PLAN ACCURATELY AND PROPERLY SHOWS SAID SURVEY.

AARON MURPHY, PLS 38162
FOR AND ON BEHALF OF
HARRIS KOCHER SMITH

CLEAR CREEK VALLEY SUBDIVISION PRELIMINARY PLAT
BEING A PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 6,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

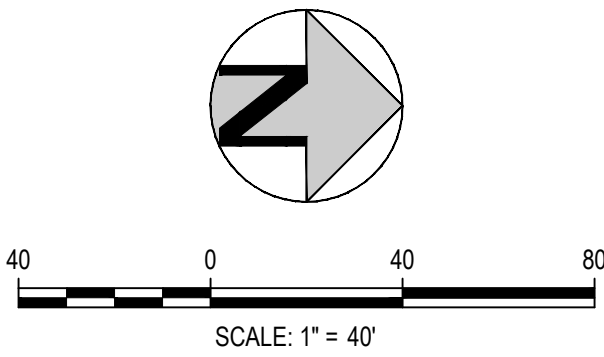
SHEET 3 OF 5



LEGEND

EXISTING PARCEL LINE TO BE VACATED
PROPERTY BOUNDARY

● FOUND MONUMENT AS DESCRIBED



REVISION DATE: 01-10-2022 ISSUE DATE: 09-08-2021

SHEET 2 OF 5

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

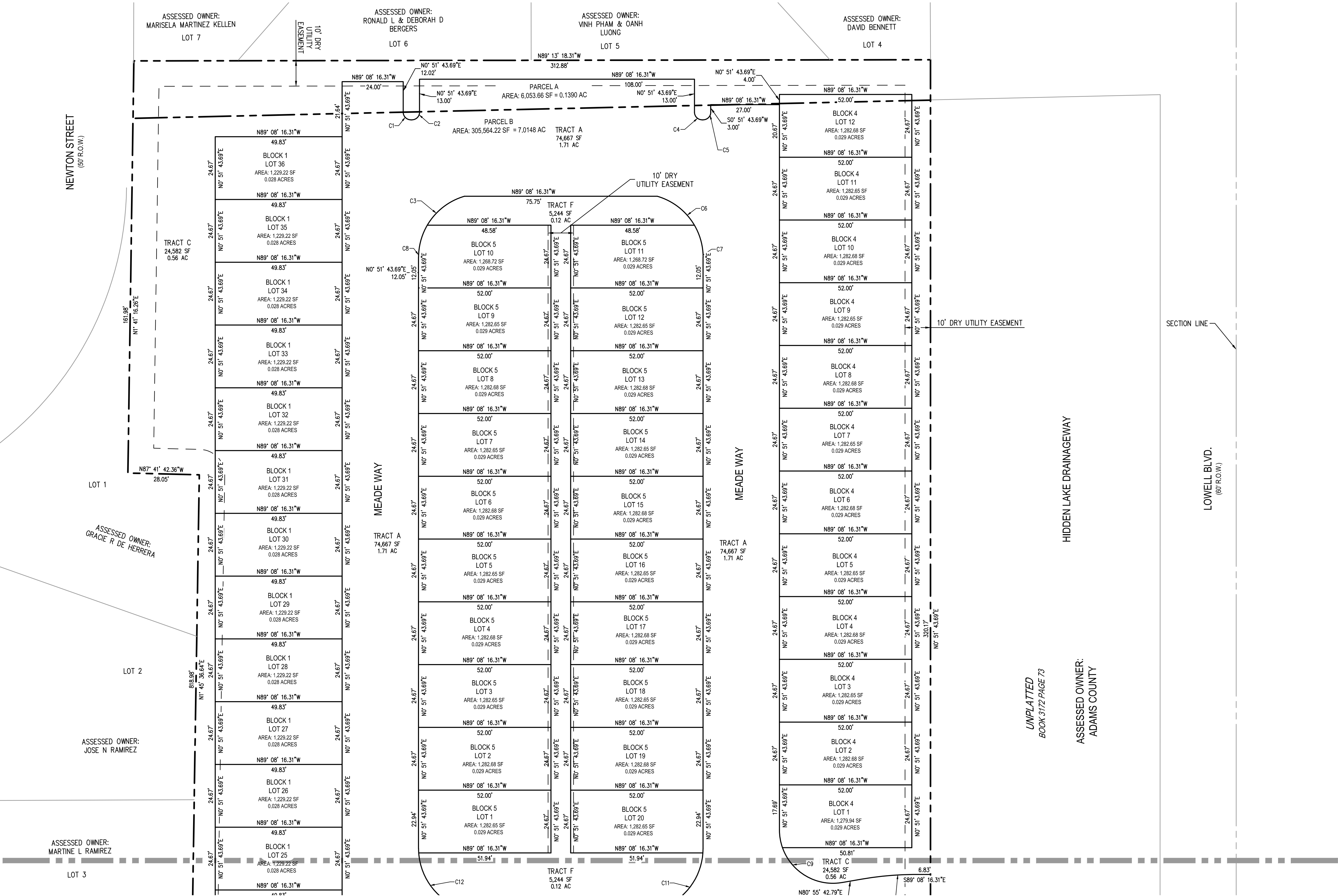
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Plotted: MON 08/07/2023 11:50:05 By: Hunter Thompson

PROJECT # 200817

CLEAR CREEK VALLEY SUBDIVISION PRELIMINARY PLAT
BEING A PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 6,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M.
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 5

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

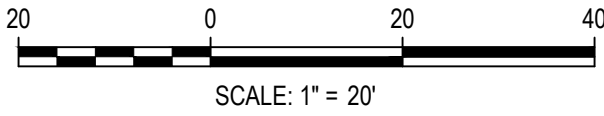
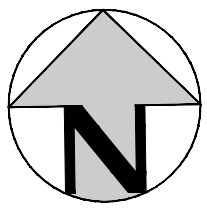
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Plotted: MON 01/10/2022 11:16:08 By: Harlan Thompson



CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
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C2	4.71'	3.00'	90.00°
C3	18.95'	25.00'	43.42°
C4	4.71'	3.00'	90.00°
C5	4.71'	3.00'	90.00°
C6	18.95'	25.00'	43.42°
C7	1.85'	25.00'	4.23°
C8	1.85'	25.00'	4.23°
C9	29.51'	21.00'	80.52°
C10	20.29'	122.00'	9.53°
C11	30.45'	25.00'	69.78°
C12	30.45'	25.00'	69.78°
C13	26.77'	25.00'	61.34°
C14	4.71'	3.00'	90.00°
C15	4.71'	3.00'	90.00°
C16	26.76'	25.00'	61.33°
C17	14.21'	21.08'	38.61°
C18	3.21'	21.08'	8.71°
C19	16.06'	25.00'	36.80°
C20	16.12'	25.00'	36.94°
C23	16.12'	25.00'	36.95°
C24	16.05'	25.00'	36.78°
C25	4.71'	3.00'	90.00°
C26	21.44'	15.00'	81.91°
C27	1.00'	1.50'	38.12°
C28	2.82'	2.50'	59.97°
C29	3.93'	2.50'	90.00°
C30	21.43'	25.00'	49.12°
C31	5.91'	25.00'	13.55°

LEGEND

- PROPERTY BOUNDARY
LOT LINE
DRY UTILITY EASEMENT



SCALE: 1" = 20'

MATCH LINE - SEE SHEET 4

CLEAR CREEK VALLEY SUBDIVISION PRELIMINARY PLAT
BEING A PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 6,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

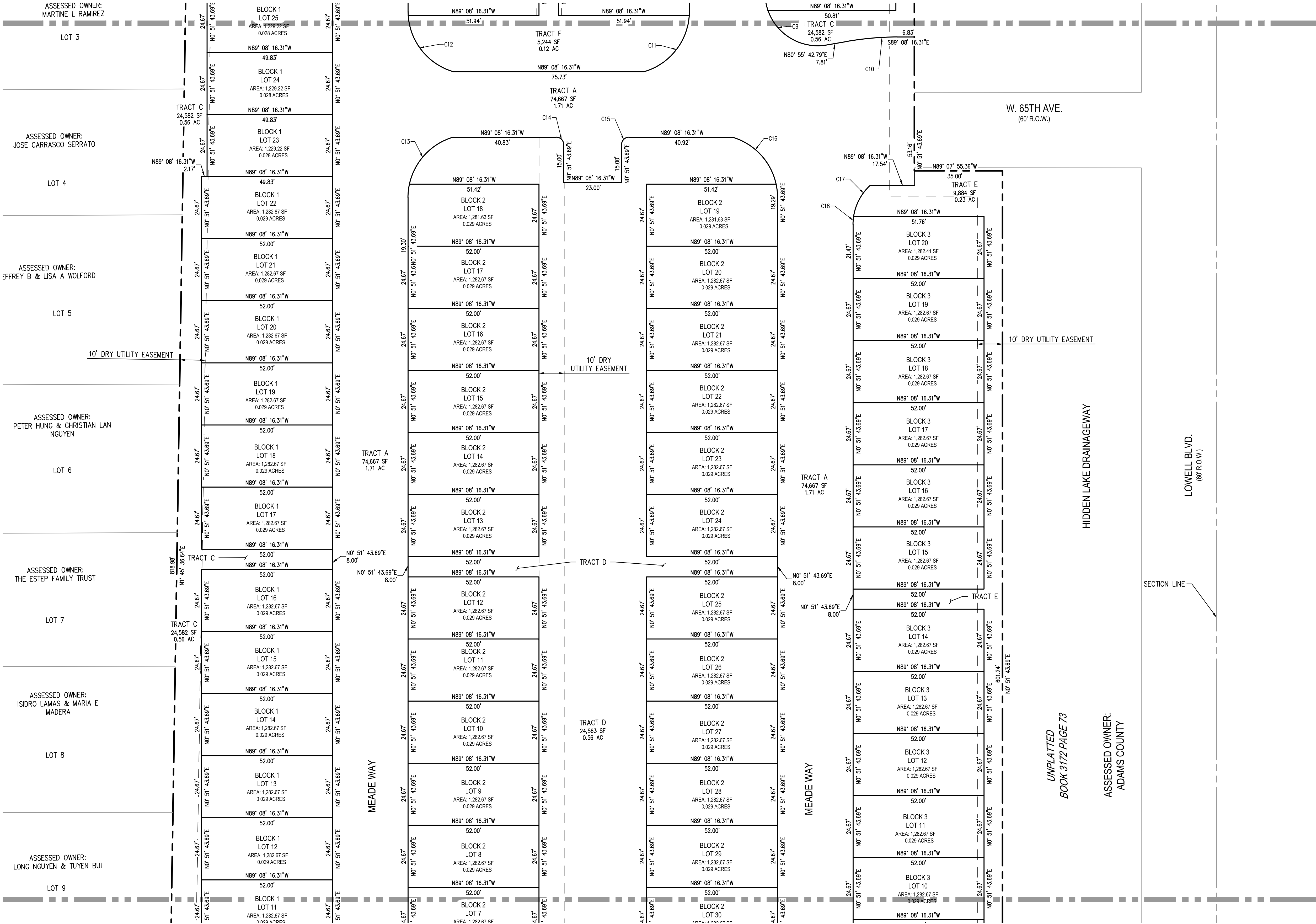
SHEET 4 OF 5

MATCH LINE - SEE SHEET 3

MATCH LINE - SEE SHEET 5

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

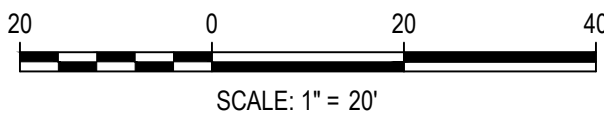
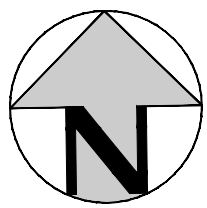
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CURVE TABLE			
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C2	4.71'	3.00'	90.00°
C3	18.95'	25.00'	43.42°
C4	4.71'	3.00'	90.00°
C5	4.71'	3.00'	90.00°
C6	18.95'	25.00'	43.42°
C7	1.85'	25.00'	4.23°
C8	1.85'	25.00'	4.23°
C9	29.51'	21.00'	80.52°
C10	20.29'	122.00'	9.53°
C11	30.45'	25.00'	69.78°
C12	30.45'	25.00'	69.78°
C13	26.77'	25.00'	61.34°
C14	4.71'	3.00'	90.00°
C15	4.71'	3.00'	90.00°
C16	26.78'	25.00'	61.33°
C17	14.21'	21.08'	38.61°
C18	3.21'	21.08'	8.71°
C19	16.08'	25.00'	36.80°
C20	16.12'	25.00'	36.94°
C23	16.12'	25.00'	36.95°
C24	16.08'	25.00'	36.78°
C25	4.71'	3.00'	90.00°
C26	21.44'	15.00'	81.91°
C27	1.00'	1.50'	38.12°
C28	2.62'	2.50'	59.97°
C29	3.93'	2.50'	90.00°
C30	21.43'	25.00'	49.12°
C31	5.91'	25.00'	13.55°

LEGEND

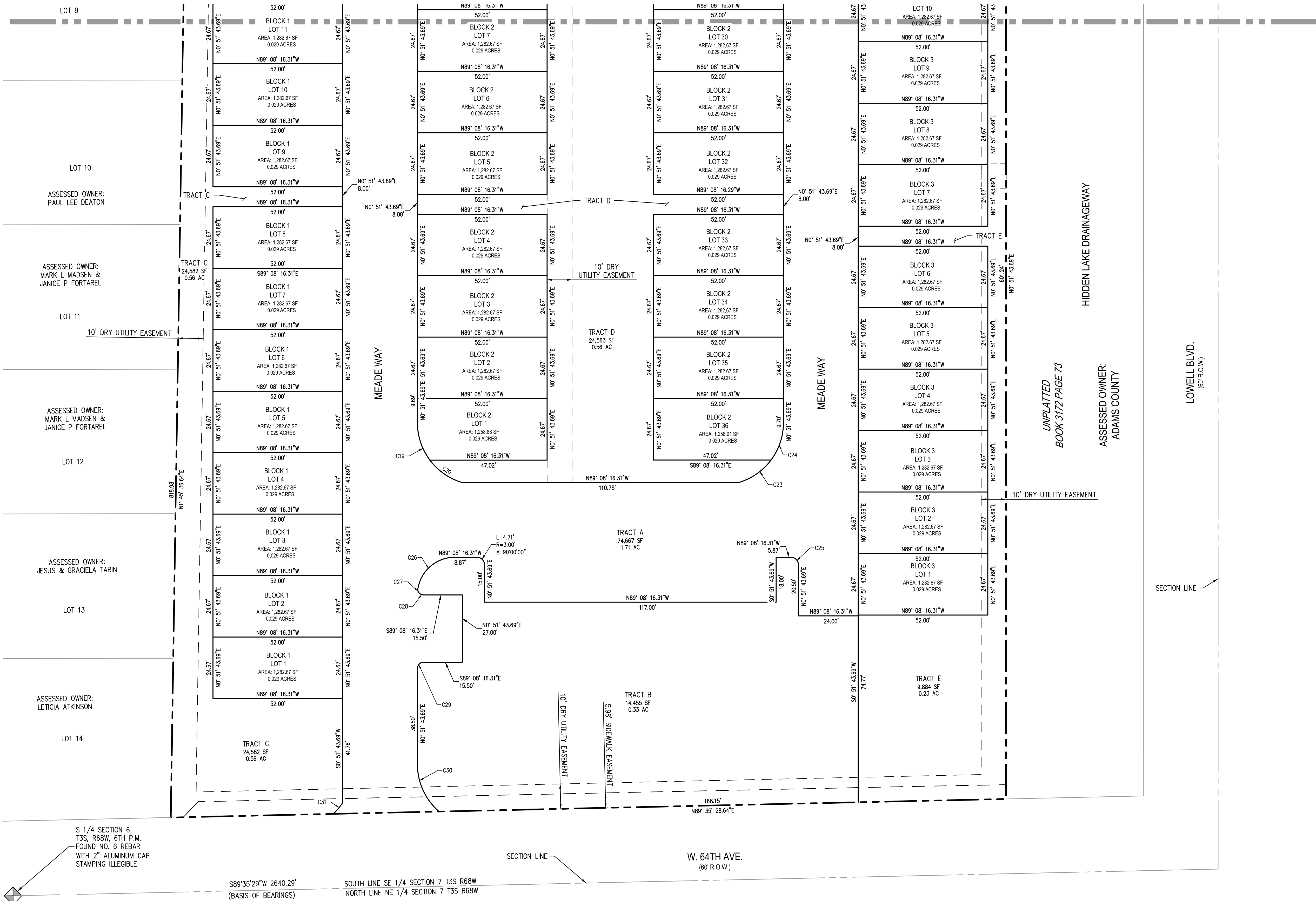
- PROPERTY BOUNDARY
- LOT LINE
- DRY UTILITY EASEMENT



CLEAR CREEK VALLEY SUBDIVISION PRELIMINARY PLAT
BEING A PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 6,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 5 OF 5

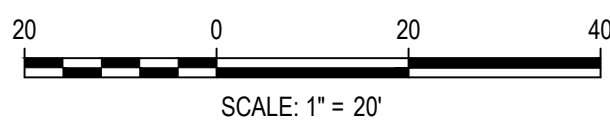
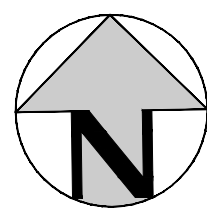
MATCH LINE - SEE SHEET 4



CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	4.71'	3.00'	90.00°
C2	4.71'	3.00'	90.00°
C3	18.95'	25.00'	43.42°
C4	4.71'	3.00'	90.00°
C5	4.71'	3.00'	90.00°
C6	18.95'	25.00'	43.42°
C7	1.85'	25.00'	4.23°
C8	1.85'	25.00'	4.23°
C9	29.51'	21.00'	80.52°
C10	20.29'	122.00'	9.53°
C11	30.45'	25.00'	69.78°
C12	30.45'	25.00'	69.78°
C13	26.77'	25.00'	61.34°
C14	4.71'	3.00'	90.00°
C15	4.71'	3.00'	90.00°
C16	26.76'	25.00'	61.33°
C17	14.21'	21.08'	38.61°
C18	3.21'	21.08'	8.71°
C19	16.06'	25.00'	36.80°
C20	16.12'	25.00'	36.94°
C23	16.12'	25.00'	36.95°
C24	16.05'	25.00'	36.78°
C25	4.71'	3.00'	90.00°
C26	21.44'	15.00'	81.91°
C27	1.00'	1.50'	38.12°
C28	2.82'	2.50'	59.97°
C29	3.93'	2.50'	90.00°
C30	21.43'	25.00'	49.12°
C31	5.91'	25.00'	13.55°

LEGEND

- PROPERTY BOUNDARY
LOT LINE
DRY UTILITY EASEMENT



IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN

A. Explanation of the Characteristics of the PUD and its Potential Impact on the Surrounding Area

TTLIC Denver proposes a new residential subdivision to provide new homes to the burgeoning area within Adams County that is identified in the future land use area plan and comprehensive plan as Urban Residential. This property is approximately 6.8 acres located at the northwest corner of 64th Avenue and Lowell Boulevard. These applications propose 124 residential duplex lots that will provide new homes to help relieve some of the current housing demand within the County. The new community is designed to attract a broad spectrum of residents with access to the existing Jim Baker Trail, Hidden Lake Park and Clear Creek Valley Park. The neighborhood will have convenient access to major transportation corridors as well as direct access to several RTD FastTrack Stations

The abutting neighborhoods to the west and north are zoned R-1-C with other neighbors zoned PUD, R-4 and R-2 and R-3. This development provides a residential transition from the single-family detached homes to the north and the west, to the multi-family development on the northeast corner of 64th and Lowell Boulevard.

The application for Clear Creek Valley is to rezone the site from R-1-A and C-4 to Planned Unit Development (PUD) to create standards to allow this product at this location. The proposal draws from several other neighboring zones to provide compatibility. The applicant's PUD is requesting a density of 18.2 du/ac, which is consistent with R-4 zoning and height restriction of 35' which is consistent with R-3 zoning.

The property is located near several key transit areas creating great opportunity for transition to higher density residential and per the Southwest Adams County Making Connections plan is an area that is anticipated to be very urbanized. The site is within 1.4 miles of the Clear Creek-Federal RTD Station, 1.5 miles of the 60th & Sheridan / Arvada Gold Strike RTD Station on the Gold Line, and within 0.8 miles from the Westminster RTD Station on the B Line.

B. Provisions for Parking

Clear Creek Valley will provide a minimum of two (2) resident parking spaces per single-family attached unit in garages plus 0.29 guest parking spaces.

C. Circulation and Road Patterns

The primary entrance to the site will be from Lowell Boulevard with a second access point from West 64th Avenue. A system of internal 30' private streets and attached walkways will provide access through the neighborhood. The private streets shall be constructed and maintained by the Developer and HOA. Internal walkways are designed to provide pedestrian access around the site and draw residents into the central greenway amenity area, the northwest amenity area and southwest amenity area with amenities including a bocce ball court, climbing boulders, playground areas, cornhole lanes, pergola, covered picnic areas and community grilling stations. Side walk connections to the Jim Baker Regional trail are provided at the north and south ends of the site to all connectivity to this regional amenity. A pedestrian walk on the western edge of the site provides north-south connectivity for residents. A detailed connectivity graphic is shown on page 5 of this PUD.

D. Type, Location, Examples of Copy and Monument Signs

The community will have entry monumentation signage at key intersections. Entry monumentation will be located off W. 64th Avenue and W. 65th Avenue. Signage may have the name of the community. Internally illuminated cabinet with mounted signage. All signage specifications are subject to change at time of Final Development Plan.

Signage monumentation shall be constructed using acid etched letters, stone tile sign face, brick wall and LED up-lighting. All signage characterization and materials are subject to change. See proposed signage character images on sheet 9.

E. Type and Allocation of All Uses Including Permitted Uses, Uses Permitted After Amendment to the PUD and Prohibited Uses

This neighborhood provides for single-family duplex homes, private access drives, landscape amenities, necessary detention facilities and any other uses that may be typical in a residential neighborhood.

F. Location and Types of Landscaping and Maintenance Provisions

A Conceptual Landscape Plan has been included as part of this submittal that demonstrates the connectivity and community amenities provided, such as a pergola, both covered and uncovered picnic areas, grilling spaces, children's playground with an added climbing rock/boulder feature, cornhole, bocce ball, other flex lawn open space gaming locations suitable for mini soccer, frisbee, catch or other lawn games, and trail side benches.

Detailed landscaping lot typical designs are included with this PDP/PUD, please refer to sheets 6-8. Common area landscaping and landscape amenities will be owned and maintained by the HOA.

Homes will be designed to front on Lowell Boulevard to provide a uniform urban streetscape with front doors facing outwards towards the larger community. Internal homes will front a green court facing the center of the community or oriented towards the west to capture westerly views. Native landscaping will surround the detention pond to mirror the existing landscape.

The proposed density achieves the Urban Residential land use designation. The proposed neighborhood provides open space areas consistent with this type of urban infill development. This neighborhood will make use of the adjacent Jim Baker Regional trail, connecting people to parks throughout the community - and adding to the trail amenity with shelter, barbeque, bike repair stations and benches for residents and passerby.

G. Bufferyard and Landscaping Requirements

In lieu of a bufferyard, various vine species shall be permitted in order to grow upwards and provide a buffer where applicable. In addition, lot landscaping has been enhanced to provide additional landscaping on lots fronting the Jim Baker Trail.

Right-of-Way landscaping along 64th Avenue shall require a minimum of one (1) shade tree and two (2) shrubs per one-thousand (1000) square feet of right-of-way landscape area shall be provided. Ornamental trees and shrubs shall be provided along private streets where utilities and site plan allows.

Plant size minimum required in the right-of-way and detention areas are a 2 ½" caliper deciduous or ornamental trees, 6' evergreens, and 5-gallon shrubs or better. Twenty (20) percent of trees shall be 3" caliper deciduous or ornamental trees and 8' evergreen or better. The caliper of all trees shall be measured at at point one (1) foot above grade level.

The property owner's association is responsible for maintenance of all common area landscapes including areas such as the right-of-way landscaping along roads, open spaces, and all detention pond landscaping.

H. Fencing

42" 3-rail fence with pet mesh is proposed on eastern property line to replace existing fence and provide separation between the Jim Baker Trail and new residences. 6' privacy fence is permitted along north and west property lines to provide a new uniform residential edge. No fencing will be permitted along individual lots.

I. Accessory Structures

Accessory structures are prohibited.

J. Utility Service Providers

The Crestview Water and Sanitation District has indicated that they have adequate capability to serve this property with both water and sewer. Xcel Energy will provide gas and electric services to the property.

K. Estimated Timetable for Development

Depended on the final government approvals, the proposed development work will begin in approximately two (2) years with completion in four (4) to six (6) years.

L. Fire Protection District

Adams County Fire Station No. 12 will serve this property.

M. Phasing

This property will be developed in one (1) total phase.

N. HOA

Homeowners association will be established for care and maintenance of this subdivision.

CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTLIC MANAGEMENT, INC
DAVID CLOCK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
09/22/2021
01/05/2022

SHEET TITLE:
WRITTEN
NARRATIVE
SHEET NUMBER:

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN

DEVELOPMENT STANDARDS

SINGLE-FAMILY ATTACHED DUPLEX HOMES WITH REAR LOADED GARAGE									
USE	MINIMUM LOT SIZE	MINIMUM LOT WIDTH	MAXIMUM DENSITY	MINIMUM SETBACK TO PORCH	MINIMUM FRONT YARD SETBACK FOR PRINCIPAL STRUCTURE	MINIMUM SIDE YARD SETBACK FOR ALL STRUCTURES	MINIMUM REAR YARD SETBACK FOR PRINCIPAL STRUCTURES	MAXIMUM BUILDING HEIGHT	MAXIMUM LOT COVERAGE
LOT TYPICAL	1,232 sq ft	24'-8"	18.2 du/ac	3'	8'	3'-6" EXTERIOR WALL 0' COMMON WALL	5'	40'	70%

NOTES:

- Bay windows, cantilevers, chimneys, exterior posts/columns, mechanical equipment, light fixtures, balconies, stairs and other similar architectural features are allowed to extend outward from the principal structure in front, side and rear yards. In no instance may an encroachment cross the property line or be located less than six-feet from the finished material of the encroachment to the adjacent property. When an encroachment is less than 5' from the property line, then the current ICB and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.
- Roof overhangs are permitted in the building setback and are not included as a part of lot coverage. In no instance may an encroachment cross the property line or be located less than six-feet from the building face of the adjacent property. When an encroachment is less than 5' from the property line, then the current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant and minimum fire-separation distance requirements. All building components such as roof overhangs, decks, sidewall bump-out / chimneys, that are less than 5' from a property line must meet all current building code requirements. Roof overhangs shall not exceed 12" into the areas where openings are prohibited as noted in current building code.

CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTLIC MANAGEMENT, INC
DAVID CLOCK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
09/22/2021
01/05/2022

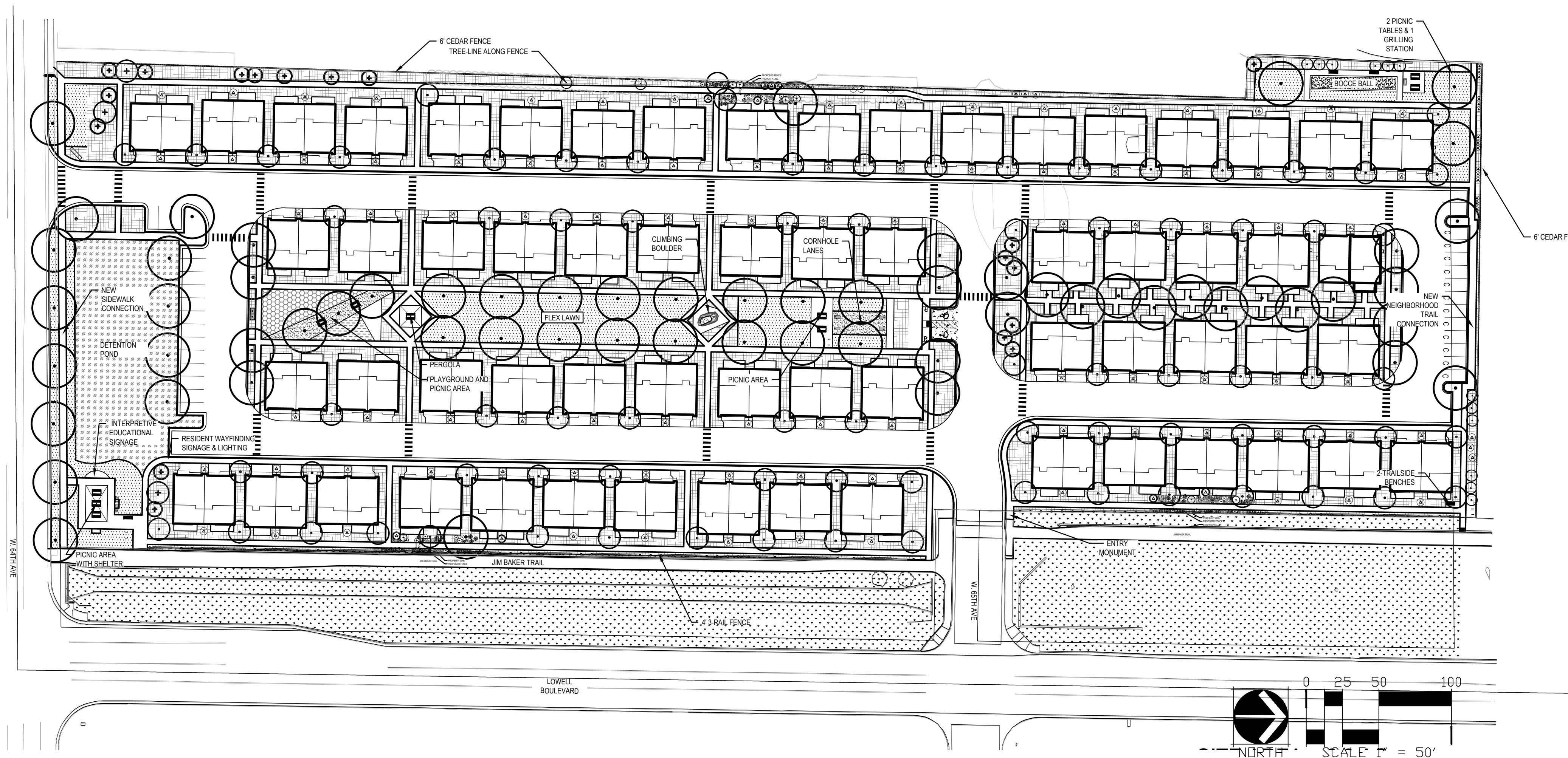
SHEET TITLE:
DEVELOPMENT
STANDARDS

SHEET NUMBER:

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

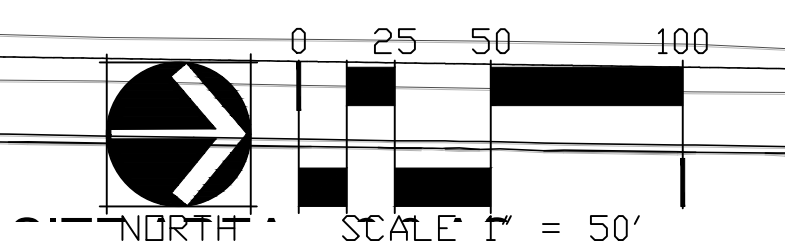
PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN



LAND USE SUMMARY				
LAND USE	ACREAGE	% TOTAL	UNITS	DENSITY
BUILDING AREAS				
RESIDENTIAL LOTS	3.3	49%	124	
OPEN AREAS				
PRIVATE ACCESS DRIVES	1.71	25%		
LANDSCAPE BUFFER AREAS	1.47 (0.62 ACTIVE)	26%		
OPEN AREAS SUBTOTAL	3.18	51%		
TOTAL	6.8	100%	124	18.2 DU/AC

* NOTE: AT LEAST THIRTY PERCENT (30%) OF THE SITE SHALL BE OPEN AREA (2.2AC). TWENTY FIVE PERCENT (25%) OF THE OPEN AREA MUST BE ACTIVE OPEN SPACE (0.5AC).

- NOTES:
1. Site plan shown may change at time of Final Development Plan.
 2. Active land uses, landscape areas, and amenities are subject to change with the Final Development Plan.
 3. Signage locations are subject to change at time of Final Development Plan.



CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTL MANAGEMENT, INC.
DAVID CLOK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
09/22/2021
01/05/2022

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
4 OF 14

CHECKED BY:
TTL/DENVER/LOWELL

CLEAR CREEK VALLEY

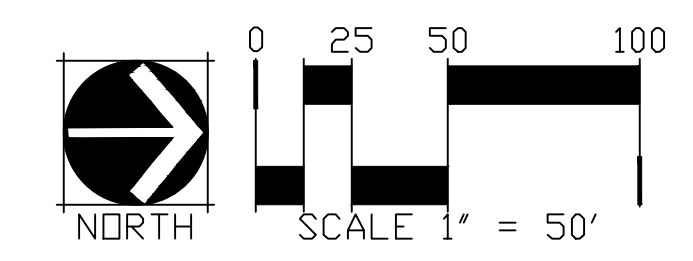
IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN



LEGEND

- JIM BAKER TRAIL
- INTERNAL COMMUNITY WALK
- CROSS WALK
- MAIN CONNECTION AREAS
- PASSIVE OPEN SPACE (0.85 ACRES)
- ACTIVE OPEN SPACE (0.62 ACRES)



CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTL MANAGEMENT, INC.
DAVID CLOCK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
09/22/2021
01/05/2022

SHEET TITLE:
CONNECTIVITY
SITE PLAN
SHEET NUMBER:
5 OF 14

CHECKED BY:
TTL/DENVER/LOWELL
TTL/DENVER/LOWELL

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN



CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTL MANAGEMENT, INC.
DAVID CLOCK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
09/22/2021
01/05/2022

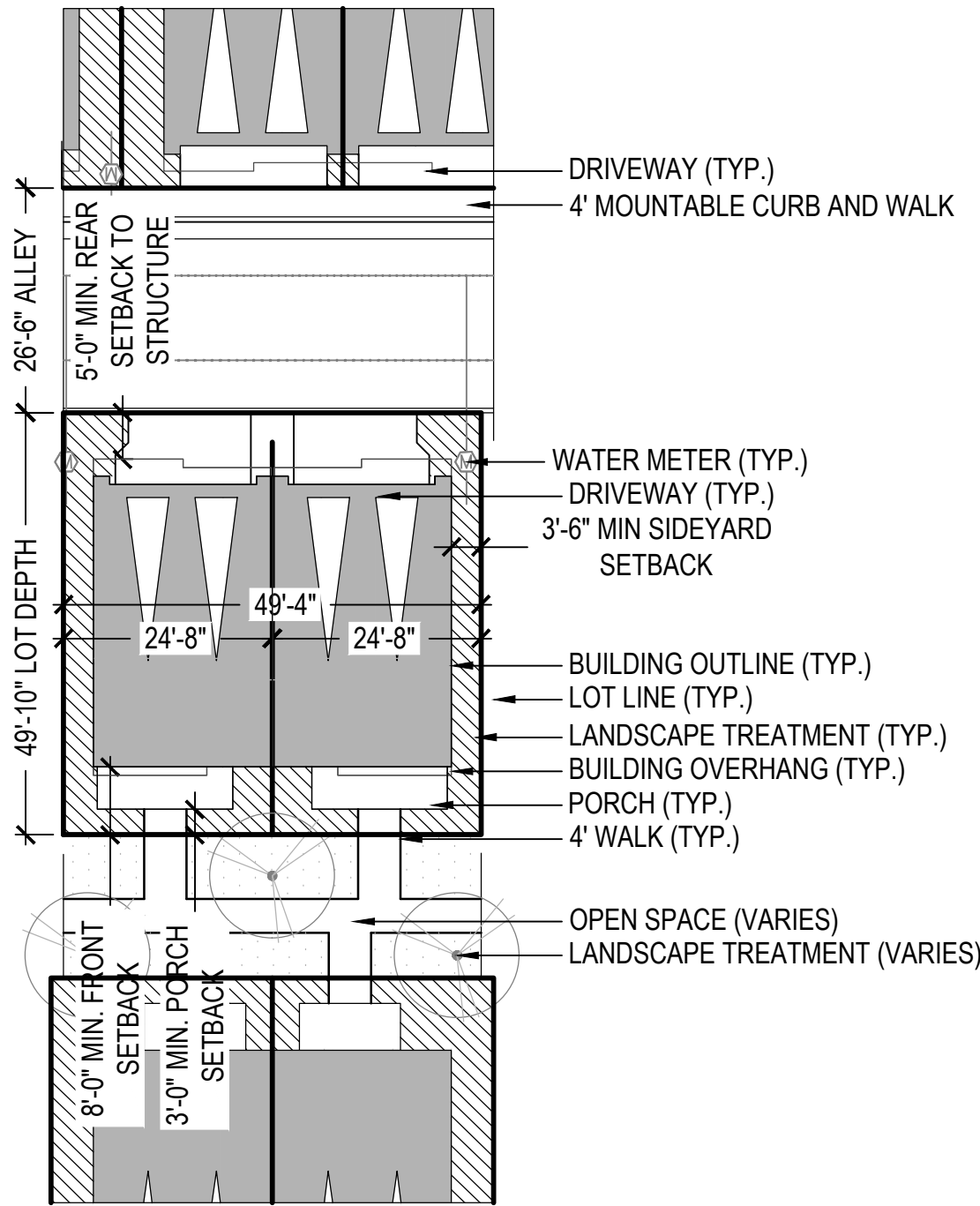
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TRAIL
AMENITIES
SHEET NUMBER:
6 OF 14

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN

PLAN VIEW - LOT TYPICALS



ON-LOT PLANT LIST

ORNAMENTAL TREE
AUTUMN BRILLIANCE SERVICEBERRY
CHANTICLEER PEAR
HOT WINGS MAPLE
JAPANESE LILAC TREE
PRAIRIEFIRE CRABAPPLE
SPRING SNOW CRABAPPLE
EVERGREEN TREE
BABY BLUE EYES SPRUCE
BOSNIAN PINE
PINYON PINE
VANDERWOLF'S PYRAMID PINE
DECIDUOUS SHRUB
AUTUMN AMBER SUMAC
DWARF BUTTERFLY BUSH
BLUE MIST SPIREA
DARKKNIGHT SPIREA
CRIMSON PIGMY BARBERRY
COMMON PURPLE LILAC
MISS KIM LILAC
RUSSIAN SAGE
RED TWIG DOGWOOD
SAND CHERRY PAWNEE BUTTES
EVERGREEN SHRUB
BLUE CHIP JUNIPER
BUFFALO JUNIPER
GLOBE SPRUCE
MOPS MUGO PINE
ORNAMENTAL GRASS/ PERENNIAL
STELLA D'ORO DAYLILY
ICE PLANT
FEATHER REED GRASS
LITTLE BUNNY FOUNTAIN GRASS
PURPLE MAIDEN GRASS

* ON-LOT PLANTS ARE SUBJECT TO
CHANGE AT THE TIME OF THE FDP.

FRONT YARD LANDSCAPING - TYPE A

- (1) TREE - ORNAMENTAL (2"), CLUMP (6'-8"), OR EVERGREEN (6')
- (6) SHRUBS- DECIDUOUS OR EVERGREEN (#5 CONTAINER)

SIDE YARD LANDSCAPING - TYPE A

- INTERNAL SIDE YARD, NOT EXPOSED TO PUBLIC VIEW- NO PLANT MATERIALS REQUIRED BUT MULCHES ARE REQUIRED FOR SOIL STABILITY.
- EXTERNAL SIDE YARDS ON CORNER LOTS EXPOSED TO PUBLIC VIEW- SHALL BE LANDSCAPED BY COMBINING VISIBLE SIDE AND FRONT YARD AREAS AND APPLYING FRONT YARD STANDARDS.

CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTL/C MANAGEMENT, INC
DAVID CLOCK
1350 17TH ST, STE 350
DENVER, CO 80202

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CONSTRUCTION

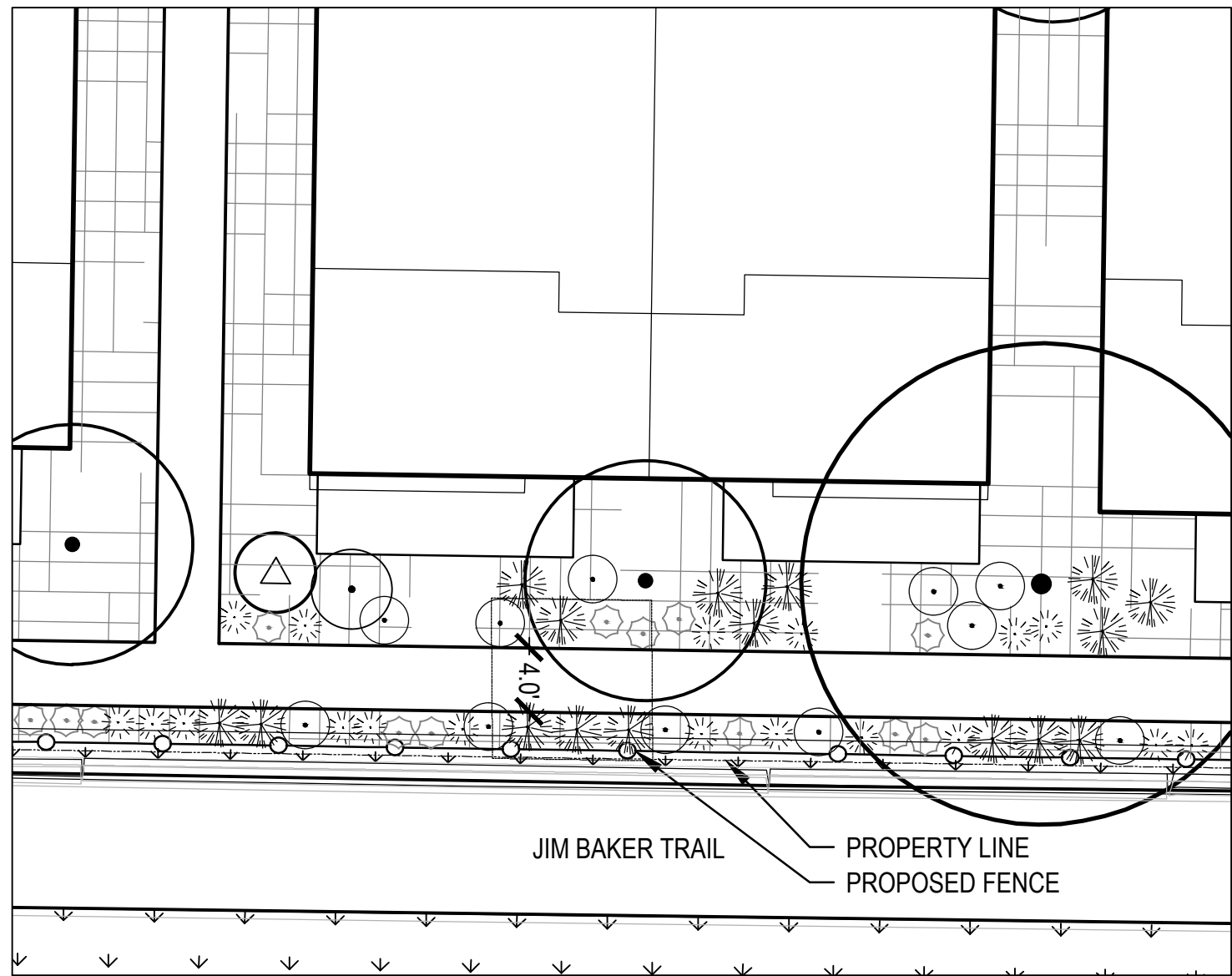
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LOT
TYPICALS
SHEET NUMBER:

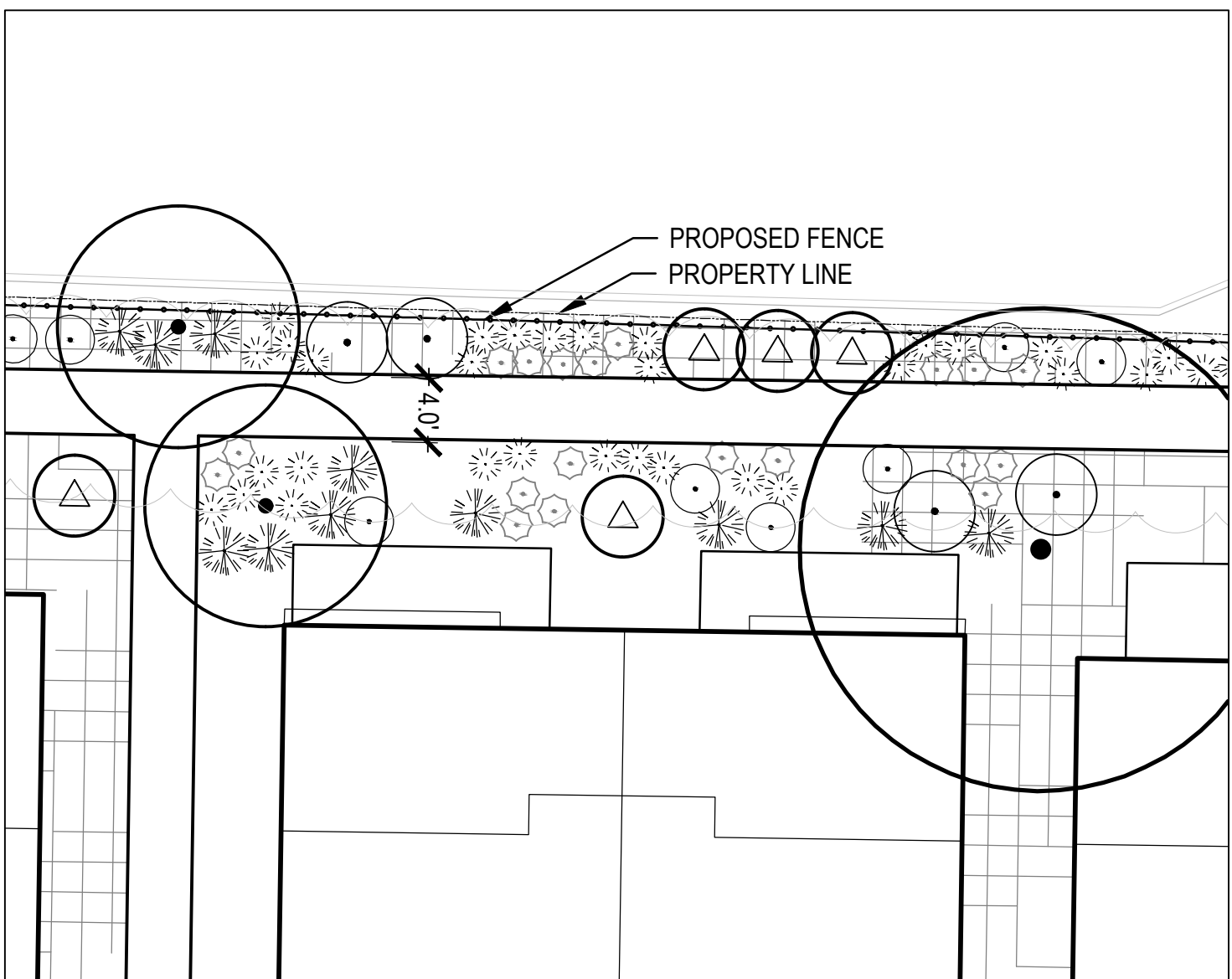
CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

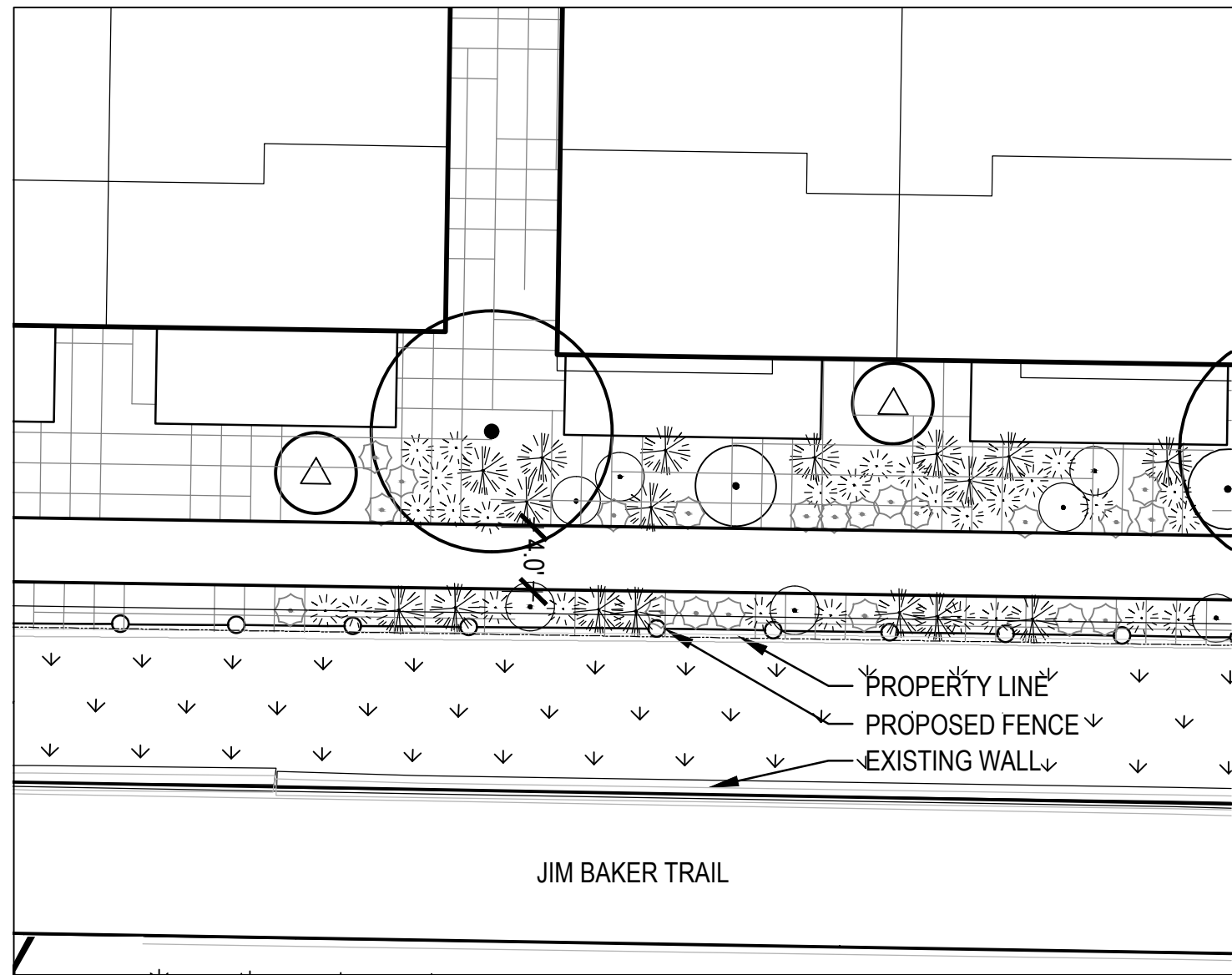
PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN



1 TYPICAL LOT LANDSCAPE DETAILS
OUTWARD FACING LOTS- EAST SIDE OF PROJECT
SCALE: 1" = 10'

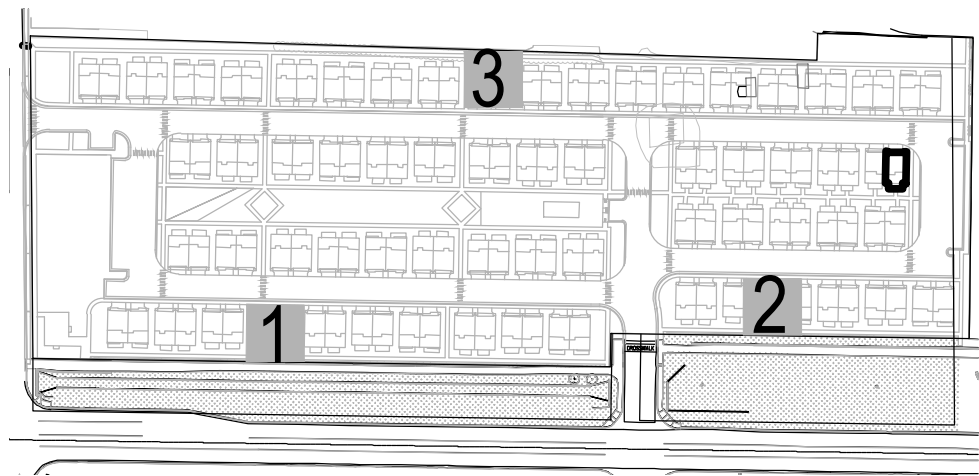


3 TYPICAL LOT LANDSCAPE DETAILS
OUTWARD FACING LOTS- WEST SIDE OF PROJECT
SCALE: 1" = 10'



2 TYPICAL LOT LANDSCAPE DETAILS
OUTWARD FACING LOTS- EAST SIDE OF PROJECT
SCALE: 1" = 10'

KEY MAP



LEGEND

- LARGE DECIDUOUS ORNAMENTAL TREE
- SMALL DECIDUOUS ORNAMENTAL TREE
- SMALL EVERGREEN TREE
- MEDIUM SHRUB
- SMALL SHRUB
- LARGE ORNAMENTAL GRASS
- SMALL ORNAMENTAL GRASS
- PERENNIAL

CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTL MANAGEMENT, INC.
DAVID CLOCK
1350 17TH ST, STE 350
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CONSTRUCTION

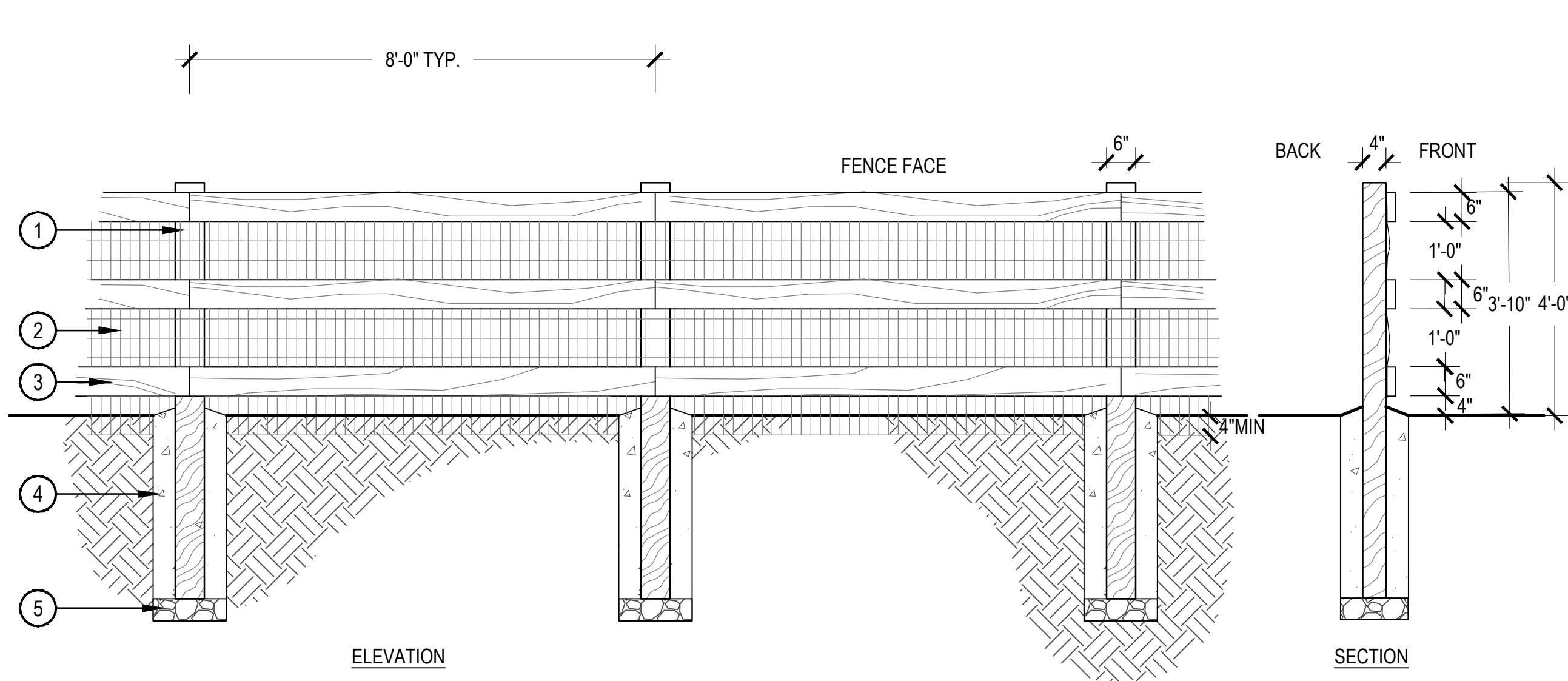
DATE:
03/19/2021
06/11/2021
09/22/2021
01/05/2022

SHEET TITLE:
LOT TYPICAL
LANDSCAPE PLANS
SHEET NUMBER:

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN

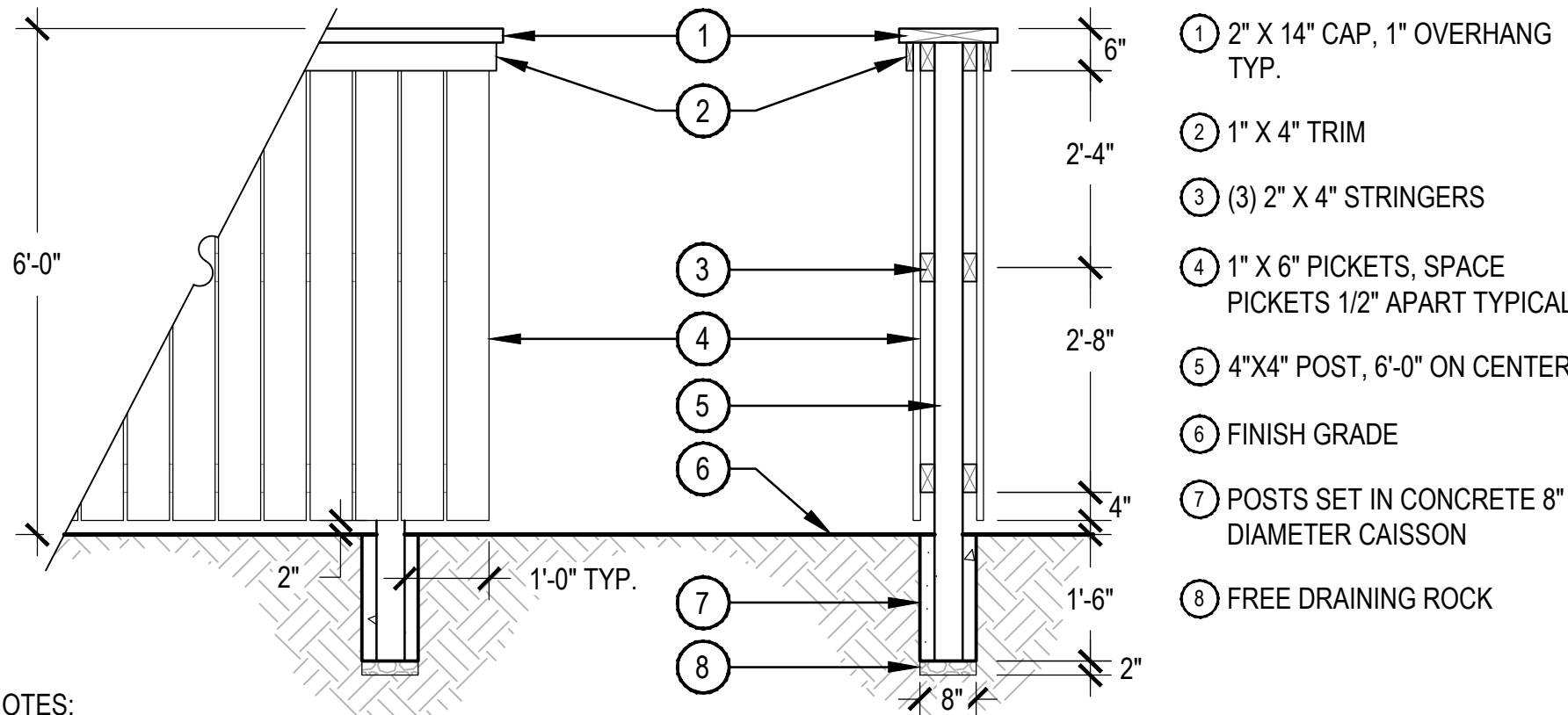


- ① 4" X 6" STAINED ROUGH SAWN CEDAR POST
- ② 4"X2" GALVANIZED WELDED WIRE MESH (12.5 GAUGE) 5' X 8' to 6'x8' PANELS(PANELS TO EXTEND 4" MIN BELOW GRADE). SANDWICH MESH BETWEEN RAIL AND POST W/ HEAVY DUTY GAL. FASTENERS. TOP OF MESH SHALL BE LEVEL WITH TOP OF TOP RAIL
- ③ 2" X 6" STAINED ROUGH SAWN CEDAR
- ④ CONCRETE FOOTING
- ⑤ 3/4" ANGULAR ROCK - 4" DEPTH

NOTE:
REMAINING MESH TO BE BURIED BELOW GRADE

3-RAIL FENCE

SCALE: 1/2" = 1'-0"



NOTES:

1. UNLESS OTHERWISE INDICATED, THE FENCE SHALL BE CENTERED ON THE PROPERTY LINE.
2. ALL LUMBER SHALL BE ROUGH SAWN CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, AND DISCOLORATION.
3. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED NAILS OR SCREWS, SIZED TO PENETRATE HALF WAY INTO THE SECURING MEMBER.
4. ALL FENCE PANELS SHALL BE SET LEVEL WITH STEPS TO FOLLOW GRADE. THE MAXIMUM STEP SHALL BE 6". ADJUST POST SPACING AS NEEDED SO THERE IS NO GREATER THAN A 6" GAP FROM THE BOTTOM RAIL TO FINISHING GRADE.

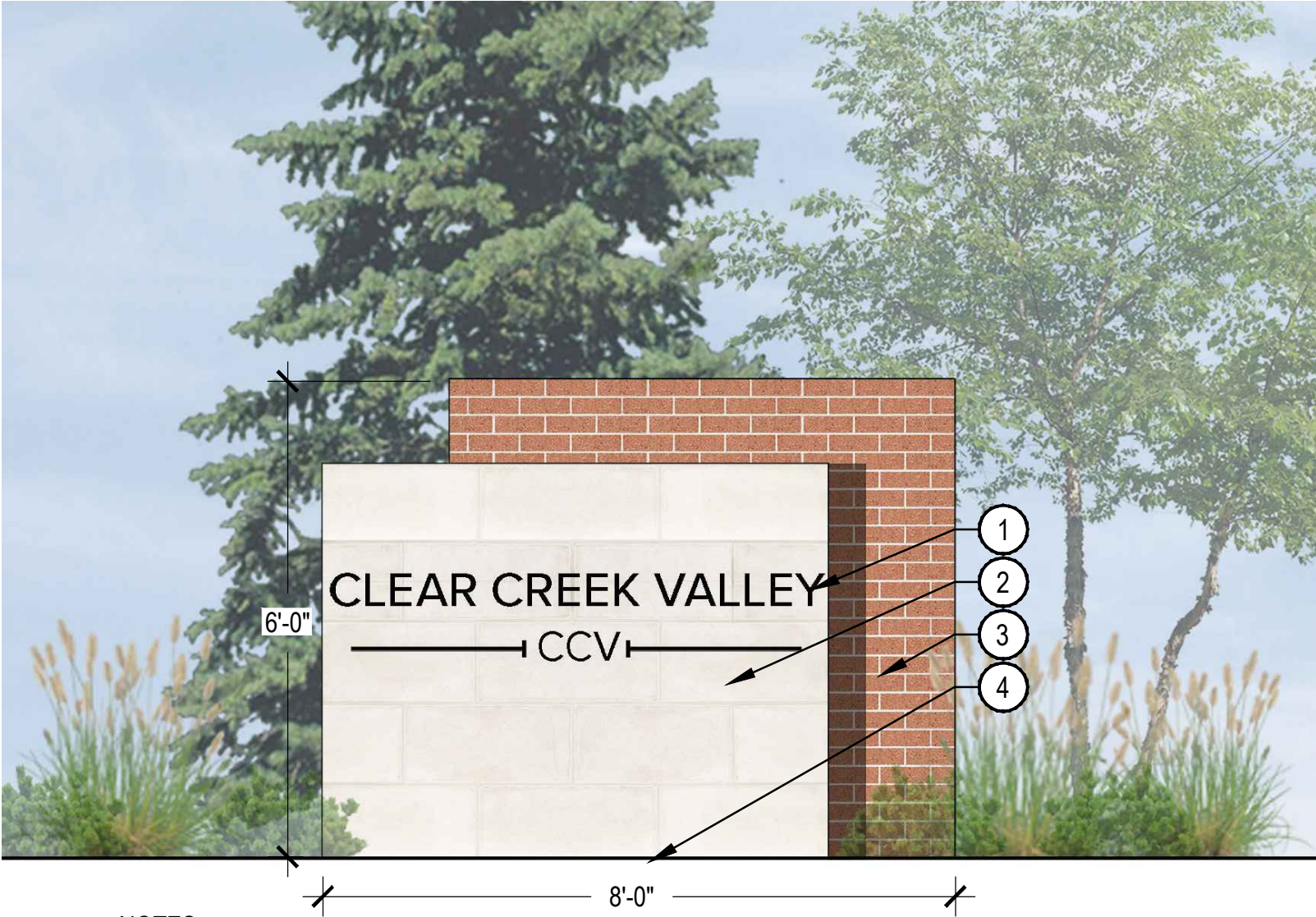
6' DOUBLE-SIDED WOOD FENCE

SCALE: 1/2" = 1'-0"

CLEAR CREEK VALLEY

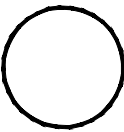
IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN



- ① ACID ETCHED LETTERS
- ② STONE TILE SIGN FACE
- ③ BRICK WALL
- ④ LED UP-LIGHTING

NOTES:
1. MONUMENT DESIGN IS CONCEPTUAL AND SUBJECT TO CHANGE.



MONUMENT

SCALE: 1/2" = 1'-0"

CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTLIC MANAGEMENT, INC
DAVID CLOCK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
09/22/2021
01/05/2022

SHEET TITLE:
SIGNAGE
DETAILS

SHEET NUMBER:

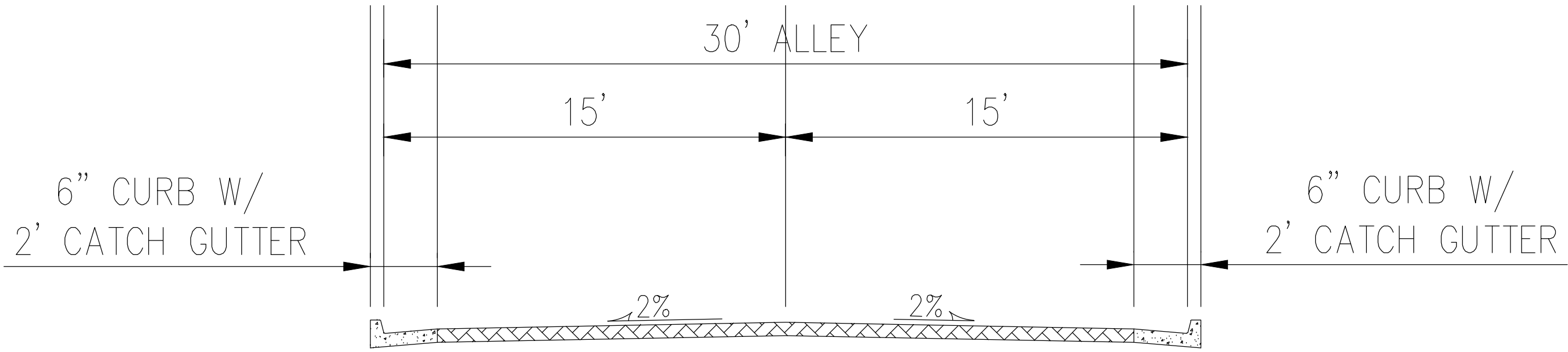
10 OF 14

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

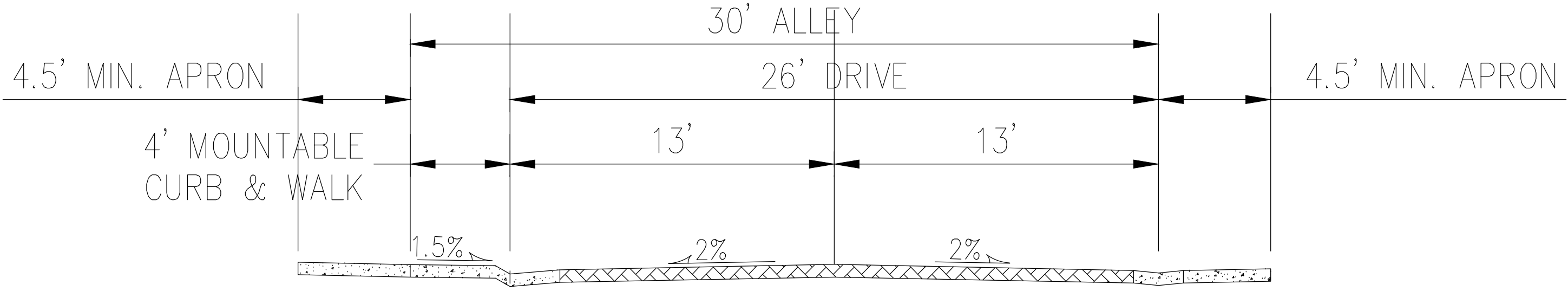
PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN

ACCESS DRIVES



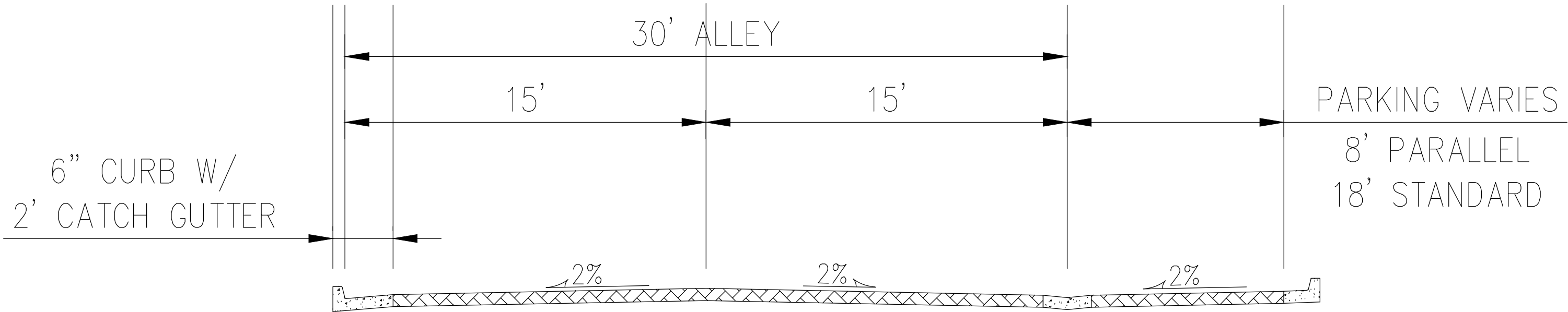
30' ALLEY

SCALE: N.T.S.



30' ALLEY W/ ATTACHED WALK

SCALE: N.T.S.



30' ALLEY W/ PARKING

SCALE: N.T.S.

CLEAR CREEK VALLEY

IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN



HEIGHT OF BUILDING IS MEASURED FROM THE ESTABLISHED GRADE ELEVATION TO THE MEAN HEIGHT LEVEL BETWEEN EAVES AND RIDGES FOR GABLE, HIP, OR GAMBREL ROOFS PER ADAMS COUNTY CODE SEC. 11-02-585.

BUILDING PLATE HEIGHTS, ROOF PITCH, DECK AND PORCH SIZE, MATERIALS, COLORS/CONTRASTING COLORS, AND WINDOW/DOOR PLACEMENTS MAY VARY AT TIME OF DESIGN ENTITLEMENT.



CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTLIC MANAGEMENT, INC.
DAVID CLOCK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
08/25/2021
01/05/2022

SHEET TITLE:
BUILDING 1-1
FRONT
ELEVATIONS
SHEET NUMBER:



CLEAR CREEK VALLEY
IN THE COUNTY OF ADAMS, COLORADO
PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN



HEIGHT OF BUILDING IS MEASURED FROM THE ESTABLISHED GRADE ELEVATION TO THE MEAN HEIGHT LEVEL BETWEEN EAVES AND RIDGES FOR GABLE, HIP, OR GAMBREL ROOFS PER ADAMS COUNTY CODE SEC. 11-02-585.

BUILDING PLATE HEIGHTS, ROOF PITCH, DECK AND PORCH SIZE, MATERIALS, COLORS/CONTRASTING COLORS, AND WINDOW/DOOR PLACEMENTS MAY VARY AT TIME OF DESIGN ENTITLEMENT.

UNIT 2 UNIT 2R 'A' FRONT



UNIT 2 UNIT 2R 'B' FRONT



UNIT 2 UNIT 2R 'C' FRONT



CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

OWNER:
TTL MANAGEMENT, INC.
DAVID CLOCK
1350 17TH ST, STE 350
DENVER, CO 80202

NOT FOR
CONSTRUCTION

DATE:
03/19/2021
06/11/2021
08/25/2021
01/05/2022

SHEET TITLE:
BUILDING 2-2
FRONT
ELEVATIONS
SHEET NUMBER:

CLEAR CREEK VALLEY
IN THE COUNTY OF ADAMS, COLORADO
PLANNED UNIT DEVELOPMENT / PRELIMINARY DEVELOPMENT PLAN



HEIGHT OF BUILDING IS MEASURED FROM THE ESTABLISHED GRADE ELEVATION TO THE MEAN HEIGHT LEVEL BETWEEN EAVES AND RIDGES FOR GABLE, HIP, OR GAMBREL ROOFS PER ADAMS COUNTY CODE SEC. 11-02-585.

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CLEAR CREEK VALLEY
ADAMS COUNTY, COLORADO

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DATE:
03/19/2021
06/11/2021
08/25/2021
01/05/2022

SHEET TITLE:
BUILDING 3-3
FRONT
ELEVATIONS
SHEET NUMBER:

0 4' 8' 16'