

REALARCHITECTURE LTD
2899 N. Speer Blvd. Suite 102
Denver, Colorado 80211
www.realarchitecture.com



DAVID L. BERTON A.I.A
Phone: (303)477-5550
Fax: (303)477-5500

August 31, 2020

Adams County
Community & Economic Development
ATTN.: Alan Sielaff, Planner II, Case Manager
4430 South Adamas County Parkway,
1st Floor, Suite W2000B
Brighton, Colorado 80601

Dear Mr. Sielaff:

The following letter and revised drawings respond to your review and comments for 53rd and Tennyson Row project at 4301 W. 53rd Ave, Log number PRC2020-00005. Responses are listed below in **red**. Please call or email if you have any questions or require additional information.

Planning Comments:

PLN01: General

1. Upon first review of the formal Right-of-Way (ROW) Vacation request for the northern 30 ft. of Stuart St., it is recommended to withdraw this request as Public Works and Development Engineering staff have expressed concerns about ceding County-owned ROW for private use considering unknown factors relating to drainage improvements that may be needed in this area, and that both sides of the right-of-way are not under common ownership. The request also vacated half of the Stuart S. ROW. It is instead recommended that a request is made through a comment response with your next submittal to pursue an Encroachment Agreement with the County that will potentially allow for utilization for parking, landscaping and drainage improvements. Exact details of how the area would be utilize would be decided upon review of final engineering studies and plans with the Final Plat. In this scenario, any minimum coverage calculations or provided amenities such as parking should not be included with this request as it cannot be guaranteed until final site engineering.

Response:

We are formally requesting to pursue an Encroachment Agreement with the County for the northern 30' of Stuart St. to be used for (3) visitor parking spaces, landscaping and drainage improvements.

2. Please provide a diagram in response to comment EGRO2 below requesting private access drive entrance on Stuart St. to be aligned directly opposing a driveway on the east side to prevent headlights from outgoing vehicles to shine directly into the windows of the existing homes.

Response:

This comment has been withdrawn from the City.

3. The Colorado Division of Water Resources has acknowledged additional details provided with resubmittal, but requested specifically a Water Supply Information Summary Sheet, and confirmation beyond eligibility that the Berkeley Water and Sanitation District is committed to serving sufficient water for the specifics of the development. It is advised to reach out to the Division of Water Resources directly to discuss what is needed with a resubmittal. Contact Ailis Thyne at ailis.thyne@state.co.us, 303-866-3581 x8216. See attached comment letter from CDWR.

Response:

The water supply sheet is now included with the submittal. Berkeley Water and Sanitation District confirmed that they cannot send a will-serve letter for water services since Denver Water took over their water system on January 1, 2018. We also reached out to Ailis Thyne regarding the comment and the fact that Berkeley cannot provide a will-serve water letter. We did not hear back on how we should proceed. After discussions with the County, the will-serve letter from Denver Water should be sufficient to satisfy this comment until directed otherwise.

PLN02: Preliminary Major Plat Comments

1. Please label front lot widths for Lots 16,17, and 18 on the site plan (northeast Lots 4, 5 and 6 on the Plat). Lot width for wedge-shaped lots are measured at the front setback line (20 ft. depth), and must be at least 25 ft. in width in the R-3 zone.

Response:

The front lot width as measured from the 20' front setback is dimensioned on Lots 16, 17 and 18. The Site Data Table has also been revised to reflect the dimensioned widths.

2. Lot numbers on site plan and subdivision plat still do not match. Plat resubmittal, while update to include correct plat notes and approval blocks, is dated 01.15.2020 and included for example two Lot 4's along 53rd Ave and the far northeast lot.

Response:

The plat has been updated to match the lot numbers on the site plan and is now consistent throughout both sets of drawings.

PLN03: Waiver from Subdivision Design Standard Requests

1. Review: 5-03-03-06 LOT DEPTH TO WIDTH RATIO – No lot shall have an average depth greater than three times the average width unless the lot width is a minimum of 425 feet.

- a. Resulting site would have a density of 10.39 units per acre. Overall density of development is under the maximum of 14 units per acre in the R-3 district if rezone is approved. Topographical challenges on the site exist, and rear portions of lots are within alley access easement. If ratio is calculated to exclude access easement area, 8 of 18 lots (facing W 53rd Ave) would meet standards.
2. Review: 5-03-03-10 ACCESS TO LOTS BY PRIVATE ROADS – All lots with private access need to be specifically approved by the BoCC, which shall make written findings supporting the use of private roads in the form of a waiver from these standards and regulations.
 - a. Topographical challenges on the site exist, and rear access will facilitate a more desirable street frontage. Emergency access will be required to be met for all portions of the site. Required access will be dedicated via easement on the Plat.

PLN04: Conditional Use Permit Comments

1. Reference to a Zone Lot on site plan. This term is not applicable to Adams County Standards and Regulations.
Response:
The term “zone lot” has been removed from the Site Plan.
2. “City of Denver” is included both in the legal description and title on the plat and the site plan and should be removed. Similar subdivisions in unincorporated parts of the county omit any City since the area is not under municipal jurisdiction, Denver is just the postal address.
Response:
Reference to City of Denver has been removed from the legal description on the site plan.
3. Please label setback Duplex 8 to north. All other setbacks have been labeled.
Response:
The side setback to the north from Duplex 8 is dimensioned on the site plan.
4. Architectural Standards/Project Compatibility, Section 4-07 Residential Use Performance Standards review:
 - a. Proposed structures are three-stories in height, ranging from 32 ft to 35 ft as measured to the midway point of a pitched roof. Maximum height in the R-3 zone is 35 ft. proposal conforms.
 - b. New structures are generally taller than residential uses in the area, but include pitched roofs, awning and porches and recessed articulation in places to maintain residential character.

- c. Please label materials on elevations. Mix of materials including masonry, wood, metal and composite siding utilized.

Response:

All proposed materials are labeled on the architectural elevations.

- d. 4-07-02-02-04 DISTINGUISHING CHARACTERISTICS OF HOUSING MODELS – Each housing model shall have at least 3 characteristics which clearly distinguish it from the other housing models, including different floor plans, exterior materials, roof lines, garage placement, placement of the footprint on the lot, and/or building face.
 - i. While materials and roof lines are varied, floor plans seem generally the same as all plans appear to be 3-bedroom units. Staff would encourage more varied util types to service differing housing needs.

Response:

The proposed duplex designs offer a variety of styles, exterior materials, roof lines, garage placement, and placement of the footprints on the lots complying with Section 4-07-02-02-04. The floor plans vary slightly, for example 4 of the duplexes offer an additional half bath and Duplex 9 has a lower basement walk out configuration. The only commonality between the duplexes are the number of bedrooms offered.

5. Parking Standards review, Section 4-12:

- a. 4-12-04-03 SPACES REQUIRED – 2 spaces for each dwelling unit. The Planning Commission may required up to 1 spaces for every 2 units for visitor parking.
 - i. For 18 units, 36 off-street spaces are required and provided in 2-car garages for each unit. Parking minimums are met.
 - ii. If the multifamily standard of 15% additional is provide for visitors (more applicable at R-3 density), 6 additional spaces would be required. 7 are provided within the site, and 3 proposed north of the Stuart St, cul-de-sac but should not be considered at this time due to uncertainty over final engineering design of area.
 - iii. Of the 7 that are provided on-site, they are within private driveway areas. This effectively makes them private, or semi-private visitor parking available only to those 4 units, Site is considered to have 4 visitor parking spaces for 18 units or 11%.
 - iv. If additional parking provided at the end of Stuart St., public comment received requested parking be public,. Not dedicated solely to this development.
 - v. Proposed 3 visitor spaces measure 18ft x 9 ft (according to LS-4) minimum size for a standard stall is 18.5 ft x 9 ft (see Section 4-12-04-

05). This can be reduced by up to 2 ft if low landscaping/hardscaping is utilized in overhang area but must be labeled accordingly.

6. Landscaping Standards Review, Section 4-16:

- a. Site Data Tables either need to be revised for clarity, and/or confirmed for a total lot measurements. Lot area figures on LS-1 and LS-4 do not appear to sum to either the total development size (1.732 acres as explained in the Plat Comment Response) or the sum of the 18 individual lots as summarized on the site plan (57,634 SF) Feel free to send me a draft to review to ensure clarity prior to the next submittal.

Response:

Site Data Tables have been updated throughout to clarify references to total site and individual duplexes, per email correspondence with Alan Sielaff.

- b. While it appears the development likely meets the 10% minimum, the data table needs to be verified and updated to prove it meets standards. The 10% should be based on the comprehensive development of 1.732 acres (or new total once ROW Vacation request is included or removed). Individual lots would be held to landscaping standards reviewed below.

Response:

Site Data Tables have been updated to reflect total site area less ROW Vacation.

- c. Provided Lot Typical plans meet coverage standards and tree and shrub minimums in Section 4-16-09-01-02 & 4-07-02-02. Will confirm coverages once lot/site area totals are confirmed.

Response:

Refer to landscape calculation chart on sheet LS-4 for coverage standards and tree and shrub minimums. Per email correspondence with Alan Sielaff, calculation charts have been updated for clarity.

- d. Required Landscape Bufferyards included to northwest and north of site to adjacent land uses. Summary table states 8 trees required and provided for Bufferyard D to north. Only 3 required, and 3 are provided. Additional 5 evergreen trees are considered ornamental.

Response:

Bufferyard totals have been updated to reflect evergreen trees as ornamental.

- e. Plan notes that a landscape hedge provided rather than a 6 ft. fence as allowed in 4-16-06-06-01.

Response:

This is correct.

- f. Attached sidewalk measured at 5 ft., at least 5 ½ ft is required (Section 4-20-06-04).

Response:

The correct sidewalk width is shown.

- g. Consider adding a pedestrian connect on west of site from Tennyson St. to Duplex 5 or the access drive.

Response:

Due to the steep grade there would be nearly 30 steps and 4 landings required to connect Duplex 5 to Tennyson St.

Public Comment:

PC01: As of the date of this comment letter, four public comments have been received and are provided in the following pages. Public Comment will continue to be accepted up until any public hearing is held and those who have provided comment will be informed when any public hearing is scheduled. It is recommended the applicant response to any public comment concerns and describe how proposal may address concerns if any revisions proposed.

Response:

The owner of the development has responded to public comment. See attached letter.

Thank you for your time and consideration and please accept this formal comment response letter along with the submitted plans for the development site plan resubmittal.

Respectfully,

Realarchitecture Ltd.
Kendall Goodman AIA, Principal

Adams County
Property at 53rd and Tennyson
#PRC2020-00005

Alan Sielaff

This letter is in response to the emails sent by the neighbors who live near the property at 53rd and Tennyson. I want to thank everyone for their input. I have tried to address all the concerns in the emails the best I could.

I will use what I think were areas of concern and address them accordingly.

Consideration for the neighborhood:

The R-3 zoning permits multifamily housing such as row homes and townhomes which allow for a higher density on the site. We have chosen to pursue duplexes because of the lower density and a more open appearance on the site, less density. We created internal drives so we did not have garages facing the street, except for one location at the north end of Stuart St. The internal drive also avoided having cars back out of their garages onto the street.

Access:

Accessing the property from Stuart St. is the only viable option, the steep grade off Tennyson made access impossible and 53rd Ave is classified as a collector street, which leaves the access off Stuart St.

Parking:

Four (4) duplex homes have the ability to park one car in their private drive without blocking alley access. Thirteen (13) total cars can be parked in the longer driveways. Only one duplex has its garage facing Stuart St. and they can also park cars in their driveways without blocking the sidewalk.

Every unit has a sizable 2 car attached garage which meets Adams County's off street parking requirements.

Maintenance:

All alleys, detention pond and common areas will be maintained by the homeowners thru a maintenance agreement. Stuart street is maintained by the County

53rd and Tennyson LLC

REALARCHITECTURE LTD
2899 N. Speer Blvd. Suite 102
Denver, Colorado 80211
www.realarchitecture.com



DAVID L. BERTON A.I.A
Phone: (303)477-5550
Fax: (303)477-5500

August 31, 2020

Adams County Fire Rescue
Fire Prevention Bureau
ATTN.: Whitney Even
7980 Elmwood Lane
Denver, CO 80221

Dear Ms. Even:

The following letter and revised drawings respond to your review and comments for 53rd and Tennyson Row project at 4301 W. 53rd Ave, Log number PRC2020-00005. Responses are listed below in **red**. Please call or email if you have any questions or require additional information.

General:

1. The following comments are typical site development requirements regarding fire access and water supply. The 2018 International Fire Code in the current fire code adopted within the city and all development must in compliance with its requirements.

Response:

This development will comply with the 2018 IFC and all local amendments.

2. Please be aware that these comments are subject to change as more information is received or if there are changes to the plans during subsequent reviews. These requirements are not all inclusive, but are provided to aid in your design process.

Response:

Noted, thank you.

Automatic Fire Sprinkler System:

3. As stated in Section 903.2.8 of the 2018 IFC as adopted and amended by Adams County, an approved residential fire sprinkler system is likely required. Please be aware that if the sprinkler system is going to be designed and installed in accordance with NFPA 13D the fire sprinkler plans must be submitted to us for review under a separated

permit. If the system will be design and installed in accordance with IRC section P2904, plans shall be submitted to Adams County Building Division for review and permitting. If a P2904 system is to be installed, please provide us with a record of the Building Divisions approval.

- The applicant met with FM Wilder and DFM Notary on 1/4/2019 to discuss this project. We do not have record of the exact site plan discussed, but the meeting notes indicate that the applicant was told that residential fire sprinkler system would need to be installed. During the meeting, it was also discussed that a 24' access road would be permitted as long as residential fire sprinkler systems were installed.
- Since the first comment letter was sent in March, further discussion on the fire sprinkler requirements have taken place. Duplexes where individual fire areas do not exceed 3,600 SF and where fire hydrants are located within 1,000 ft are not required to have an automatic fire sprinkler system installed. It is always recommended; however, it is not required.

Response:

The duplexes do not exceed 3,600 SF and are located within 1,000 ft of a fire hydrant. See attached Fire Analysis Plan and the fire flow tests for the hydrants adjacent to the site.

Fire Apparatus Access Roads:

4. Fire apparatus access roads shall:
 - a. Be a minimum of 24' wide or 26' wide when a fire hydrant is present or if the highest roof surface exceeds 30'.
 - i. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.
 - ii. Be within 150' of all ground level exterior portions of the building (may be longer when an approved fire sprinkler system is installed throughout the building);
 - iii. Be able to support an 85,000 pound fire apparatus
 - iv. Provide all-weather driving capabilities
 - v. Meet the turning radius of our largest fire apparatus (see attached turning template).

During the 1/4/19 meeting, it was discussed that a 24' access road would be permitted as long as residential fire sprinkler systems were installed. The newest site plan appears to show 26' wide private alleys.

Response:

The fire apparatus access road is 26' clear and meets the aforementioned criteria.

5. We typically require a drive path analysis showing that our fire apparatus will be able to easily maneuver along fire apparatus access roads.
Please use the attached turning radius template and provide the specifications used in your analysis on the plan. Please provide a turn path analysis (autoturn exhibit) showing that we will be able to navigate the private alleys and utilize them for turning around.

Response:

Included in the resubmittal is a fire analysis plan showing the drive path and turning radius per the provided template.

6. Fire apparatus access roads shall be delineated on the site plan as emergency Access Lanes and shall be marked with a no parking fire lane sign and curbs shall be painted red. See areas highlighted in red below.
- a. Fire apparatus access roads shall be marked with permanent NO PARKING-FIRE LANE signs complying with Figure D103.6. Signs shall have a minimum dimension of 12" wide by 18" high and have red letters on a white reflective background.

Response:

Included in the resubmittal is a fire analysis plan showing the fire apparatus access roads labeled as emergency access lanes and marked with no parking signs per the aforementioned requirements.

7. Dead-end fire apparatus access road in excess of 150' in length shall be provided with an approved area for turning around fire apparatus.

Response:

Included in the resubmittal is a fire analysis plan showing turn around requirements and dimensions.

Fire Flow and Hydrant Location:

8. The required fire-flow is dependent on the building construction type, square footage and presence of an approved automatic fire sprinkler system. You may refer to Appendix B of the 2018 IFC for guidance.

A fire-flow of 500 gpm at 20 psi residual would be required as long as all units are protected by fire sprinkler systems, other the fire-flow requirement would be 1,000 gpm at 20 psi

Response:

Noted, thank you.

9. A fire hydrant fire-flow test shall be conducted by the appropriate Water District to determine the available fire-flow at the site. A computer model simulation may be completed if the site does not have any fire hydrants located next to it. If a computer simulation is used a fire-slow test shall be conducted on the site after the water supply and fire hydrants are approved for operation.

Response:

See attached fire flow tests for all adjacent hydrants.

10. A fire hydrant shall be located within 400' (unsprinklered building) or 600' (sprinklered building) of all ground level exterior portions of the building.
At the 1/4/2019 meeting, hydrant locations were discussed, the two hydrants shown on Stuart Street would meet this if fully fire sprinklered. If not fully fire sprinklered a hydrant does not appear to meet the 400' requirement and an additional hydrant may need to be added.

Response:

2 fire hydrants are provided – one on the corner of 53rd and Tennyson, the other is currently located at the end of Stuart Street cul-de-sac. Both hydrants are within 400' of all unsprinklered buildings.

11. A 3' clear space shall be maintained around the circumference of fire hydrants.

Response:

Noted, thank you.

12. Private fire service mains and fire hydrants shall be installed by a State of Colorado Licensed Fire Suppression System Contractor – Underground Contractor and meet the requirements of Nation Fire Protection Association Standard 24. Private fire service mains and dire hydrant plans shall be submitted for review and approval.

Response:

Noted, thank you.

13. All site development plans required by the county shall be submitted to us for review and permitting as well. These shall include at a minimum an overall dimensioned site plan, grading plan, landscape plan and utility plan.

Response:

The requested plans will be submitted for your review at the appropriate time.

14. After the site development plans are reviewed and approved, plans for all buildings and fire protection systems shall be submitted to us for review and permitting. All fees (permit and impact) shall be paid at time of permit pick-up.

Response:

OK, thank you.

15. We always welcome and encourage meeting to discuss fire code requirements. Please call us at any point in the process if you would like to schedule one.

Response:

Thank you. We appreciate the offer.

Thank you for your time and consideration and please accept this formal comment response letter along with the submitted plans for the development site plan resubmittal.

Respectfully,

Realarchitecture Ltd.

Kendall Goodman AIA, Principal

Comment Response

Date: 08.18.20

To: Adams County
Community & Economic Development Department
Planning Review
ATTN.: Gordon Stevens, Construction Inspection Supervisor & Mark Alessi, Right-of-Way Agent
4430 South Adams County Parkway
Brighton, Colorado 80601-8204

Re: PRC2020-00005
53rd and Tennyson Row

Dear Mr. Stevens and Mr. Alessi:

The following letter responds to your plan review and comments for the project at **4301 W. 53rd Avenue, Denver, CO 80212**, Application #PRC2020-00005 and EGR2020-00007. Responses are listed below in **red**. Please call or email if you have any questions or require additional information.

Public Works

PW1: This site has been previously submitted and reviewed through Greg Labrie and others under the following case numbers: PRE2019-00061, PRC2020-00005, EGR2020-00007, BDP19-2969

Response:

This has been noted, thank you.

PW2: I have attached comments from the construction plan review completed under the EGR Case number shown above.

Response:

This has been noted, comments will be addressed, thank you.



PW3: No Building Permits/CO's will be issued until the previously mentioned Subdivision Improvement Agreement (SIA) and related collateral have been approved by the Board of County Commissioners (BoCC).

Response:

Absolutely, thank you for mentioning this.

PW4: As previously mentioned, Construction Plans will be submitted to and approved by the Adams County Community and Economic Development Dept. (CEDD). No construction will begin on these improvements until these construction plans have been approved and permitted through CEDD.

Response:

Absolutely, thank you for mentioning this.

PW5: No construction will begin until a Pre-Construction Meeting has been completed with the staff of the Adams County Public Works Dept.

Response:

Thank you for mentioning this, the developer is aware.

PW6: No Building Permits/CO's will be issued until all Public Improvements as required by the (SIA) have been completed and have been granted Preliminary Acceptance by the Adams County Department of Public Works.

Response:

Thank you for mentioning this, the developer is aware.

Addressing and Right-of-Way Review

ROW1: Preliminary Plat comments:

Please add case number PRC2020-00005 to top right corner of Sheet 1 & 2.

Response:

The case number has been added to the top right corner of sheet 1 & 2.

Please remove City of Denver from legal descriptions. Site is located in unincorporated Adams County, so only "County of Adams" is needed.

Response:

City of Denver has been removed from the legal descriptions.

Denver Office:
3461 Ringsby Court, #125
Denver, Colorado 80216
720.594.9494

Colorado Springs Office:
2727 North Cascade, #160
Colorado Springs, CO 80907
719.231.3959

AltitudeLandCo.com



All redlines were updated and addressed from previous request.

Response:

Thank you, we have addressed all of the additional redlines as well.

ROW2: Right-of-Way Vacation comments:

Include case number top right corner.

Response:

We are no longer proposing the vacation.

Include a Plat Note describing the Title Commitment that was relied upon to create the Vacation Plat and the most recent date that it was updated.

Response:

We are no longer proposing the vacation.

If there are any questions, please contact me at 720-427-3017 or sal@altitudelandco.com.

Sincerely yours,
Altitude Land Consultants, Inc.

A handwritten signature in black ink, appearing to be "SC", with a long horizontal flourish extending to the right.

Salvatore C. Cambria, PE

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3461 Ringsby Court, #125
Denver, Colorado 80216
720.594.9494

AltitudeLandCo.com

Colorado Springs Office:
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Colorado Springs, CO 80907
719.231.3959

Comment Response

Date: 08.18.20

To: Adams County
Community & Economic Development Department
Development Engineering Review
ATTN.: Greg Labrie, Senior Civil Engineer
4430 South Adams County Parkway
Brighton, Colorado 80601-8204

Re: PRC2020-00005 & EGR2020-00007
53rd and Tennyson Row

Dear Mr. Labrie:

The following letter responds to your plan review and comments for the project at **4301 W. 53rd Avenue, Denver, CO 80212**, Application #PRC2020-00005 and EGR2020-00007. Responses are listed below in **red**. Please call or email if you have any questions or require additional information.

Development Engineering Review

ENG01: The site plan shows that the private drive from the proposed development will access Stuart Street which is classified as a local street. East 53rd Avenue is classified as a collector street. This proposed design is in accordance with Chapter 8, Table 8.4 of the Adams County Development Standards and Regulations which states that “private access drives from single family residences and businesses to collector streets are not permitted unless access to a lower function category street is not available.”

Response:

This has been noted. Thank you.

ENG02: The private access drive into the proposed development shall be aligned directly opposing a driveway on the east side of Stuart Street to prevent headlights from the outgoing vehicles to shine directly into the windows of the existing homes.



Response:

I believe we discussed this during the Review Comment Consultation, that the opposite side of Stuart Street is mainly made up of Driveways, therefore we were advised to ignore this comment.

ENG03: The plat shall include a note indicating that the driveway and parking area for the proposed development are private and the maintenance of this infrastructure is the responsibility of the homeowner association and/or owners of each duplex.

Response:

Note has been added to the plat. The driveway and parking area will be maintained by the owners of each duplex through a covenant/maintenance agreement.

ENG04: The private access drive must be built in accordance to fire district's standards.

Response:

The private access drive shall be built in accordance to fire district's standards.

ENG05: The site plan shows that the developer will widen Stuart Street and the cul de sac at the end of the street to the ultimate right-of-way cross section for industrial local streets and build it in accordance to Chapter 7, of the Adams County Development Standards and Regulations. Local streets are designed to handle up to 1,000 vehicles per day. The public improvements along Stuart street and Tennyson Street will include curb, gutter, and sidewalk.

Response:

Stuart Street and Tennyson Street have been designed in accordance to Chapter 7, of the Adams County Development Standards and Regulations. We have provided curb, gutter, and sidewalk along each of the three adjacent roads.

ENG06: In the next submittal please verify that the bioretention facilities are located in the public right-of-way.

Response:

Two of the Bioretention facilities will be not be located within the public right-of-way, we will provide a drainage easement for those bioretention facilities. The third Bioretention facility will be provided within the ROW within a encroachment agreement.

ENG07: Both proposed bioretention facilities appears to be draining a portion of the private site. An Operation and Maintenance Manual must be submitted for review and approval. Drainage facilities on the private site that flow into the bioretention facilities must be placed in a drainage easement. This easement must be reviewed and approved by Adams County.

Response:

An Operation and Maintenance Manual will be provided when we are submitting final CD's. Drainage easements are now shown on the plat.



ENG08: The Developer is required to provide irrigation/water and maintenance of the vegetation and system.

Response:

The developer shall provide irrigation/water and maintenance of the vegetation.

ENG09: Development Engineering and Public Works are recommending for the applicant to enter into an Encroachment Agreement for the use of the northern portion of Stuart Street instead of going through a street vacation process. The Encroachment Agreement can allow uses such as additional parking or the installation of storm drainage facilities to include water quality features. The specific use for the right-of-way shall be determined and the Encroachment Agreement shall be written, reviewed, and finalized before the final plat is approved. The final Encroachment Agreement will be approved by the BoCC with the final plat.

Response:

We have removed the proposed vacated area from the plat and we are now pursuing an encroachment agreement for the parking stalls and the bioretention facility.

If there are any questions, please contact me at 720-427-3017 or sal@altitudelandco.com.

Sincerely yours,
Altitude Land Consultants, Inc.

Salvatore C. Cambria, PE

A handwritten signature in black ink, appearing to be "SC" followed by a stylized flourish.

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Colorado Springs Office:
2727 North Cascade, #160
Colorado Springs, CO 80907
719.231.3959



Comment Response

Date: 08.18.20

To: Xcel Energy
Right of Way & Permits
ATTN.: Donna George
1123 West 3rd Avenue
Denver, Colorado 80223

Re: PRC2020-00005 & EGR2020-00007
53rd and Tennyson Row

Dear Ms. George:

The following letter responds to your plan review and comments for the project at **4301 W. 53rd Avenue, Denver, CO 80212**, Application #PRC2020-00005 and EGR2020-00007. Responses are listed below in **red**. Please call or email if you have any questions or require additional information.

Development Engineering Review

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the documentation for 53rd and Tennyson ROW and requests that the 8-foot wide utility easements are expanded to 10-feet in width to accommodate all dry utilities. This is PSCo's standard minimum width for joint trenching natural gas and electric distribution facilities.

Response:

Absolutely, all proposed utility easements have been changed to 10 feet in width.

PSCo also requests that the following language or plat note is placed on the preliminary and final plats for the subdivision:

Response:

Note has been included on the preliminary plat and will be provided on the final plat as well.

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Denver, Colorado 80216
720.594.9494

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Please be aware PSCo owns and operates existing electric distribution facilities within the proposed project area, and has no objection to this proposed rezone, contingent upon PSCo's ability to maintain all existing rights and this amendment should not hinder our ability for future expansion, including all present and any future accommodations for natural gas transmission and electric transmission related facilities.

Response:

This has been noted, Thank you.

The property owner/developer/contractor must complete the application process for any new natural gas or electric service, or modification to existing facilities including relocation and/or removal via xcelenergy.com/InstallAndConnect. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

Response:

Absolutely, the owner/developer/contractor shall proceed as instructed.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction.

Response:

Developer shall proceed accordingly.

If there are any questions, please contact me at 720-427-3017 or sal@altitudelandco.com.

Sincerely yours,
Altitude Land Consultants, Inc.

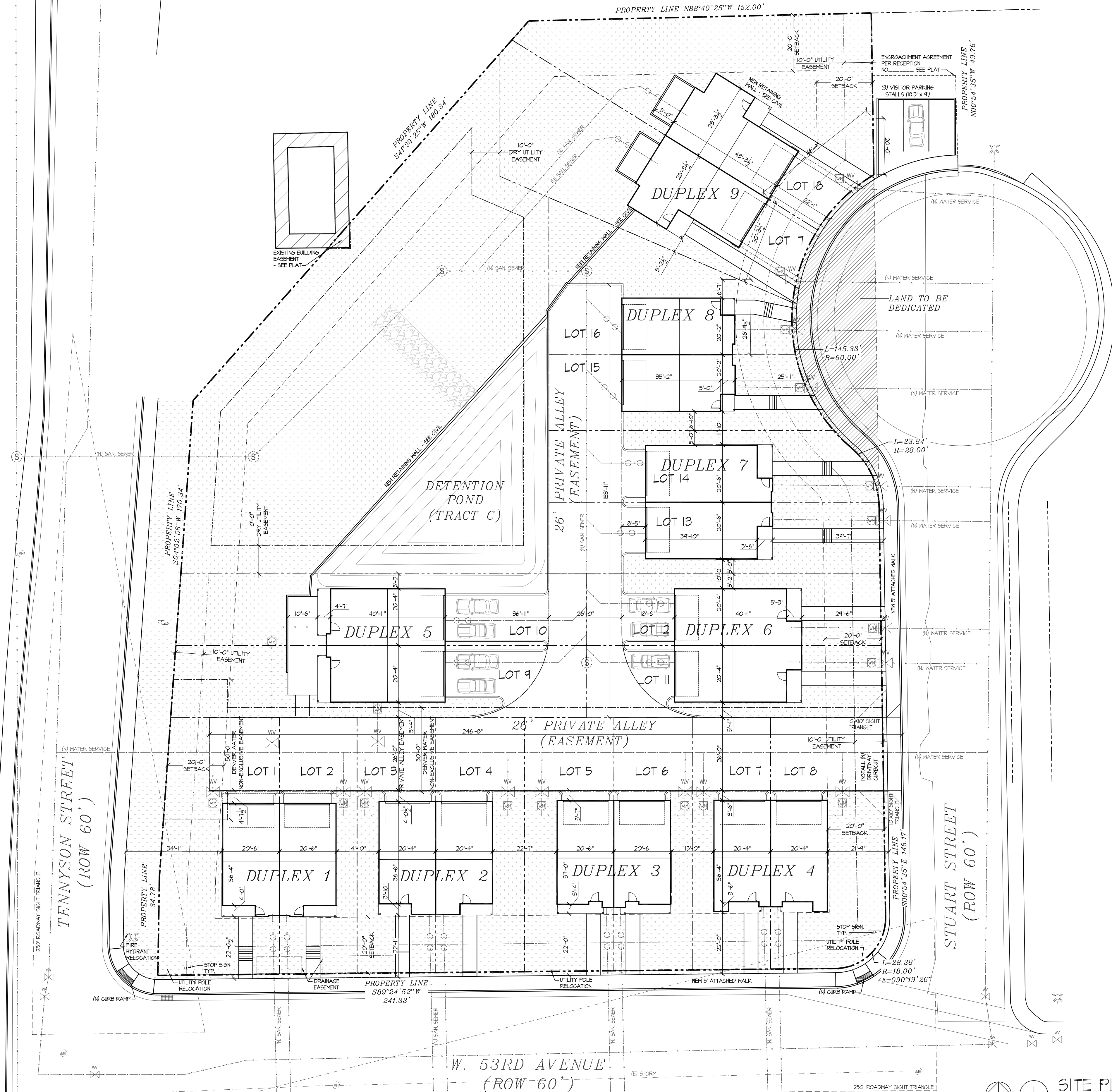
Salvatore C. Cambria, PE

A handwritten signature in black ink, appearing to be "SC" followed by a stylized flourish.

Denver Office:
3461 Ringsby Court, #125
Denver, Colorado 80216
720.594.9494

AltitudeLandCo.com

Colorado Springs Office:
2727 North Cascade, #160
Colorado Springs, CO 80907
719.231.3959



  SITE PLAN
SCALE: 1:20



SITE DATA CHART

LEGAL DESCRIPTION:
A PORTION OF THE SOUTHWEST $\frac{1}{4}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 18M T3S R68W;
BEGINNING AT THE SOUTHWEST CORNER OF LOT 24, BLOCK 10, BERKELEY GARDENS;
THENCE WESTERLY 30 FEET TO A POINT ON THE BOUNDARY LINE OF WEST 53RD AVE;
THENCE NORTH 350 FEET TO A POINT 30 FEET WEST OF THE NORTHEAST CORNER OF LOT 11
SAID BLOCK 10; THENCE WEST 152 FEET; THENCE IN A SOUTHWESTERLY DIRECTION 195.1° MORE
OR LESS TO THE EAST BOUNDARY OF PRESENT LOCATION OF TENNYSON ROAD; THENCE IN
SOUTHWESTERLY ON AND NEAR EAST BOUNDARY OF SAID ROAD 210.8 FEET; THENCE EAST 325
FEET ALONG NORTH BOUNDARY OF WEST 53RD TO THE POINT OF BEGINNING EXCEPTING THE
EAST 30' FOR ROAD, COUNTY OF ADAMS, STATE OF COLORADO.

ADDRESS:
4301 WEST 53RD AVENUE

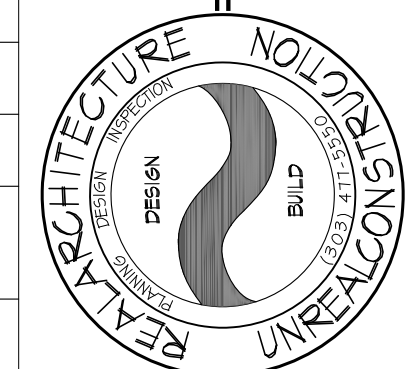
DESCRIPTION OF WORK:
SUBDIVIDING THE EXISTING PARCEL INTO 18 LOTS PLUS A TRACT FOR 4 DUPLEXES AND WATER DETENTION. THE LOT WILL BE REZONED FROM R-2 TO R-3 ZONING TO ALLOW FOR THE PROPOSED DUPLEX FORM. LOT AREA & SETBACKS MEETING R-3 ZONING REQUIREMENTS. PRIVATE ALLEYS WILL BE DEDICATED EASEMENTS FOR RESIDENT AND FIRE ACCESS. WE WILL BE DEDICATING LAND TO COMPLETE THE STUART ST. CUL-DE-SAC ROADWAY.

CURRENT ZONE DISTRICT:			R-2	
PROPOSED ZONE DISTRICT:			R-3	
PROPOSED USE:			DUPLEX	
MINIMUM LOT SIZE:			2,500 SF	
MINIMUM DUPLEX LOT FRONTAGE:			50'-0"	
FRONT SETBACK:			20'-0"	
SIDE STREET SETBACK:			20'-0"	
SIDE SETBACK:			20'-0"	
REAR SETBACK:			20'-0"	
LOT NO.	WIDTH AT SETBACK	AREA	CAR ACCESS	LOT COVERAGE (10% MAX)
LOT 1	50'-0"	3809 SF	REAR	21.4%
LOT 2	28'-0"	2525 SF	REAR	32.3%
LOT 3	28'-0"	2548 SF	REAR	31.9%
LOT 4	28'-0"	2868 SF	REAR	28.3%
LOT 5	28'-0"	2874 SF	REAR	28%
LOT 6	28'-0"	2513 SF	REAR	32.1%
LOT 7	28'-0"	2506 SF	REAR	31.9%
LOT 8	40'-10"	3553 SF	REAR	22.5%
LOT 9	25'-0"	3168 SF	REAR	24.1%
LOT 10	25'-0"	3108 SF	REAR	24.5%
LOT 11	25'-0"	2689 SF	REAR	34.1%
LOT 12	25'-0"	2669 SF	REAR	34.3%
LOT 13	25'-0"	3004 SF	REAR	30.6%
LOT 14	25'-0"	2854 SF	REAR	32.2%
LOT 15	28'-4"	2513 SF	REAR	32%
LOT 16	26'-4"	3239 SF	REAR	24.8%
LOT 17	30'-3"	4403 SF	FRONT	27.1%
LOT 18	46'-4"	5805 SF	FRONT	20.5%

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53RD AND TENNYSON ROW

4301 WEST 53RD AVE
DENVER COLORADO 80212




DAVID L. BERTON A.I.A.
REALARCHITECTURE LTD.
2899 N. Speer Blvd, Denver, Co. 80202
ph. (303) 477-5550 fax 477-5505
www.realarchitecture.com

DRAWN	DLB, KG
DATE	2-12-2020
PROJECT NUMBER	1866
DESIGNED	

SITEPLAN

SHEET #



53RD AND TENNYSON ROW SUBDIVISION PRELIMINARY PLAT

A PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO.
SHEET 1 OF 2

DEDICATION AND LEGAL DESCRIPTION:

KNOW ALL MEN BY THESE PRESENTS THAT JOHN HORVAT, BEING THE SOLE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

A PORTION OF THE SOUTHWEST $\frac{1}{4}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 18M T3S R68W;
BEGINNING AT THE SOUTHWEST CORNER OF LOT 24, BLOCK 10 BERKELEY GARDENS;
THENCE WESTERLY 30 FEET TO A POINT ON THE BOUNDARY LINE OF WEST 53RD AVE;
THENCE NORTH 350 FEET TO A POINT 30 FEET WEST OF THE NORTHWEST CORNER OF LOT 11, SAID BLOCK 10;
THENCE WEST 152 FEET;
THENCE IN A SOUTHWESTERLY DIRECTION 195.7' MORE OR LESS TO THE EAST BOUNDARY OF PRESENT LOCATION OF TENNYSON ROAD;
THENCE IN SOUTHWESTERLY ON AND NEAR EAST BOUNDARY OF SAID ROAD 210.8 FEET;
THENCE EAST 325 FEET ALONG NORTH BOUNDARY OF WEST 53RD TO THE POINT OF BEGINNING EXCEPTING THE EAST 30' FOR ROAD(RECEPTION #406012)
CITY OF DENVER;
COUNTY OF ADAMS;
STATE OF COLORADO.

CONTAINING 2.144 ACRES OR 93,381.8 SQUARE FEET OF LAND, MORE OR LESS.

HAVE LAID OUT, SUBDIVIDED AND PLATTED THE SAME INTO LOTS UNDER THE NAME AND STYLE OF 53RD AND TENNYSON ROW SUBDIVISION, COUNTY OF ADAMS, STATE OF COLORADO. THE UNDERSIGNED DO, BY THIS PLAT, GRANT AND CONVEY TO THE COUNTY OF ADAMS, ALL OF THE FOLLOWING AS SHOWN HEREON:

A: A 10 FOOT WIDE UTILITY EASEMENT IS HEREBY DEDICATED ALONG THE FRONT LINE OF EACH LOT & IN ADDITION A 10 FOOT WIDE DRY UTILITY EASEMENT IS HEREBY DEDICATED LONG THE PERIMETER OF TRACTS, PARCELS AND OPEN SPACES WHERE APPLICABLE.

B: AN EXISTING BUILDING ENCROACHMENT AGREEMENT WILL BE PROVIDED FOR THE ENCROACHING BUILDING IN THE NORTHWEST PORTION OF TRACT C.

C: TRACTS A & B TO BE DEDICATED TO THE COUNTY OF ADAMS FOR RIGHT-OF-WAY PURPOSES.

D: TRACT C IS FOR DRAINAGE PURPOSES.

EXECUTED THIS ____ DAY OF _____, 20____

OWNER:

SIGNATURE

PRINT NAME

PRINT TITLE

NOTARY CERTIFICATE

STATE OF _____)
) SS.
COUNTY OF _____)

ACKNOWLEDGED BEFORE ME ON THE ____ DAY OF _____, 20____
BY _____, AS _____
OF _____

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

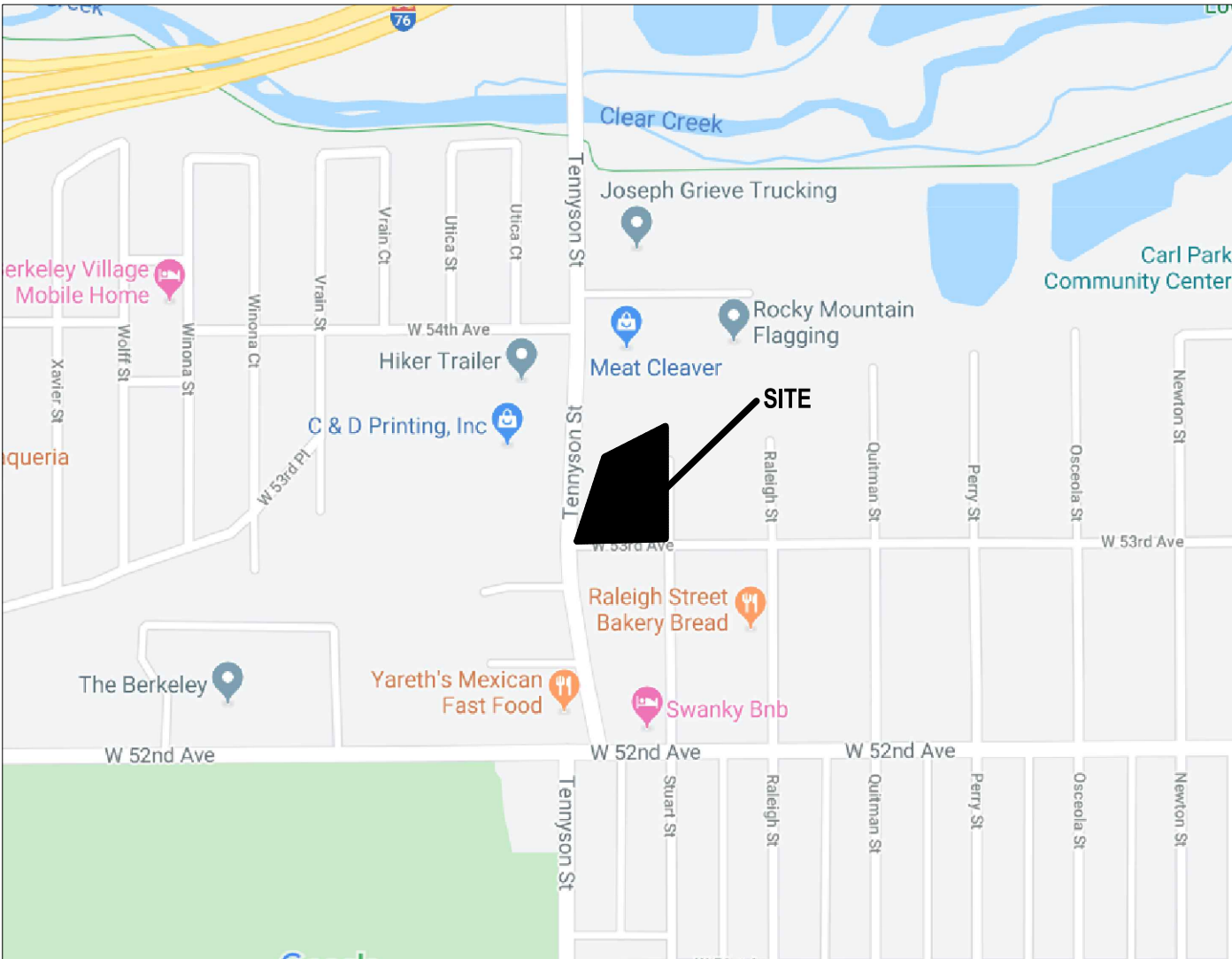
CLERK & RECORDER:

RECEPTION NO.

ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS ____ DAY OF _____, 20____, AT ____ O'CLOCK ____ M.

COUNTY CLERK AND RECORDER

BY: _____
DEPUTY



VICINITY MAP:

SCALE 1" = 300'

GENERAL NOTES:

- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY SUCH DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508. COLORADO REVISED STATUTE.
- THE TITLE COMMITMENT NUMBER 102-2000067-S DATED MAY 15, 2020 FROM FIRST INTEGRITY TITLE COMPANY AS AGENT FOR WESTCOR LAND TITLE INSURANCE COMPANY WAS RELIED ON FOR THIS LAND SURVEY PLAT.
- BASIS OF BEARINGS: BEARINGS ARE BASED ON THE SOUTH LINE OF THE NORTHEAST ONE-QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST, BETWEEN A FOUND 2.5" ALUMINUM CAP (ILLEGIBLE) IN A RANGE BOX AT THE INTERSECTION OF 52ND AVENUE AND TENNYSON STREET AND A FOUND 2.5" ALUMINUM CAP (ILLEGIBLE) IN A RANGE BOX AT THE INTERSECTION OF 52ND AVENUE AND LOWELL BOULEVARD ASSUMED TO BEAR N 89° 23' 35" E.
- ALL LINEAR MEASUREMENTS WERE TAKEN USING THE U.S. SURVEY FOOT.
- A STRUCTURE EXTENDS 5.6' OVER THE NORTHWESTERLY BOUNDARY LINE, AN EXISTING BUILDING ENCROACHMENT AGREEMENT SHOWN HEREON, RECORDED AT RECEPTION NO. _____.
- TEN-FOOT (10') WIDE UTILITY EASEMENTS ARE HEREBY DEDICATED ON PRIVATE PROPERTY ADJACENT TO THE FRONT LOT LINES OF EACH LOT IN THE SUBDIVISION. IN ADDITION, TEN-FOOT (10') WIDE DRY UTILITY EASEMENTS ARE HEREBY DEDICATED AROUND THE PERIMETER OF TRACTS, PARCELS AND/OR OPEN SPACE AREAS. THESE EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF UTILITIES.
- UTILITY EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO (PSCO) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AND EASEMENT ON ITS STANDARD FORM.
- THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. AL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.
- 30 & 50 FOOT NON-EXCLUSIVE DENVER WATER EASEMENT, AS SHOWN HEREON, RECORDED AT RECEPTION NO. _____.
- DRAINAGE EASEMENTS AS SHOWN HEREON, ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ALL DRAINAGE FACILITIES.
- THE DRIVEWAY AND PARKING AREA ARE PRIVATE AND THE MAINTENANCE OF THIS INFRASTRUCTURE IS THE RESPONSIBILITY OF THE OWNERS OF EACH DUPLEX THAT WILL BE FURTHER CLARIFIED IN THE COVENANT/MAINTENANCE AGREEMENT.
- PARKING AND A BIORETENTION FACILITY EXTEND 29.6' OVER THE NORTHEASTERLY BOUNDARY LINE, AN ENCROACHMENT AGREEMENT SHOWN HEREON, RECORDED AT RECEPTION NO. _____.
- THE EASEMENT SHOWN AND LABELED HEREON AS "26' PRIVATE ALLEY ACCESS EASEMENT" LYING IN LOTS 1 THROUGH 16 INCLUSIVE, IS A PRIVATE INGRESS/EGRESS EASEMENT RESERVED FOR THE EXCLUSIVE USE OF THE OWNERS OF THE SAID LOTS.

CERTIFICATION OF SURVEY:

I, KARL W. FRANKLIN, A LAND SURVEYOR LICENSED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THERE ARE NO EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE ABOVE-DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT I HAVE SURVEYED THIS PROPERTY AND THIS PLAT ACCURATELY AND PROPERTYLY SHOWS SAID PROPERTY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON. THIS LAND SURVEY PLAT COMPLIES WITH SECTION 38-51-106, COLORADO REVISED STATUTES.

KARL W. FRANKLIN,
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR , P.L.S #37969
FOR OR ON BEHALF OF ALTITUDE LAND CONSULTANTS

PLANNING COMMISSION APPROVAL:

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS ____ DAY OF _____, 20____.

CHAIR

BOARD OF COUNTY COMMISSIONERS APPROVAL:

APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS THIS ____ DAY OF _____, 20____.

CHAIR



CIVIL | SURVEY | PLANNING | LANDSCAPE

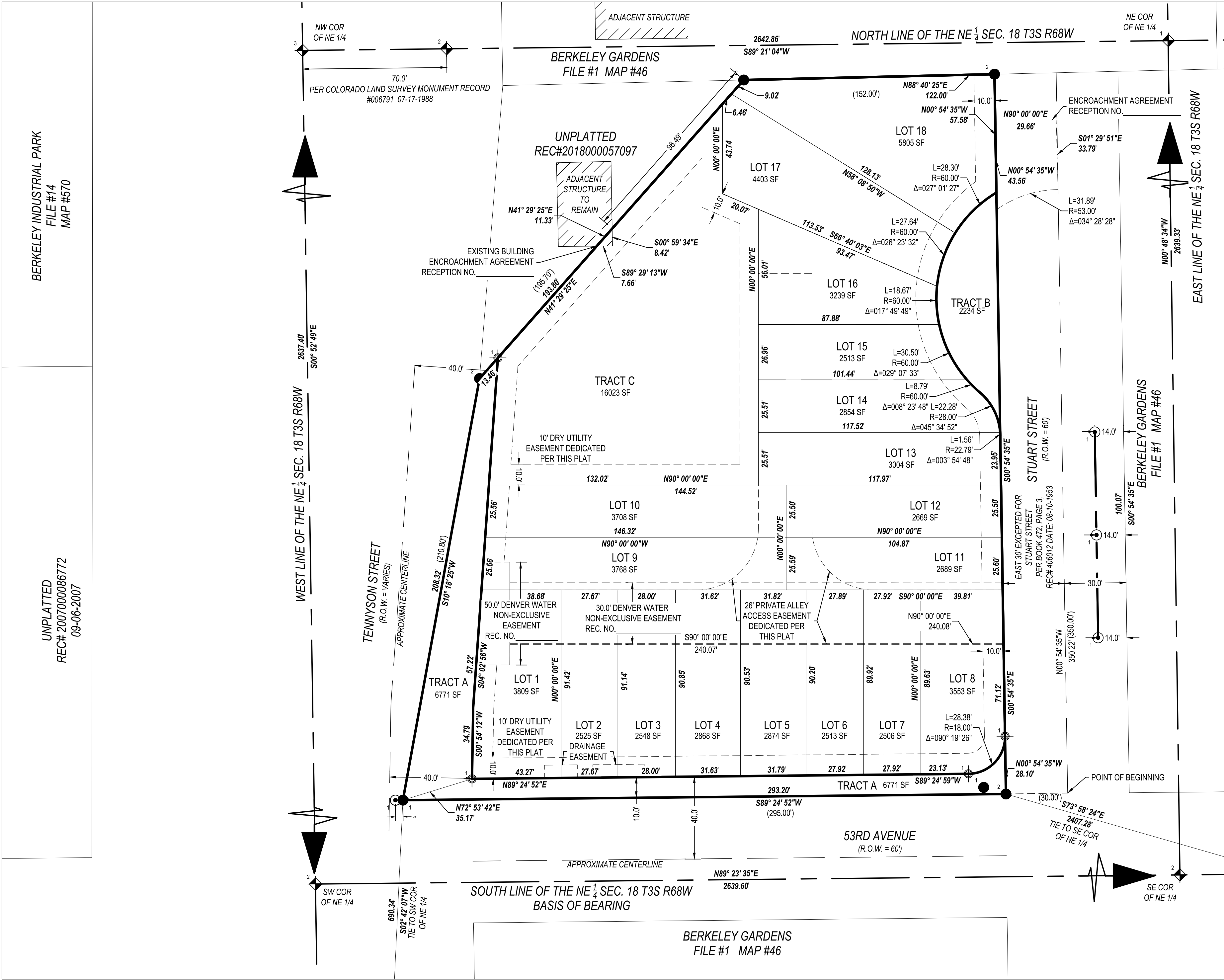
3461 Ringsby Ct, Suite 125
Denver, CO 80216
info@altitudelandco.com
AltitudeLandCo.com

DATE: 08.19.2020
JOB NO: 18-213

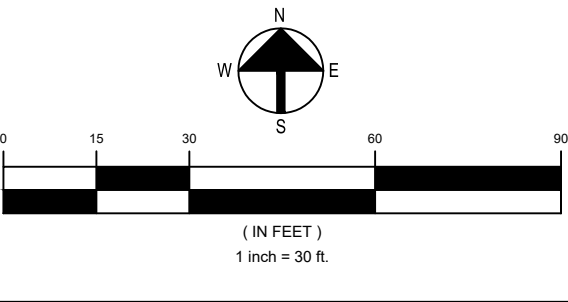
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CHECKED BY: KWF

53RD AND TENNYSON ROW SUBDIVISION PRELIMINARY PLAT

A PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO.
SHEET 2 OF 2



- LEGEND:**
- 1 SET #5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "ALC PLS 37969"
 - 2 SET MAG NAIL AND 1" BRASS TAG STAMPED "PLS 37969"
 - 1 FOUND #5 REBAR WITH YELLOW PLASTIC CAP "L.S. 9010"
 - 2 FOUND #5 REBAR WITH ORANGE PLASTIC CAP "L.S. 37969"
 - 1 FOUND 2.5" ALUMINUM CAP (ILLEGIBLE)
 - 2 FOUND 2.5" ALUMINUM CAP SECTION MONUMENT (ILLEGIBLE)
 - 3 SECTION CORNER CALCULATED PER MONUMENT RECORD
 - 1 FOUND NAIL AND WASHER (ILLEGIBLE)
 - ADJACENT PROPERTY LINE
 - PROPERTY LINE
 - EASEMENT
 - RANGE LINE



DATE: 08.19.2020
JOB NO: 18-213

DRAWN BY: DLS &
CHECKED BY: KWF

ALTITUDE
LAND CONSULTANTS

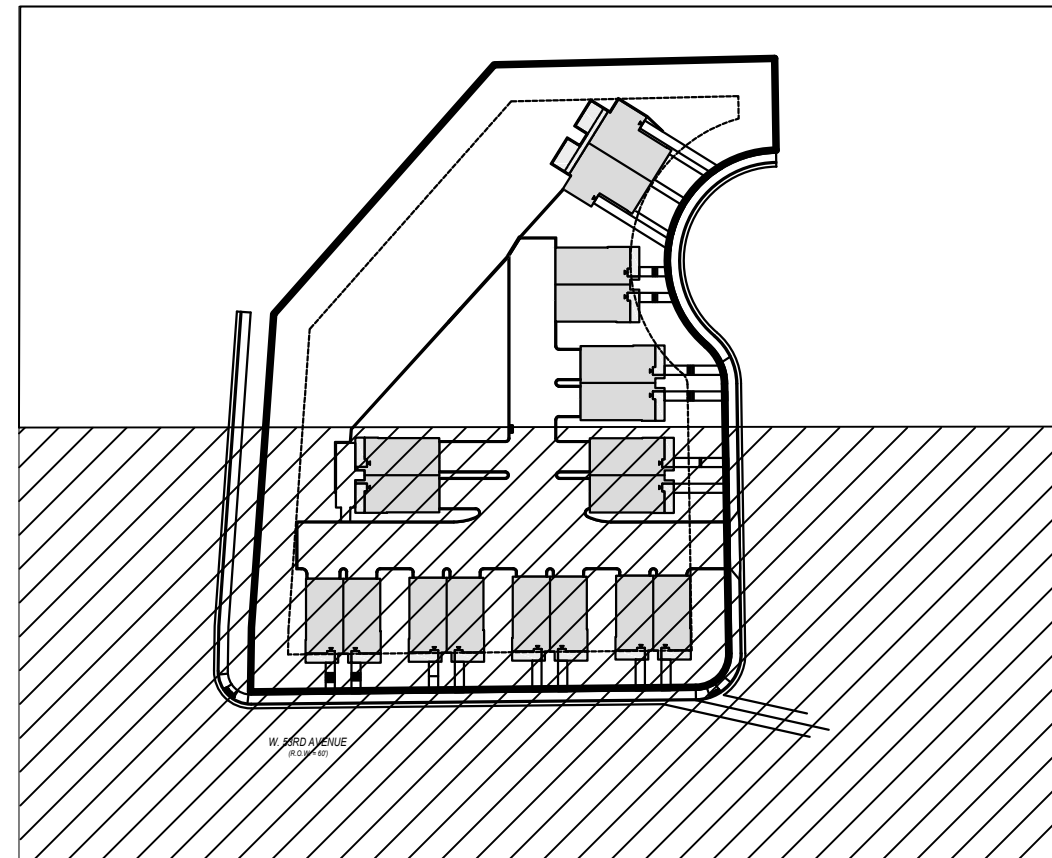
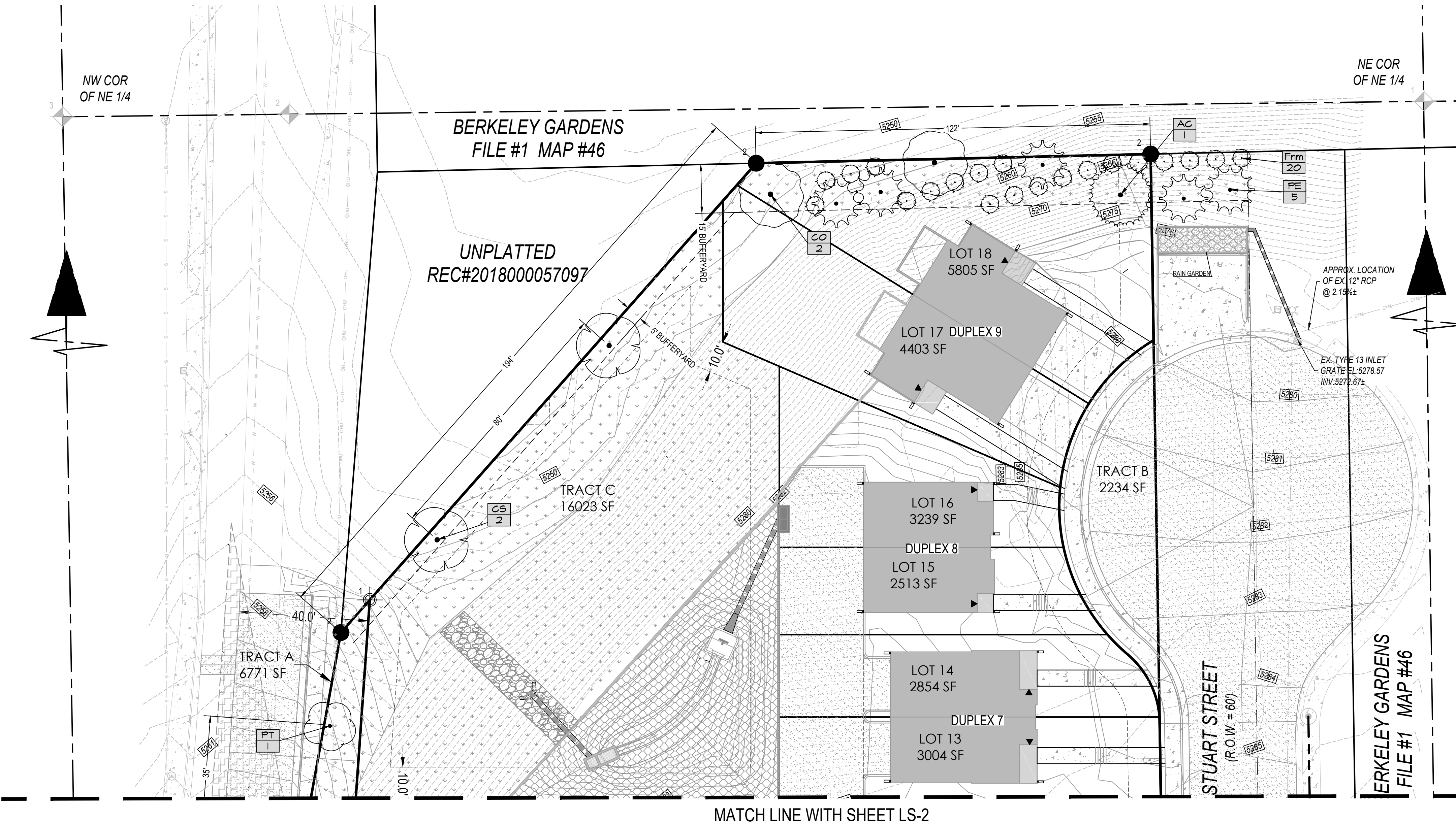
CIVIL | SURVEY | PLANNING | LANDSCAPE

3461 Ringsby Ct, Suite 125
Denver, CO 80216
info@altitudeandco.com
AltitudeLandCo.com

53RD AND TENNYSON ROW - LANDSCAPE PLAN

A PART OF THE NORTHEAST ¼ OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO.
(LOCATED AT: 4301 WEST 53RD AVENUE, DENVER, CO 80212.)

ALTITUDE
LAND CONSULTANTS
CIVIL | SURVEY | PLANNING | LANDSCAPE
3461 RINGSBY CT., SUITE #125
DENVER, CO 80216
2727 N. CASCADE AVE., SUITE #160
COLORADO SPRINGS, CO 80907
720.594.9494
INFO@ALTITUDELANDCO.COM
WWW.ALTITUDELANDCO.COM



53RD AND TENNYSON ROW
LANDSCAPE PLAN
ADDRESS: 4301 W. 53RD AVENUE, DENVER, CO 80212
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO

18-213

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REVISION:
NO. DATE BY
1 08.26.2020 TPL

DATE: 05.29.2020
DRAWN BY: TPL
CHECKED BY: KAW

LANDSCAPE
PLAN 1.1

LS-1

SHEET 1 OF 5

53RD & TENNYSON DUPLEXES

PLANT SCHEDULE: SITE COMMON AREAS

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	MATURE SIZE
	CS	2	Catalpa speciosa	Northern Catalpa	2' Cal.	50' X 60' H
	CO	2	Celtis occidentalis	Common Hackberry	2' Cal.	50' x 50' H
	PT	2	Ptelea trifoliata	Common Hoptree	2' Cal.	15' X 15' H
	QU	1	Quercus undulata	Wavyleaf Oak	2' Cal.	15' X 20' H
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	MATURE SIZE
	AC	1	Abies concolor	White Fir	2' Cal.	25' x 55' H
	PE	5	Pinus edulis	Pinon Pine	2' Cal.	15' X 35' H
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	Fnm	20	Forestiera neomexicana	New Mexican Privet	3' Ht.	12' X 15' H

GROUND COVER SCHEDULE: COMMON AREAS

GROUND COVERS	QTY	BOTANICAL NAME	SIZE
	14,604 sf	Low Grow mix 30% Ephraim Crested Wheatgrass, 25% Sheep Fescue, 20% Perennial Rye, 15% Chewings Fescue	seed
	3,709 sf	MHFD/UDFCD Native Seed Mix for Rain Gardens See Detail B1-17	seed

SITE DATA TABLES

Bufferyard Requirements - Section 14-16-06						
Bufferyard	Width (FT)	Length (FT)	Trees Required	Trees Provided	6 FT Fence/Wall Required	Shrub Hedge Substitutes Provided
North Bufferyard (Type D)	15	122	2 (1 tree per 60FT)	3 (plus 5 ornamental)	YES	132 FT
Northwest Bufferyard (Type A)	5	194	2 (1 tree per 80FT)	2	NO	N/A

Site Landscaping Requirements - Section 4-16-07 - Site Common Areas

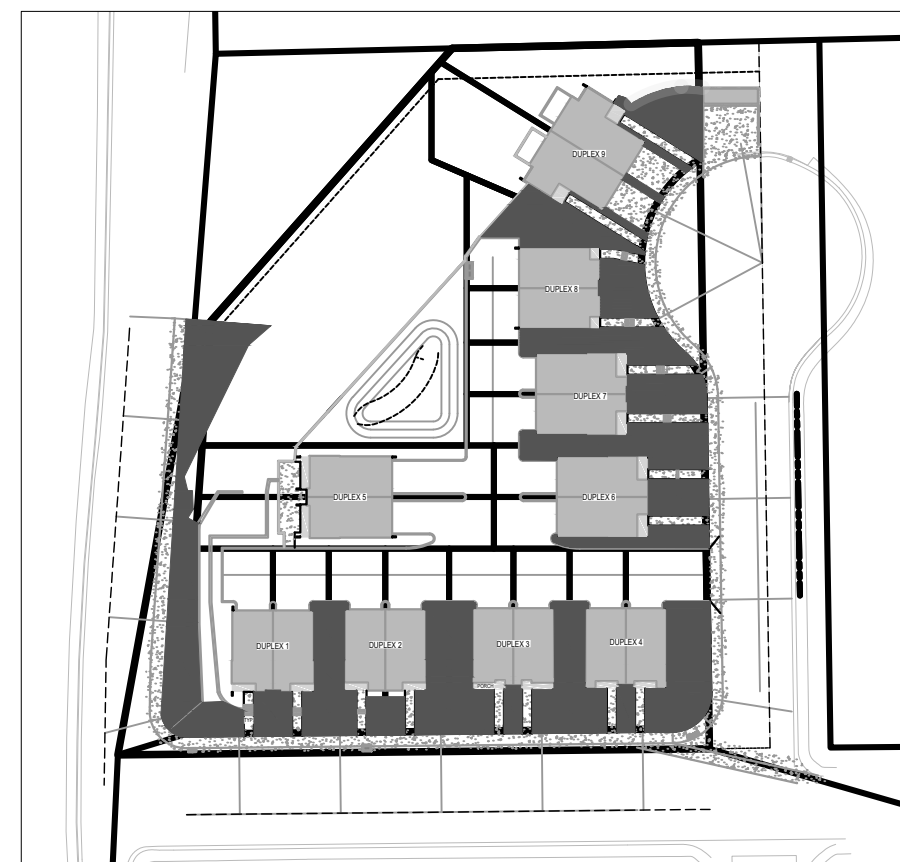
Site area (SQ FT)*	Required landscape 10% of site area (SQ FT)	Provided landscape (SQ FT)**	Required ROW landscape (50% of required landscape) (SQ FT)	Provided ROW landscape (SQ FT)	Live cover (≥75% of landscape area) (SQ FT)	Non-live cover (≤25% of landscape area) (SQ FT)
73,870	7387	26134	3694	17045	25734 (98%)	400 (2%)

*Total site area less ROW dedications

**This area includes only landscape areas with a slope of 100:1 to 4:1, per Code Section 4-16-14.

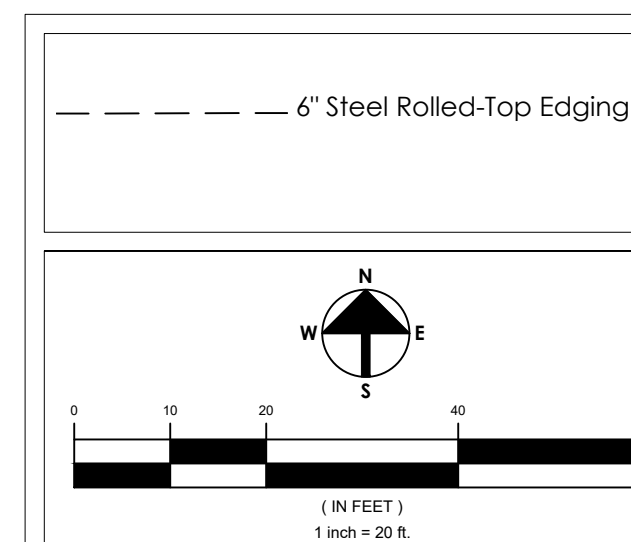
SIGHT TRIANGLE RESTRICTIONS

- 10' X 10' PEDESTRIAN SIGHT TRIANGLES - NO ITEMS THAT ARE WIDER THAN 18" MAY BE TALLER THAN 30" WITHIN THIS TRIANGLE.
- 30' X 30' CORNER SIGHT TRIANGLES - CORNER TRIANGLES MUST BE FREE OF ALL ITEMS OVER 30" IN HEIGHT EXCEPT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT.
- ROADWAY SIGHT TRIANGLES - NO ITEMS THAT ARE WIDER THAN 18" MAY BE TALLER THAN 30" WITHIN THIS TRIANGLE EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT.



ROW Landscape Areas

LEGEND:

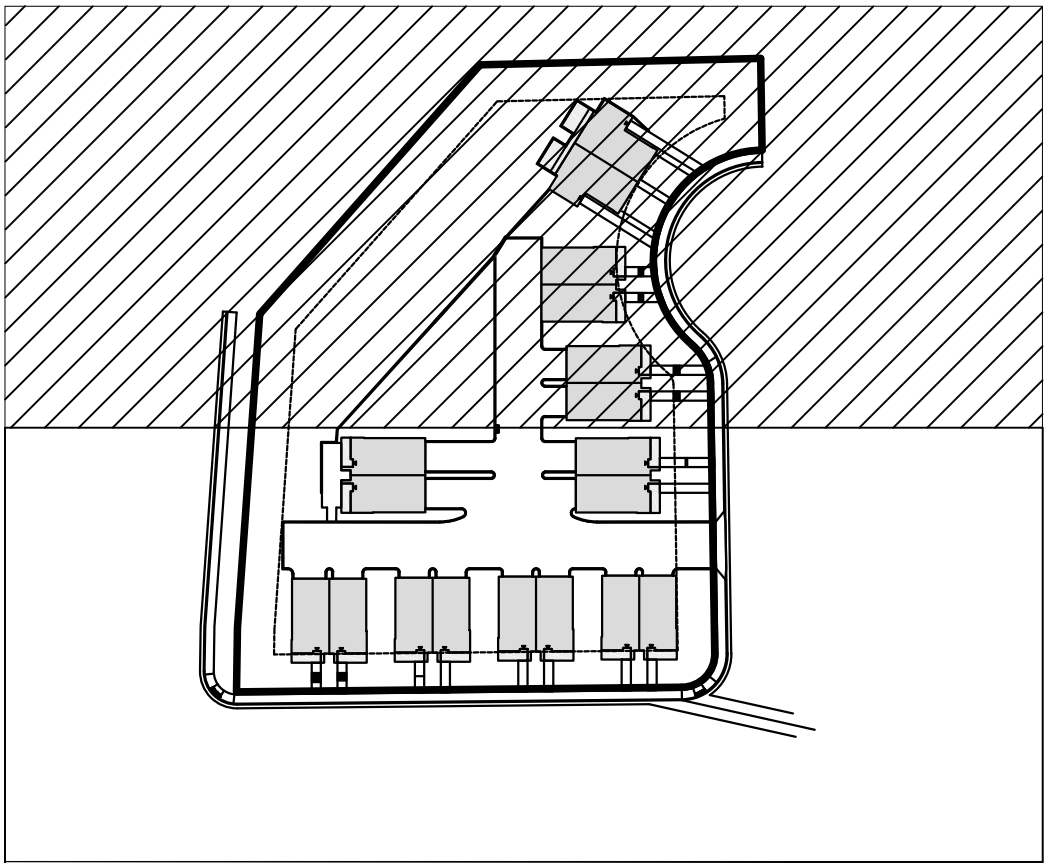
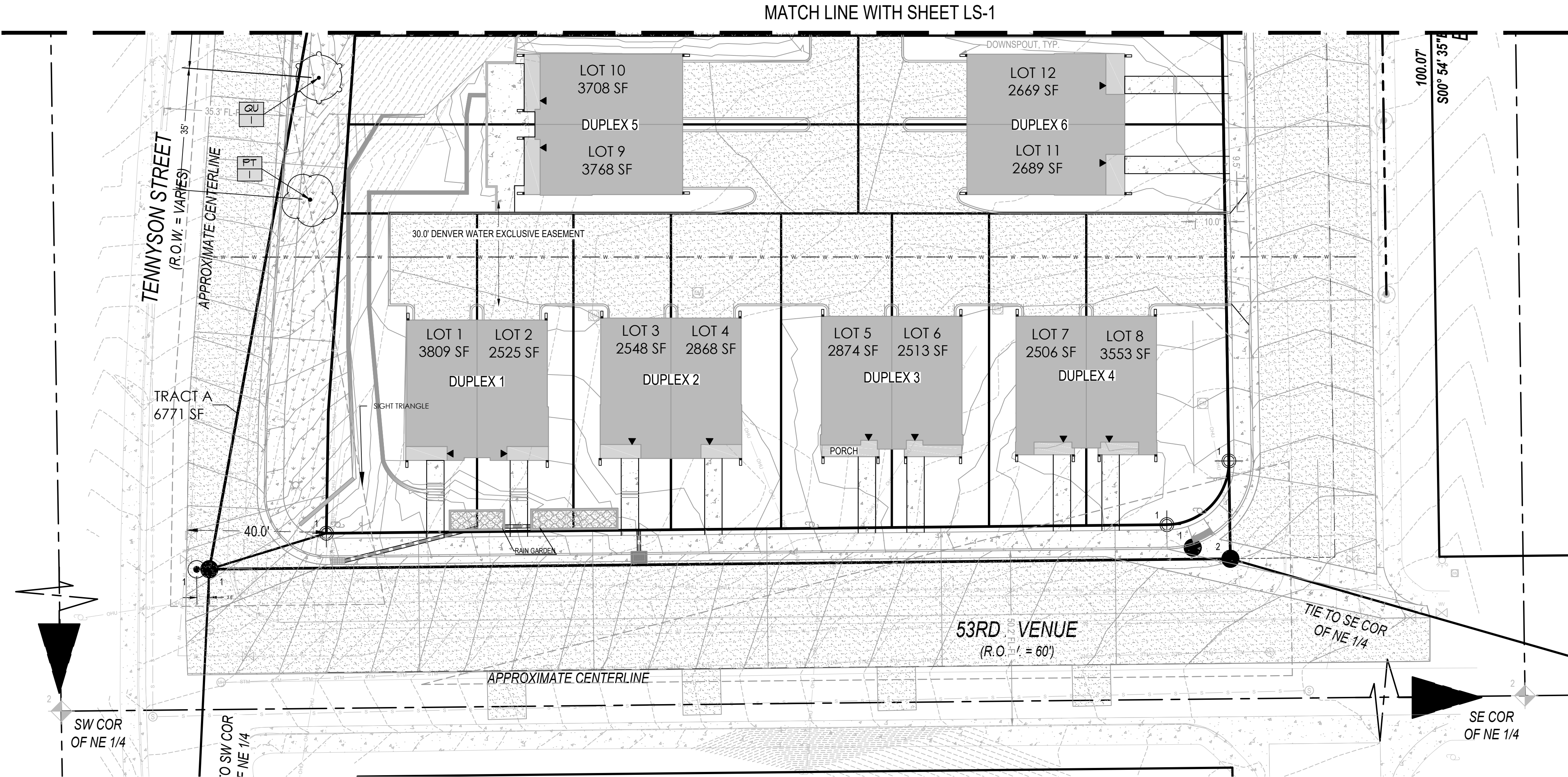


53RD AND TENNYSON ROW - LANDSCAPE PLAN

A PART OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO.
(LOCATED AT: 4301 WEST 53RD AVENUE, DENVER, CO 80212.)



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53RD AND TENNYSON ROW
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18-213

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REVISION:		
NO.	DATE	BY
1	08.26.2020	TPL

DATE: 05.29.2020
DRAWN BY: TPL
CHECKED BY: KAW

LANDSCAPE
PLAN 1.2

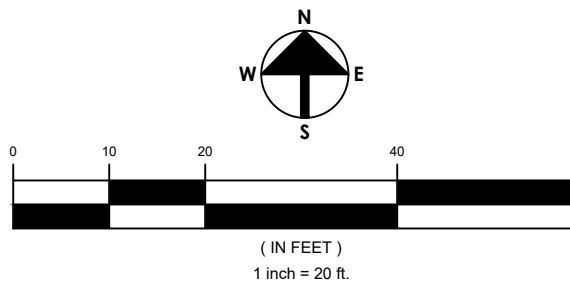
LS-2

SHEET 2 OF 5

53RD & TENNYSON DUPLEXES

LEGEND:

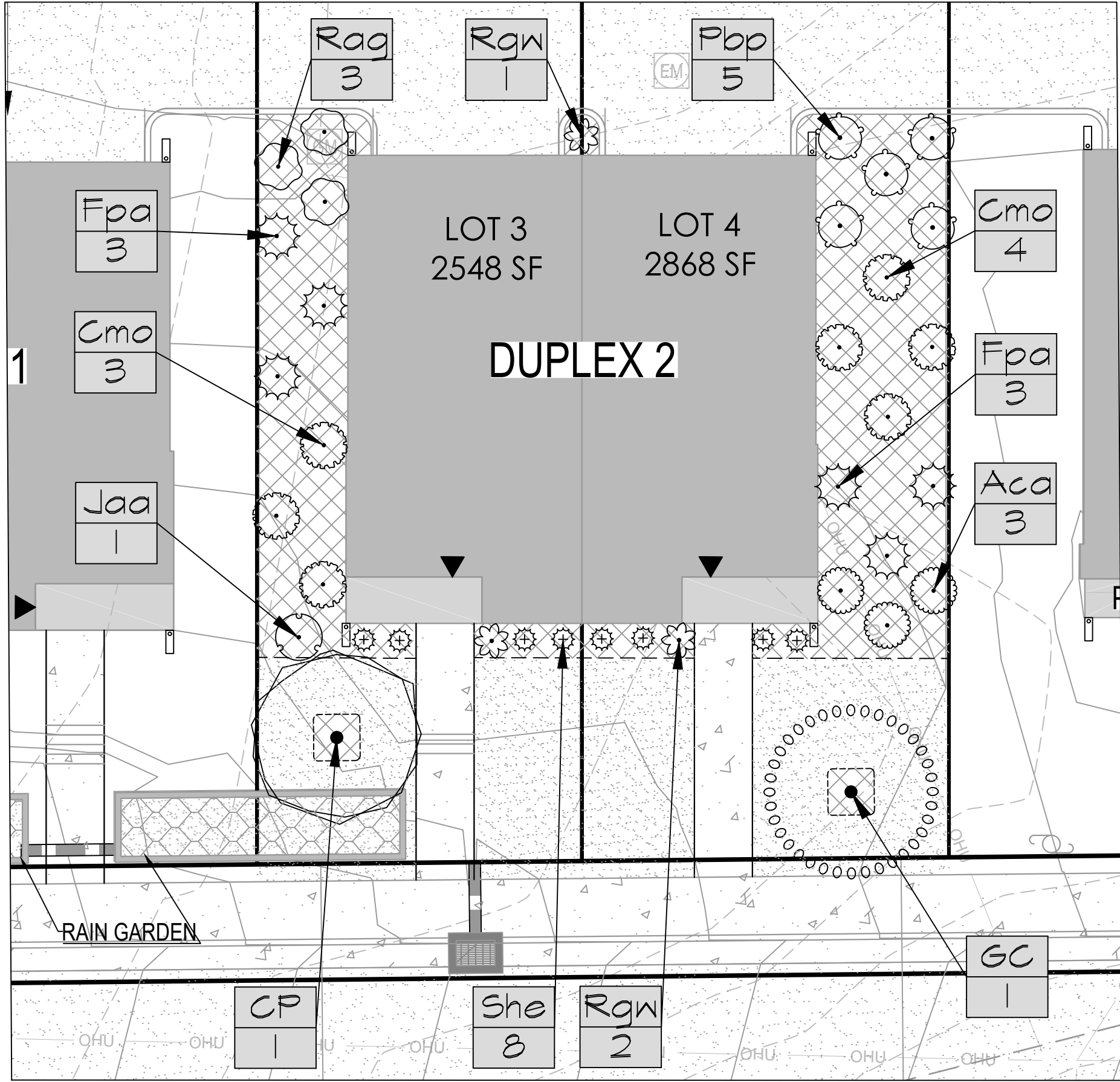
--- 6" Steel Rolled-Top Edging



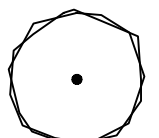
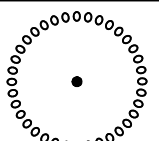








53RD AND TENNYSON ROW - LANDSCAPE PLAN

A PART OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO.
(LOCATED AT: 4301 WEST 53RD AVENUE, DENVER, CO 80212.)


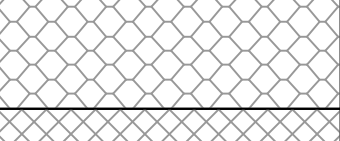

LOT TYP (DUPLEX 1,2,3,4,6,7,8)



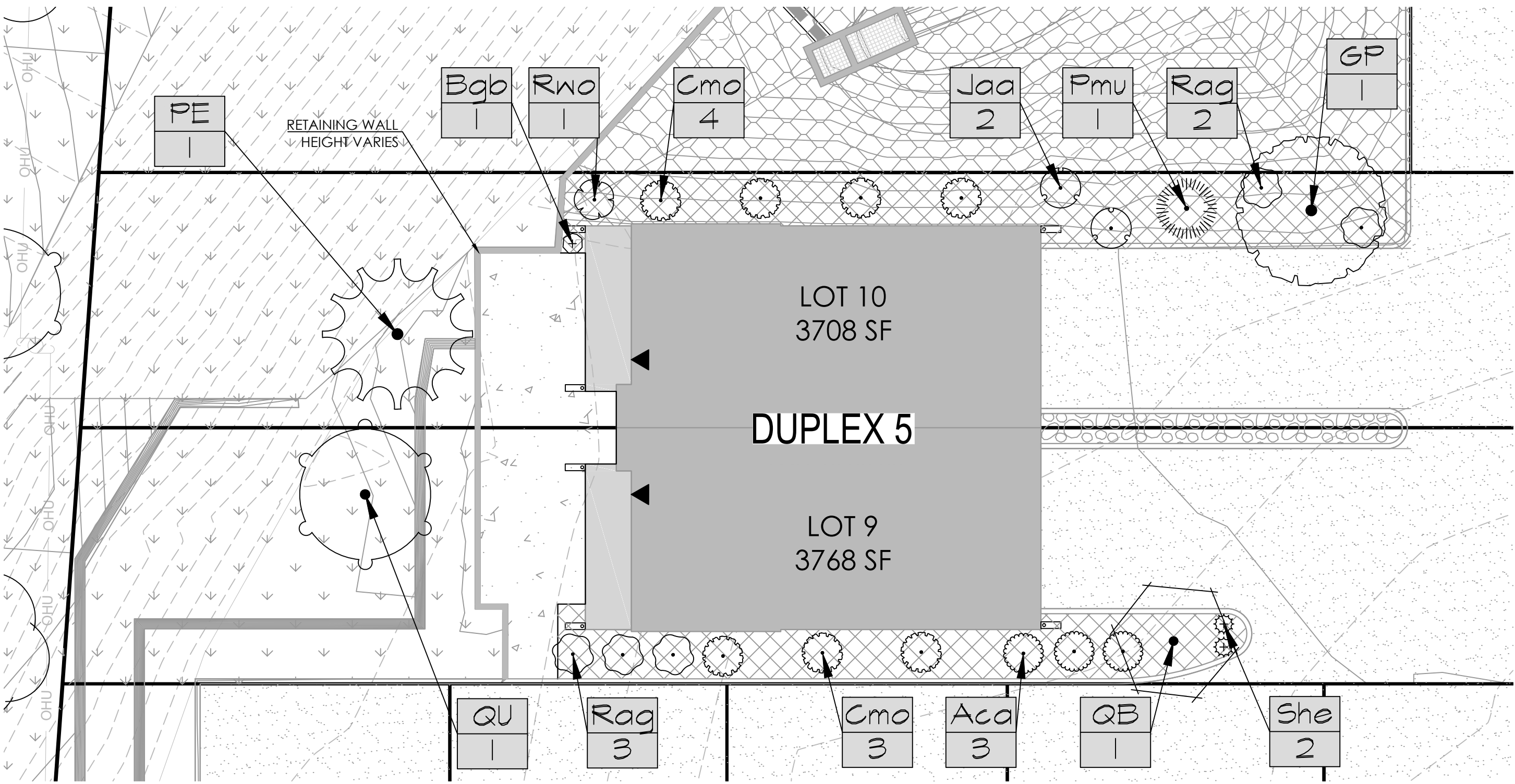
PLANT SCHEDULE: LOT TYP-DUPLEX 1,2,3,4,6,7,8

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER SIZE	MATURE SIZE
	CP	1	Cellis occidentalis 'JFS-KSU1' TM / Prairie Sentinel Hackberry	2" Cal	15' X 40'H
	GC	1	Gleditsia triacanthos inermis 'Continental' / Continental Honey Locust	2" Cal.	15' X 35'H
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	Aca	3	Amorpha canescens / Leadplant	#5	36" X 48"H
	Cmo	7	Cercocarpus montanus / Alderleaf Mountain Mahogany	#5	48" x 60"H
	Fpa	6	Fallugia paradoxa / Apache Plume	#5	60" X 60"H
	Jaa	1	Jamesia americana / Waxflower	#5	60" X 60"H
	Pbp	5	Prunus besseyi Pawnee Buttes / Creeping Western Sand Cherry	#5	60" X 12'H
	Rag	3	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	#5	72" X 18"H
	Rgw	3	Ribes aureum 'Gwen's Buffalo' / Gwen's Buffalo Golden Currant	#5	60" X 60"H
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	She	8	Sporobolus heterolepis / Prairie Dropseed	#1	24" x 24"H

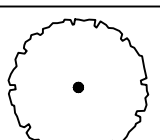
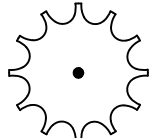

GROUND COVER SCHEDULE: LOT TYP-DUPLEX 1,2,3,4,6,7,8

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE
	659 sf	Festuca arundinacea 'Rhizomatous RTF' / RTF Tall Fescue	sod
	120 sf	MHFD/UDFCD Native Seed Mix for Rain Gardens / Detention basin mix	seed
	1,042 sf	Shredded Organic Shredded Organic Tree Mulch / Shredded Organic Tree Mulch	3" depth

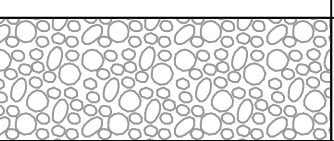
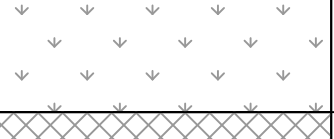

LOT TYP (DUPLEX 5)



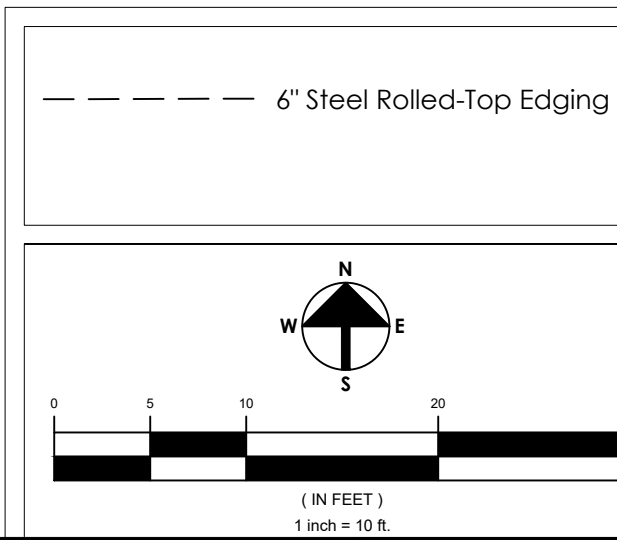
PLANT SCHEDULE: LOT TYP-DUPLEX 5

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER SIZE	MATURE SIZE
	GP	1	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo	2" Cal	15' X 35'H
	QB	1	Quercus bicolor 'Bonnie and Mike' TM / Beacon Oak	2" Cal	12' X 30'H
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER SIZE	MATURE SIZE
	PE	1	Pinus edulis / Pinon Pine	2" Cal	15' X 35'H
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	Aca	3	Amorpha canescens / Leadplant	#5	36" X 48"H
	Cmo	3	Cercocarpus montanus / Alderleaf Mountain Mahogany	#5	48" x 60"H
	Jaa	2	Jamesia americana / Waxflower	#5	60" X 60"H
	Pmu	1	Pinus mugo pumilio / Dwarf Mugo Pine	#5	8" X 48" H
	Rag	5	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	#5	72" X 18"H
	Rwo	1	Rosa woodsii / Mountain Rose	#5	36" X 48"H
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	Bgb	1	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama	#1	12" X 18"H
	She	2	Sporobolus heterolepis / Prairie Dropseed	#1	24" x 24"H

GROUND COVER SCHEDULE: LOT TYP-DUPLEX 5

GROUND COVERS	QTY	BOTANICAL NAME	SIZE
	107 sf	3/4" River Rock	3" depth
	2,079 sf	Low Grow mix 30% Ephraim Crested Wheatgrass, 25% Sheep Fescue, 20% Perennial Rye, 15% Chewings Fescue	seed
	899 sf	Shredded Organic Shredded Organic Tree Mulch	3" depth

LEGEND:

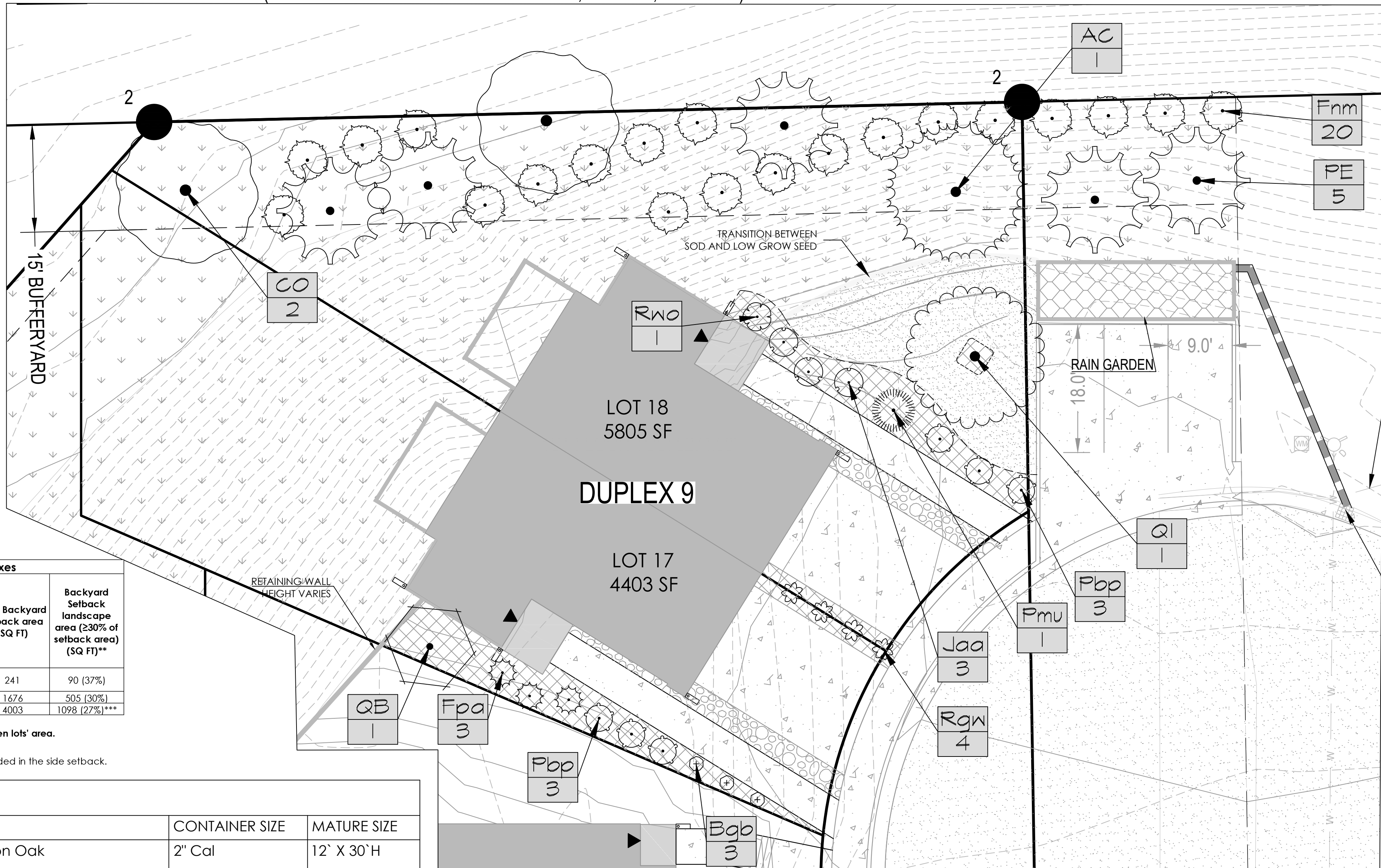


53RD AND TENNYSON ROW - LANDSCAPE PLAN

A PART OF THE NORTHEAST ¼ OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO.
(LOCATED AT: 4301 WEST 53RD AVENUE, DENVER, CO 80212.)

Street Frontage Landscaping 4-16-07 - Individual Duplexes								
Duplex	Lot area (SQ FT)	Street frontage (FT)	Required ROW landscape 50% of required landscape (SQ FT)	Provided ROW landscape (SQ FT)	Trees Required (Option 2: 1 per 40 FT frontage)	Trees Provided	Shrubs required (Option 2: 2 per 40 FT frontage)	Shrubs provided
Duplex Typ* (1,2,3,4,6,7,8)	5416	60	271	1830	2	2	4	4
Duplex 5	7476	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Duplex 9	11776	46	589	1504	1	1	2	9

*Data in this row are based on Duplex 2 (Lots 3 and 4). Data for remaining "typical" duplexes/lots will be similar, proportional to the given lots' area.



Lot Landscaping Requirements - Section 4-16-07 and Section 4-16-09-01-02 - Individual duplexes											
Duplex	Lot area (SQ FT)	Required landscape 10% of lot area (SQ FT)	Provided landscape (SQ FT)**	Trees Required (Two single-family attached homes)	Trees Provided	Shrubs required (Two single-family attached homes)	Shrubs provided	Live cover (275% of landscape area) (SQ FT)	Non-live cover (525% of landscape area) (SQ FT)	Total Backyard Setback area (SQ FT)	Backyard Setback landscape area (230% of setback area) (SQ FT)**
Duplex Typ* (1,2,3,4,6,7,8)	5416	542	1840	2	2	10	28	1840 (100%)	0	241	90 (37%)
Duplex 5	7476	748	2168	2	4	10	19	2061 (95%)	107 (5%)	1676	505 (30%)
Duplex 9	10208	1021	2605	2	2	10	18	2387 (92%)	218 (8%)	4003	1098 (27%)***

*Data in this row are based on Duplex 2 (Lots 3 and 4). Data for remaining "typical" duplexes/lots will be similar, dependent on the given lots' area.

**This area includes only landscape areas with a slope of 100:1 to 4:1, per Code Section 4-16-14.

***100% of the backyard setback is landscaped; however, only 27% qualifies per Code Section 4-16-14. Additional landscape is provided in the side setback.

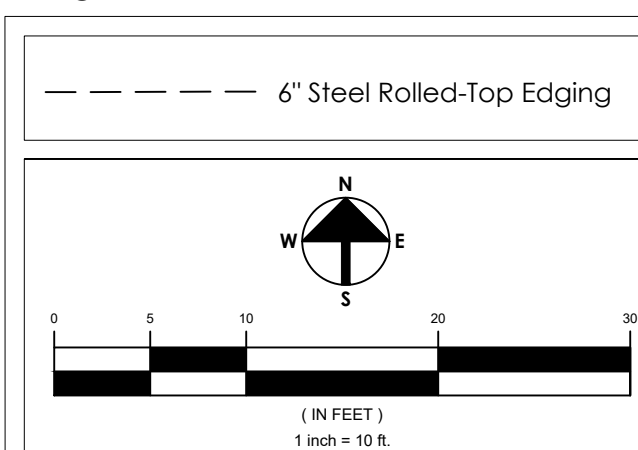
PLANT SCHEDULE: LOT TYP-DUPLEX 9

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER SIZE	MATURE SIZE
	QB	1	Quercus bicolor `Bonnie and Mike` TM / Beacon Oak	2" Cal	12" X 30" H
	QI	1	Quercus imbricaria / Shingle Oak	2" Cal	50" x 50" H
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	Fpa	3	Fallugia paradoxa / Apache Plume	#5	60" X 60" H
	Jaa	3	Jamesia americana / Waxflower	#5	60" X 60" H
	Pmu	1	Pinus mugo pumilio / Dwarf Mugo Pine	#5	8" X 48" H
	Pbp	6	Prunus besseyi Pawnee Buttes / Creeping Western Sand Cherry	#5	60" X 12" H
	Rgw	4	Ribes aureum `Gwen`s Buffalo` / Gwen`s Buffalo Golden Currant	#5	60" X 60" H
	Rwo	1	Rosa woodsii / Mountain Rose	#5	36" X 48" H
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	Bgb	3	Bouteloua gracilis `Blonde Ambition` / Blonde Ambition Blue Grama	#1	12" X 18" H

GROUND COVER SCHEDULE: LOT TYP-DUPLEX 9

GROUND COVERS	QTY	BOTANICAL NAME	SIZE
	218 sf	3/4" River Rock	3" depth
	612 sf	Festuca arundinacea `Rhizomatous RTF`	sod
	3,541 sf*	Low Grow mix 30% Ephraim Crested Wheatgrass, 25% Sheep Fescue, 20% Perennial Rye, 15% Chewings Fescue *Does not include seed within 15' buffer	seed
	203 sf	MHFD/UDFCD Native Seed Mix for Rain Gardens See Detail B1-17	seed
	690 sf	Shredded Organic Shredded Organic Tree Mulch	3" depth

LEGEND:



ALTITUDE
LAND CONSULTANTS
CIVIL | SURVEY | PLANNING | LANDSCAPE
3481 RINGSBY CT., SUITE #125
DENVER, CO 80216
2727 N. CASCADE AVE., SUITE #160
COLORADO SPRINGS, CO 80907
720.594.9494
INFO@ALTITUDELANDCO.COM
WWW.ALTITUDELANDCO.COM

53RD AND TENNYSON ROW
LANDSCAPE PLAN
ADDRESS: 4301 W. 53RD AVENUE, DENVER, CO 80212
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO

18-213

NOT FOR CONSTRUCTION

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REVISION:
NO. DATE BY
1 08.26.2020 TPL

DATE: 05.29.2020
DRAWN BY: TPL
CHECKED BY: KAW

LOT TYP.
LANDSCAPE
PLAN 1.2

LS-4
SHEET 4 OF 5

53RD & TENNYSON DUPLEXES

53RD AND TENNYSON ROW - LANDSCAPE PLAN

A PART OF THE NORTHEAST ¼ OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO.
(LOCATED AT: 4301 WEST 53RD AVENUE, DENVER, CO 80212.)

Landscape Notes:

General Notes:

- Contractor shall provide all labor, materials, tools and service necessary to furnish and install all work specified and as shown on these plans.
- Existing tree stumps on site shall be grinded and removed unless otherwise noted. When existing trees are to be removed from the site, tree stumps shall be grinded and removed.
- Contractor shall verify final boundaries for the tree protection zone (TPZ) with Forestry staff prior to commencement of construction/demolition activities.
- Landscape plan is intended for city Site Development Plans purposes only and not indented for construction.

Trees, Shrubs, Perennials and Ornamental Grasses:

- Cultivate the subsoil on all planting beds, sod and seed areas per the landscape detail provided.
- The tilling of planting beds and placement of backfill is to occur just prior to planting; thereafter, protection from compaction and construction traffic shall be provided.
- All plant materials shall have backfill carefully placed around the base and sides of ball to two-thirds (2/3) depth of the ball, then thoroughly soak with water to allow settlement. All wire, burlap fasteners and loose burlap around base of trunk shall be removed at this time. Remainder of the pit shall then be backfilled, allowing for depth of mulch, saucer and settlement of backfill. Backfill shall then be thoroughly watered again.
- All shrubs and trees shall be planted a minimum of 12" inside of all edging and away from walls and other permanent structures.
- All plant locations are approximate; adjust locations prior to installing plant material as necessary to avoid conflicts with unforeseen elements missing from the landscape drawing or elements added during construction.
- Quantities of materials shown on the planting plan take precedence over quantities shown on the Plant Schedule. Landscape Contractor shall be responsible for verifying all quantities on the planting plan. Report any discrepancies in the planting plan immediately to the Owner's Representative.
- Plants are to be sized as shown per species on the Plant Schedule.
- For conditions where trees are located within 8' of pavement or utilities, use century root barrier, or equal substitute, along the perimeter of the pavement or utility.

Weed Barrier, Edging, and Ground Plane Treatment:

- An evenly placed layer of gravel mulch, cobble mulch, or breeze shall be placed on all areas designated to receive the specified mulch. Minimum depths shall be achieved in accordance to the schedule by the type of mulch. Weed barrier fabric shall be completely covered and pinned.
- Weed barrier shall be a woven, porous mat as manufactured by American Excelsior Polyspun XL, Dupont Typar Style 3341 or Mirafi "Mirascape". The weed barrier shall be installed per manufacturer's recommendations.
- 4" Height by 3/16" width rolled-top steel edging shall be used to separate all planting beds from turfgrass. All edging shall be installed flush with grade. Avoid broken back curves and long tangents between curves. Obtain Owner's Representative approval prior to installation.

Maintenance and Warranty:

- The Contractor shall provide all water, watering devices and labor needed to irrigate plant materials until provisional acceptance of the project. The Contractor shall supply enough water to maintain the plant's healthy condition.
- Contractor to remove tree stakes, tree wrap, and all dead wood on trees and shrubs one year after the commencement of the planting installation.
- At the completion of planting operations, all plants shall be inspected by the owner and owner's representative. Contractor shall replace immediately any plants not in healthy and vigorous condition at that time at no expense to the owner. Any plants not in healthy condition during the One-Year Warranty Period shall be replaced as per the original specifications, free of charge to the Owner.
- Remove all rubbish, equipment and material and leave the area in a neat, clean condition each day. Maintain paved areas utilized for hauling equipment and materials by other trades in a clean and unobstructed conditions at all times.
- Contractor to apply fertilizer in Spring and again in Late September. Water thoroughly after application of fertilizers. All seeded and sodded areas to have recommended fertilizer applications: Added 2-3 weeks after seeding emergence; once in Mid- to late-June; In early- to mid-August; and once in Late September. Seeded and Sodded areas are also to receive 0.5 lbs of elemental sulfur (or equivalent material) per 1,000 sq. ft. applied in late September. Water thoroughly after application of fertilizers.

Implementation and Coordination of Landscape Plan:

- The shown utility locations are approximate. Contractor shall locate all utilities before work. Locate exact utility locations by contacting "CALL BEFORE YOU DIG" at (800) 922-1987. The Contractor is responsible for the repair of any damage caused to utilities.

- Contractor is responsible for maintaining existing erosion control measures as per the City and County of Denver specifications during the duration of work on-site.
- All existing top soil is to be stripped and stockpiled for use in the proposed landscape. All stockpiled soil must be clear of weeds, rocks, and debris before reapplication. All bermed planting beds to be clear of weeds, rocks, and debris before re-application. All bermed planting beds to be created with imported topsoil. See Civil Engineering drawings for location of the stockpile.
- Contractor shall provide 4" of topsoil at all sod and planting areas. Grade shall be adjusted for sod thickness. Landscape Contractor shall perform all finish grading.
- The Finish Grades, See Civil Engineering Construction Drawings, shall provide positive drainage away from Walls and Buildings. All landscape areas shall have a minimum of 2% slope. For Proposed Site Grading, See Grading Plan.

Turfgrass:

- Contractor is to provide verification that all sod is of the species shown on this plan. No substitutions will be allowed. Sod to be laid with tight staggered edges and be rolled after installation.
- Fine grade sod and seed areas to eliminate irregularities on the surface. Roll or perform additional fine grading.
- Roll sod after installation to insure roots are in contact with the soil surface. Immediately begin watering of sodded areas.

City of Denver Landscape Notes:

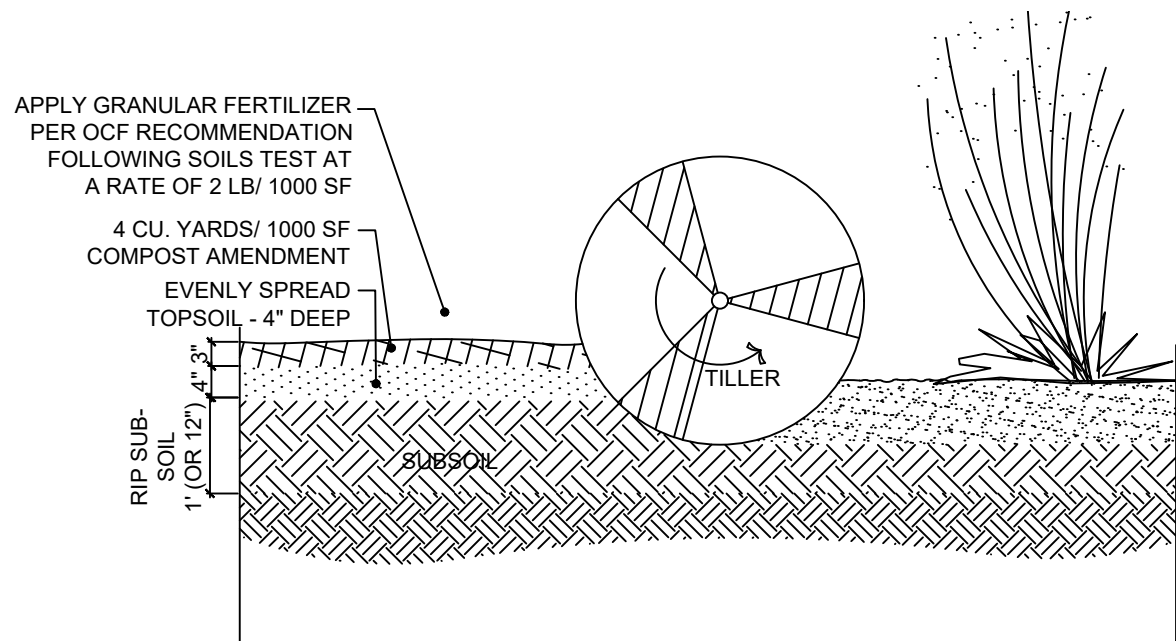
- Proposed trees in the R.O.W. shall be pre-approved (permitted) by the City Forester's Office and shall be a minimum of 20' from property corners at intersections, 25' from street lights, 20' from curb ramps, and 10' from edge of driveways.
- All proposed landscaping in the R.O.W. shall be per the Streetscape Design Manual. With the exception of tree planting, this shall be in accordance with current Forestry rules and regulations.
- All plant material shall meet or exceed current American Standard for Nursery Stock ANSI Z60.1 and the Colorado Nursery Act and accompanying Rules and Regulations.
- Per City Code, all tree removals in Denver limits must be performed by property owner or a tree contractor licensed by Office of the City Forester, including trees in ROW's and on private property. For a current list of licensed tree contractors, visit www.denvergov.org/Forestry.
- A. For Forestry-approved tree removals in public right(s) of way: A tree removal permit issued by the Office of the City Forester is required prior to removal. Tree removal permits are not included with building permits and must be obtained separately from the Office of the City Forester. To obtain free removal permit, contact Office of the City Forester (Forestry@denvergov.org) with name of licensed contractor or property owner performing removal. Include D-Log number (PRC2020-00005) when requesting removal permit.
B. For trees on private property: A Forestry-issued tree removal permit is not required prior to removal. However, per City Code, all tree removals in Denver must be performed by property owner or a tree contractor licensed by the Office of the City Forester.
- A Forestry-issued tree planting permit is required for all trees to be planted in public rights of way. Contact Office of the City Forester (Forestry@denvergov.org) with name of contractor or property owner performing planting. Include D-Log number (PRC2020-00005) when requesting permit. Tree planting permits are not included with building permits and must be obtained separately from the Office of the City Forester prior to installation.
- Existing trees to be preserved in public right of way shall be protected per Office of the City Forester standards & practices. Tree protection shall be installed prior to issue of demolition/building permit, approved by the Office of the City Forester, and shall remain in place throughout construction. No construction activities or storage of construction materials/debris/equipment shall take place within tree protection zones without prior written authorization from the Office of the City Forester.
- Existing ROW trees approved for removal by the Office of the City Forester must be protected in place per Forestry standards & specifications until removed by a Forestry-licensed tree contractor. A tree removal permit is required from the Office of the City Forester prior to removal. Failure to protect such trees until removal, or removing ROW trees without a Forestry-issued permit will result in notice of violation and may include citations/fines.

Common Name	Scientific Name	Variety	PLS ² lbs per Acre	Ounces per Acre
Sand bluestem	Andropogon hallii	Garden	3.5	
Sidcoats grama	Bouteloua curtipendula	Butte	3	
Prairie sandreed	Calamovilfa longifolia	Goshen	3	
Indian ricegrass	Oryzopsis hymenoides	Paloma	3	
Switchgrass	Panicum virgatum	Blackwell	4	
Western wheatgrass	Pascopyrum smithii	Ariba	3	
Little bluestem	Schizachyrium scoparium	Patura	3	
Alkali sacaton	Sporobolus airoides		3	
Sand dropseed	Sporobolus cryptandrus		3	
Pasture sage ¹	Artemisia frigida			2
Blue aster ²	Aster laevis			4
Blanket flower ¹	Gaillardia aristata			8
Prairie coneflower ¹	Ratibida columnifera			4
Purple prairieclover ¹	Dalea (Petalostemum) purpurea			4
Sub-Totals:			27.5	22
Total lbs per acre:			28.9	

¹ Wildflower seed (optional) for a more diverse and natural look.

² PLS = Pure Live Seed.

B1 MHFD/UDFCD Native Seed Mix for Rain Gardens

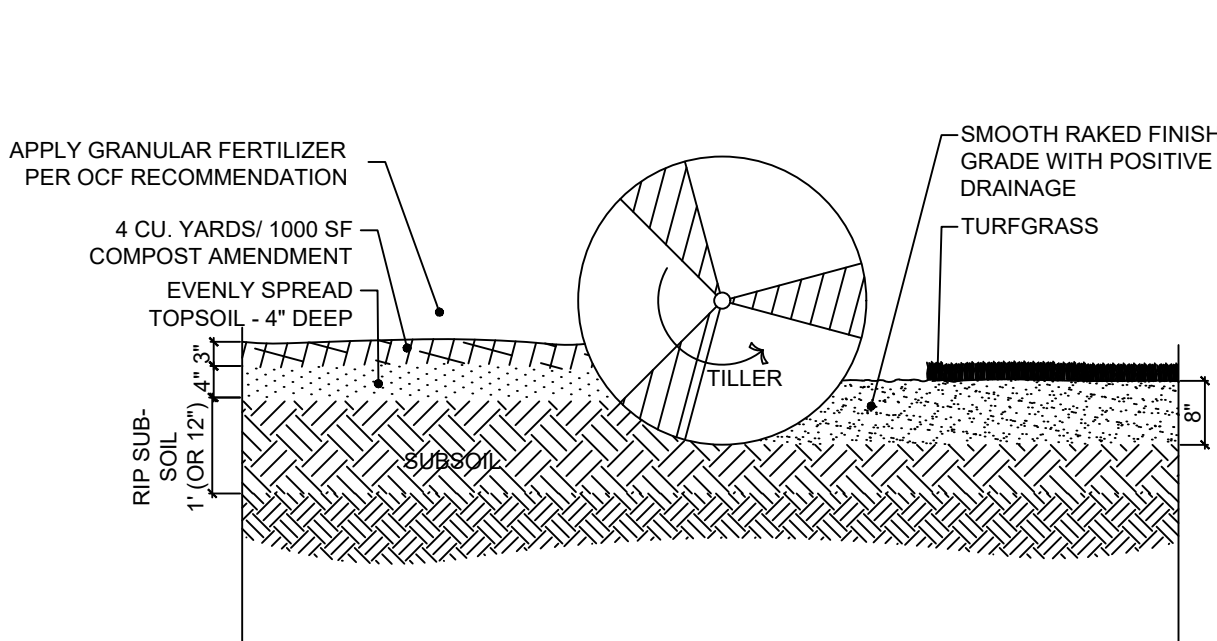


NOTES:

- TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ROCKS, ROOTS, AND OTHER FOREIGN MATERIALS.
- PROVIDE SOILS TEST AND RESULTS FROM COLORADO STATE UNIVERSITY LAB. SOIL AMENDMENT SHALL BE PROVIDED PER RECOMMENDATION FROM COLORADO STATE UNIVERSITY. THE FERTILIZER APPLICATION SHOULD BE DELAYED IF PLANTING DOES NOT OCCUR WITHIN 2-3 DAYS OF FERTILIZING.
- THE FERTILIZER APPLICATION SHOULD BE DELAYED IF PLANTING DOES NOT OCCUR WITHIN 2-3 DAYS OF FERTILIZING.
- COMPOST TO CONSIST OF 1-YEAR OLD PLANT-BASED ORGANIC MATERIAL.
- FROZEN MATERIALS OR MATERIALS GREATER THAN 1" DIA. SHOULD BE REMOVED.
- FINISH GRADE FOR ALL PLANTING BEDS ALONG WALKS OR CURBS SHOULD BE 4" LOWER THAN THE SURFACE.
- LAWNS WITHIN THE BOUNDARIES OF EXISTING TREE DRIPLINES SHALL NOT BE ROTOTILLED AT ANY TIME. ROTOTILLING IS ONLY PERMITTED IN AREAS OUTSIDE OF EXISTING TREE DRIPLINES WHERE CONCRETE AND HARDCAPE ARE REMOVED.

A2
17

Soil Preparation-Plantings



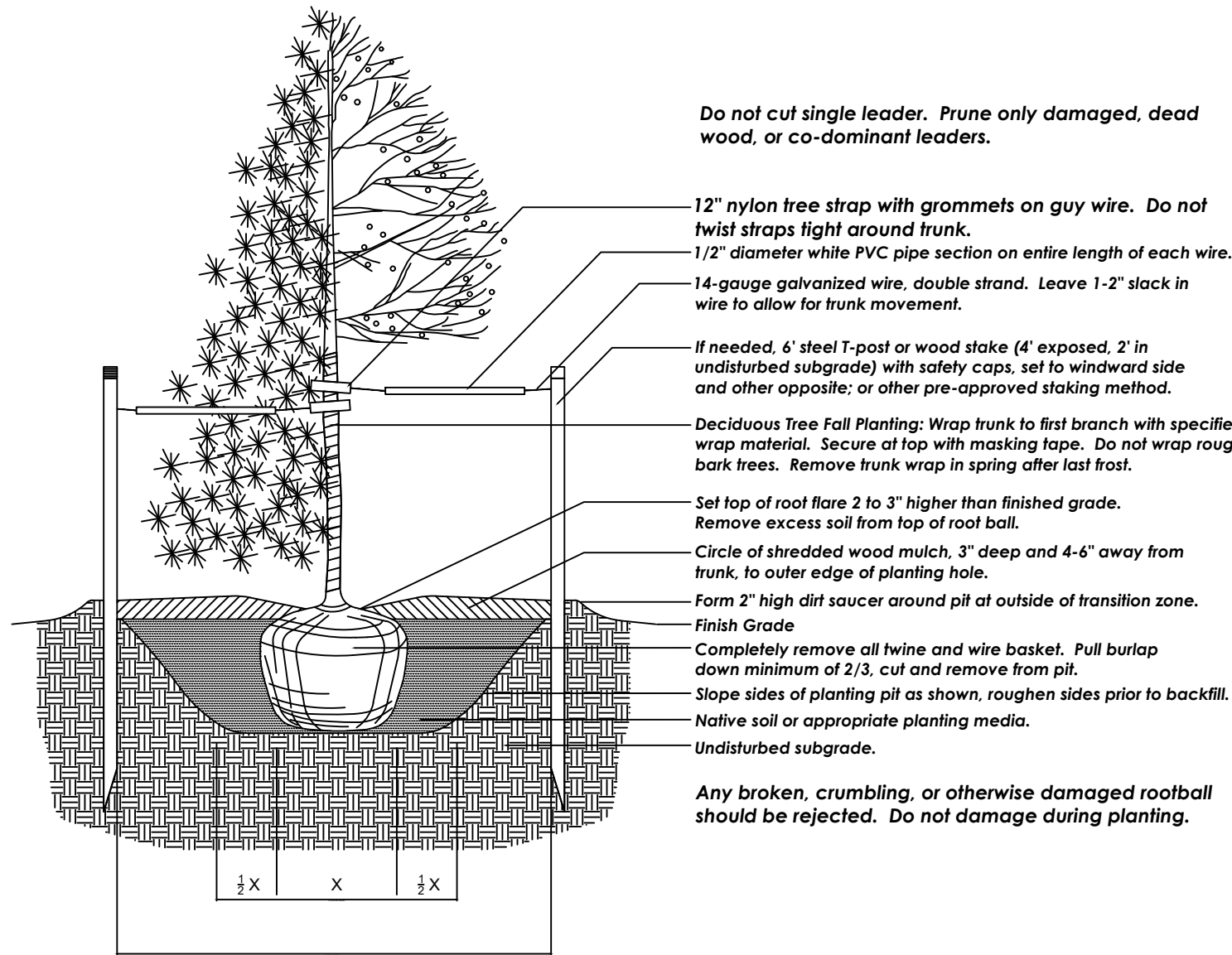
NOTES:

- NOTES 1-5 FROM PLANT SOIL PREPARATION DETAIL APPLY.
- FINISH GRADE FOR ALL SOD AREAS ALONG WALKS OR CURBS SHOULD BE 4" LOWER THAN THE SURFACE OF THE WALK/CURB.

B2
17

-Turfgrass (Sod)

Scale 1/2" = 1'-0"



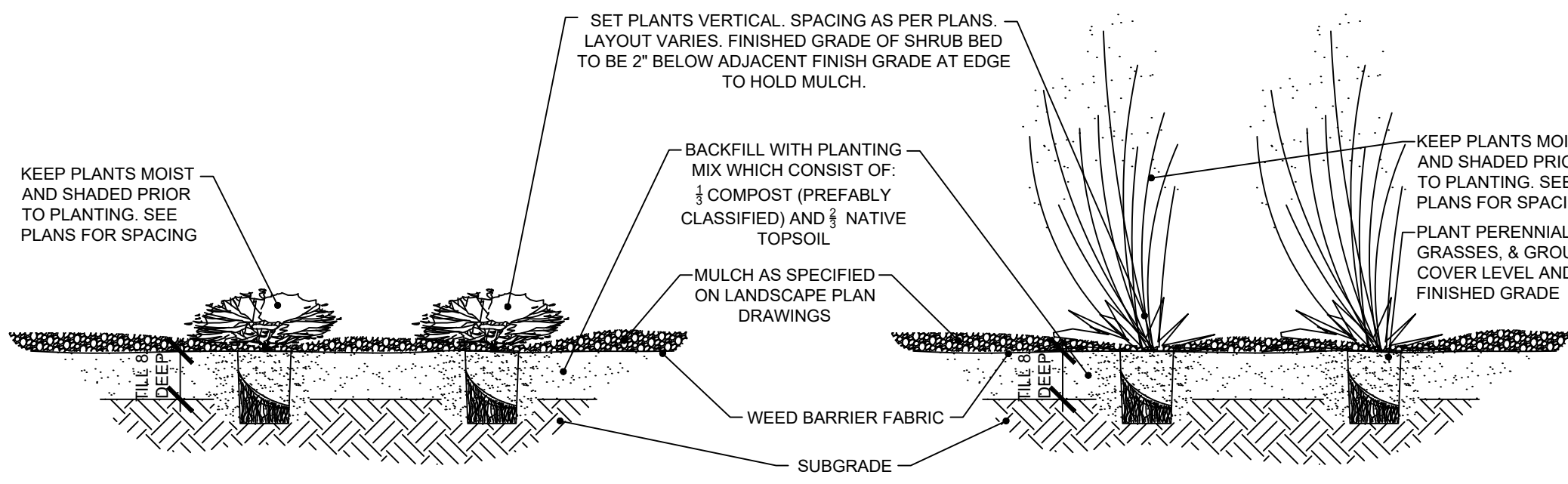
Trees planted upon park land, public property, or within the Public Right of Way (PRW) are subject to the following restrictions:

- An approved planting permit from the Office of the City Forester (OCF), regardless of approved plans, is required prior to planting.
- Administrative citations up to \$999 shall be issued for trees planted without an OCF issued permit.
- Only tree species approved by or listed on the OCF's approved street trees list shall be planted in the PRW.
- For a list of prohibited or suspended PRW trees, contact or visit the OCF website.
- If overhead utility wires exist in the PRW, only ornamental or trees maturing at 20 (twenty) feet maximum height shall be planted.
- Trees shall be centered in tree lawns and/or planting areas.
- Trees shall not be planted in tree lawns less than five feet wide unless authorized by the OCF.
- Where sidewalks are not present, trees shall be located as designated by Office of the City Forester.
- Planting in corner triangle formed by the first 30 (thirty) feet along the PRW in each direction from the corner is not permitted.
- Planting within 10 (ten) feet of alleys, driveways, or fire hydrants is not permitted.
- Planting within 25 (twenty-five) feet of stop signs is not permitted.
- Planting within 25 (twenty-five) feet of street lights is not permitted.
- Planting within five feet of water meters or pits is not permitted.
- Large shade trees shall be spaced 35 (thirty-five) feet o.c. and ornamental trees 25 (twenty-five) feet o.c. or as designated by OCF.
- Trees shall be pruned to maintain a clearance of 13'-6" over streets and alleys and 6'-4" over remaining portions of PRW, including sidewalk.

Prior to digging, the Utility Notification Center of Colorado shall be contacted at 811 to locate underground utilities.

C1
17

Tree Detail: Scale 1/2" = 1'-0"



SHRUB, GRASS & PERENNIAL NOTES:

- 3-4" SPECIFIED ORGANIC MULCH SHOULD BE PROVIDED. PROVIDE SAUCER ON DOWNHILL SIDE OF SLOPES. KEEP MULCH AWAY FROM CONTACT WITH WOODY TRUNK.
- ALL PLANTS IN ROCK AREAS TO RECEIVE SHREDDED MULCH RINGS, WHERE APPLICABLE.
- DEEP WATER ALL PLANTS AT TIME OF PLANTING.
- CONTRACTOR TO WATER PLANT MATERIAL DAILY UNTIL AN AUTOMATIC IRRIGATION SYSTEM IS OPERATIONAL OR OTHER IRRIGATION PROVISIONS ARE PROVIDED.
- THE FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS AND BUILDINGS.
- THE TILLING OF PLANTING BEDS AND PLACEMENT OF BACKFILL IS TO OCCUR JUST PRIOR TO PLANTING; THEREAFTER, PROTECTION FROM COMPACTION AND CONSTRUCTION TRAFFIC SHOULD BE PROVIDED.

C2
17

Grass/Perennial Detail: Scale 1/2" = 1'-0"

53RD AND TENNYSON ROW
LANDSCAPE PLAN
ADDRESS: 4301 W. 53RD AVENUE, DENVER, CO 80212
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO

18-213

NOT FOR CONSTRUCTION

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REVISION:
NO. 1 DATE 08.26.2020 BY TPL

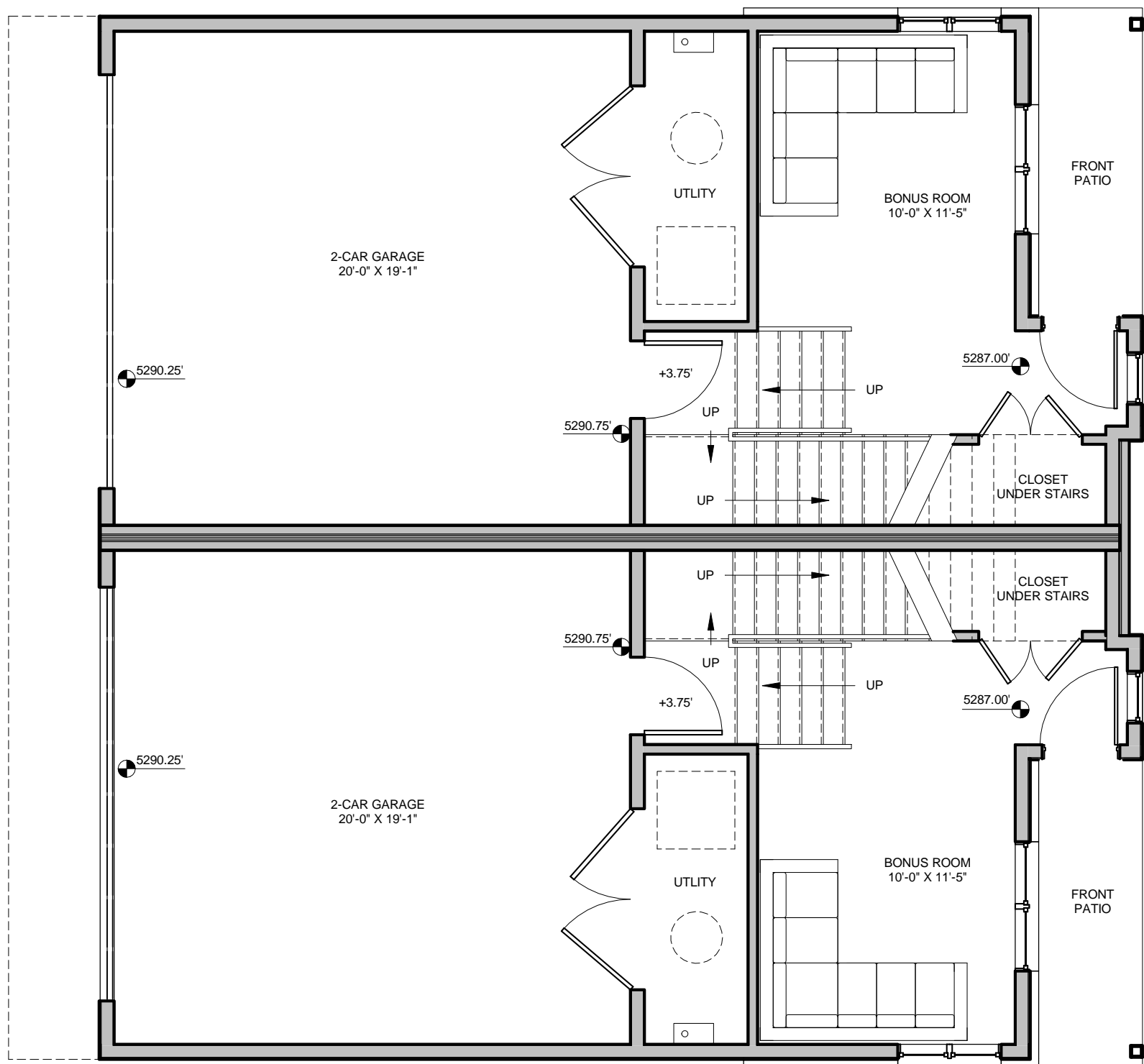
DATE: 05.29.2020
DRAWN BY: TPL
CHECKED BY: KAW

LANDSCAPE
NOTES &
DETAILS

LS-5

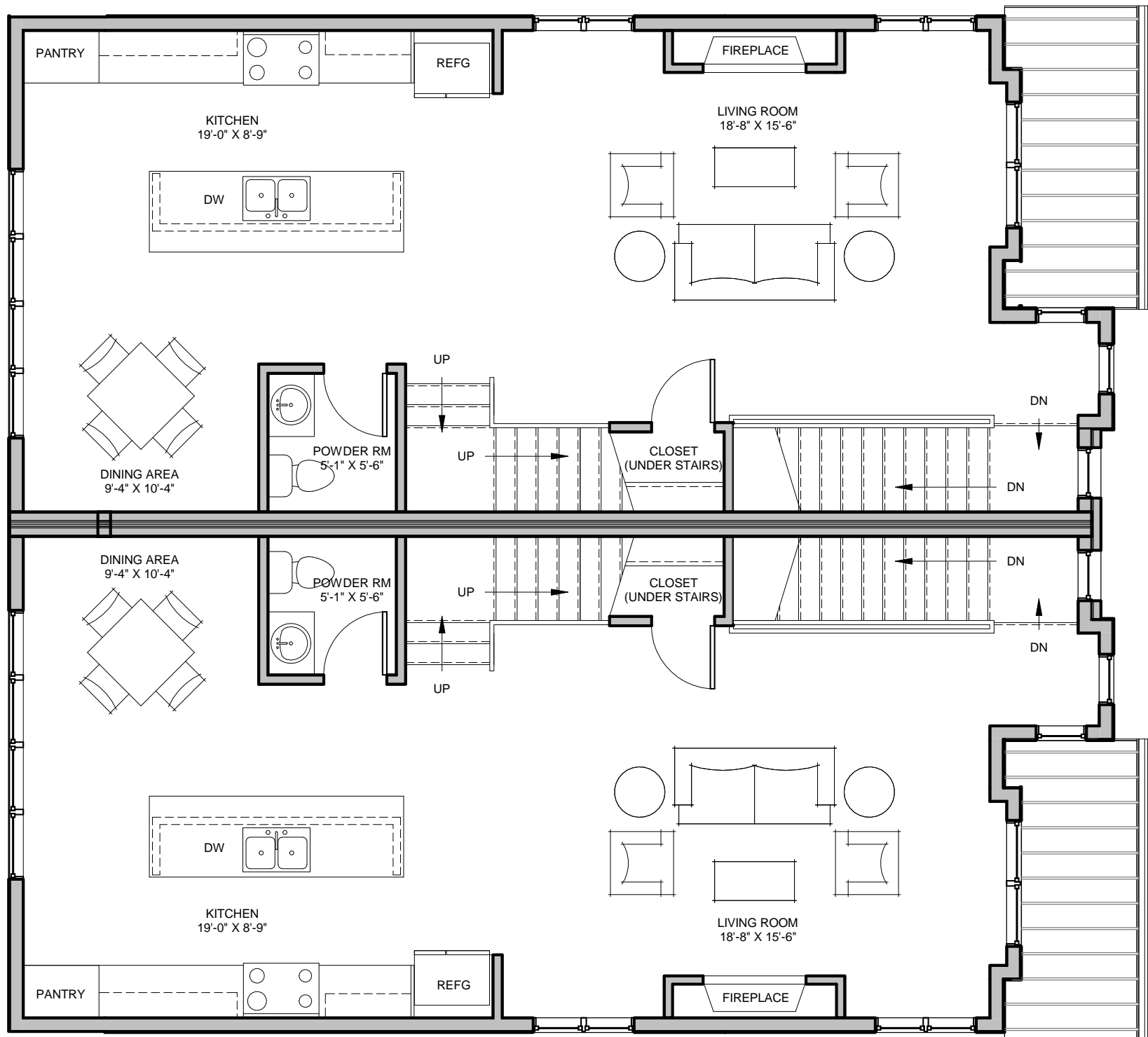
SHEET 5 OF 5

53RD & TENNYSON DUPLEXES



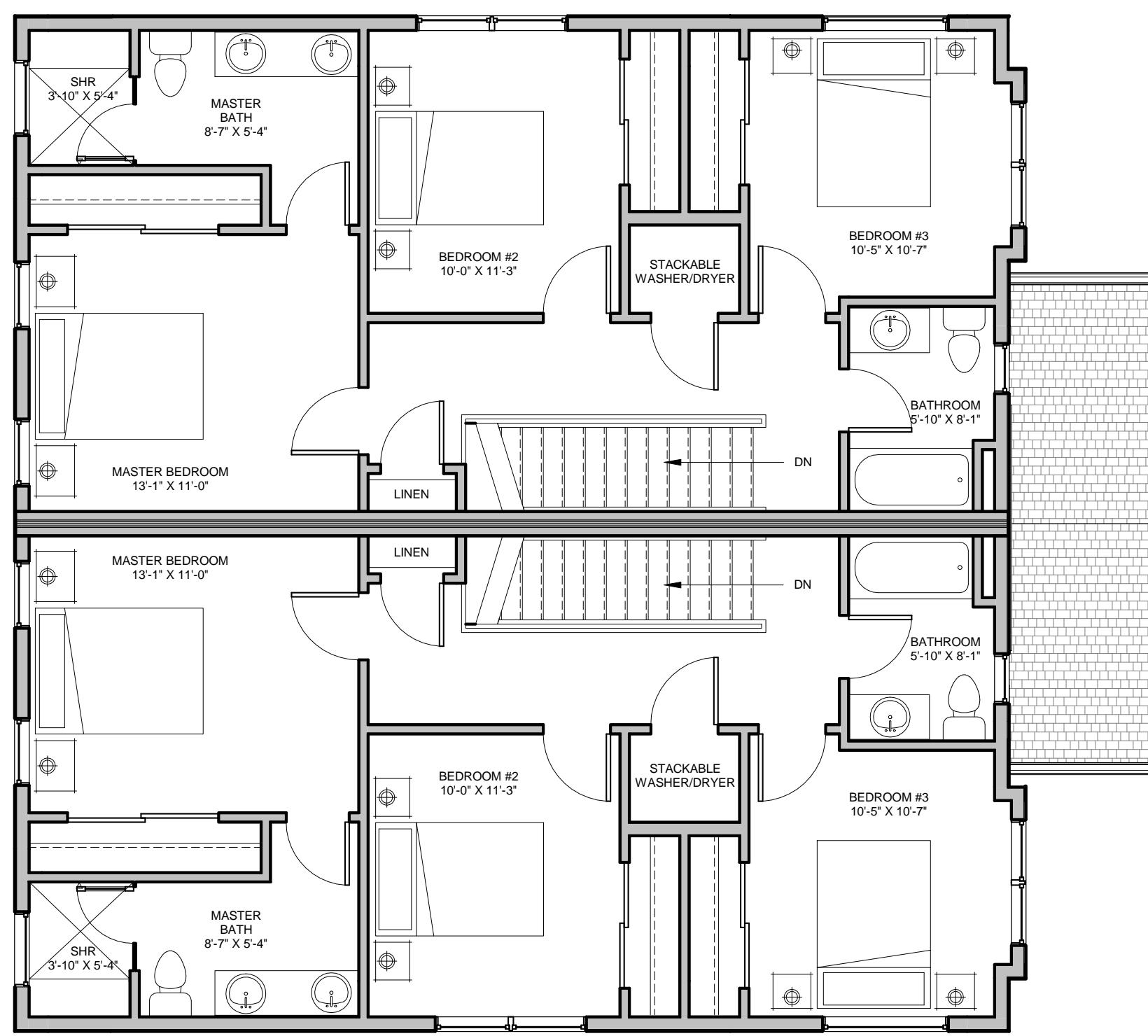
1 GRADE LEVEL PLAN
SCALE: 3/16" = 1'-0"

342 S.F. - EACH
GARAGE - 412 S.F. - EACH



2 MAIN LEVEL PLAN
SCALE: 3/16" = 1'-0"

829 S.F. - EACH



3 2ND FLOOR LEVEL PLAN
SCALE: 3/16" = 1'-0"

795 S.F. - EACH

STUART PLACE RESIDENCES - DUPLEX 1

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

ELEVATIONS

Project Number: 2019.12

Date 8-17-2020

Drawn By KAM

A-102

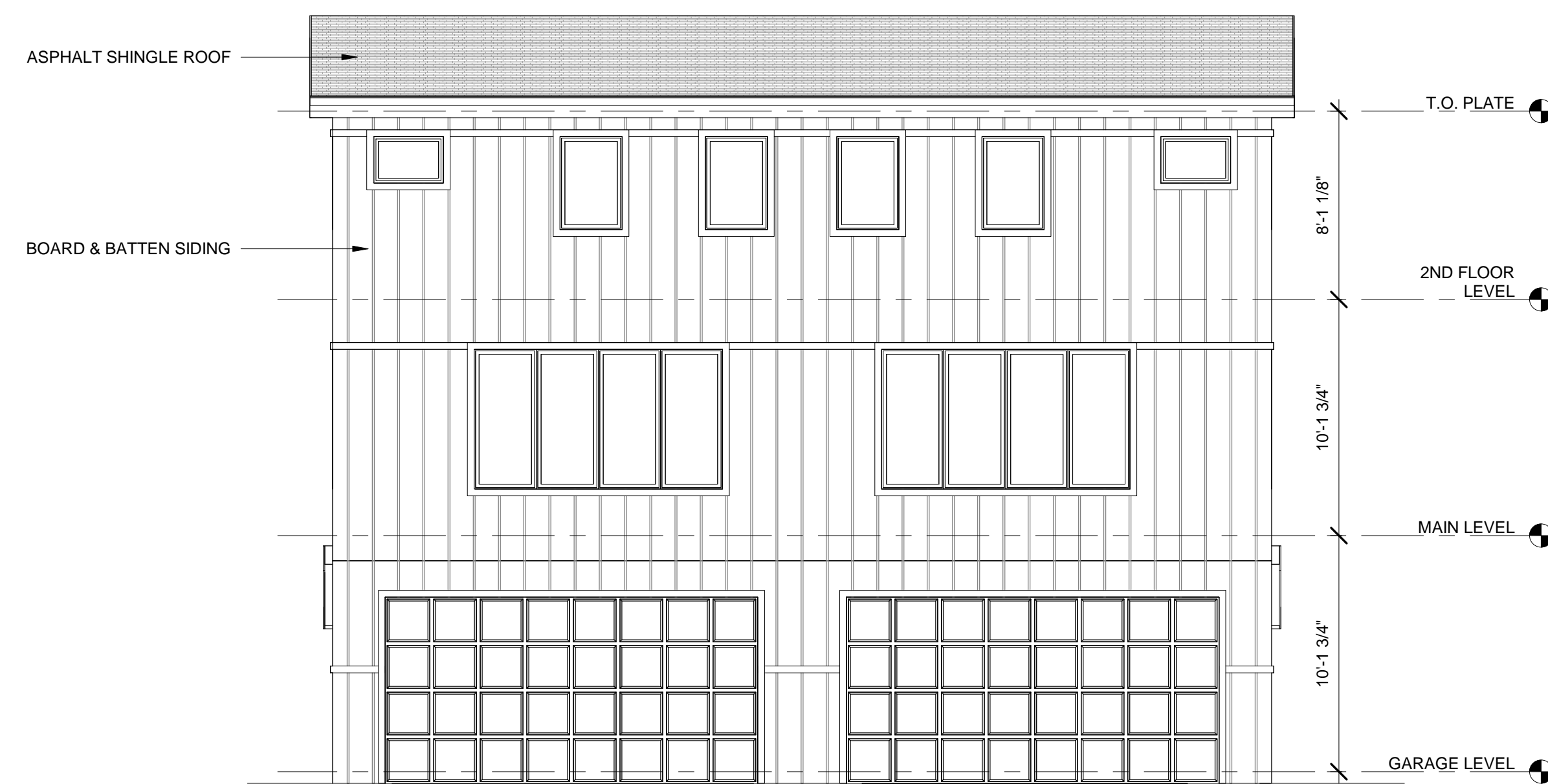
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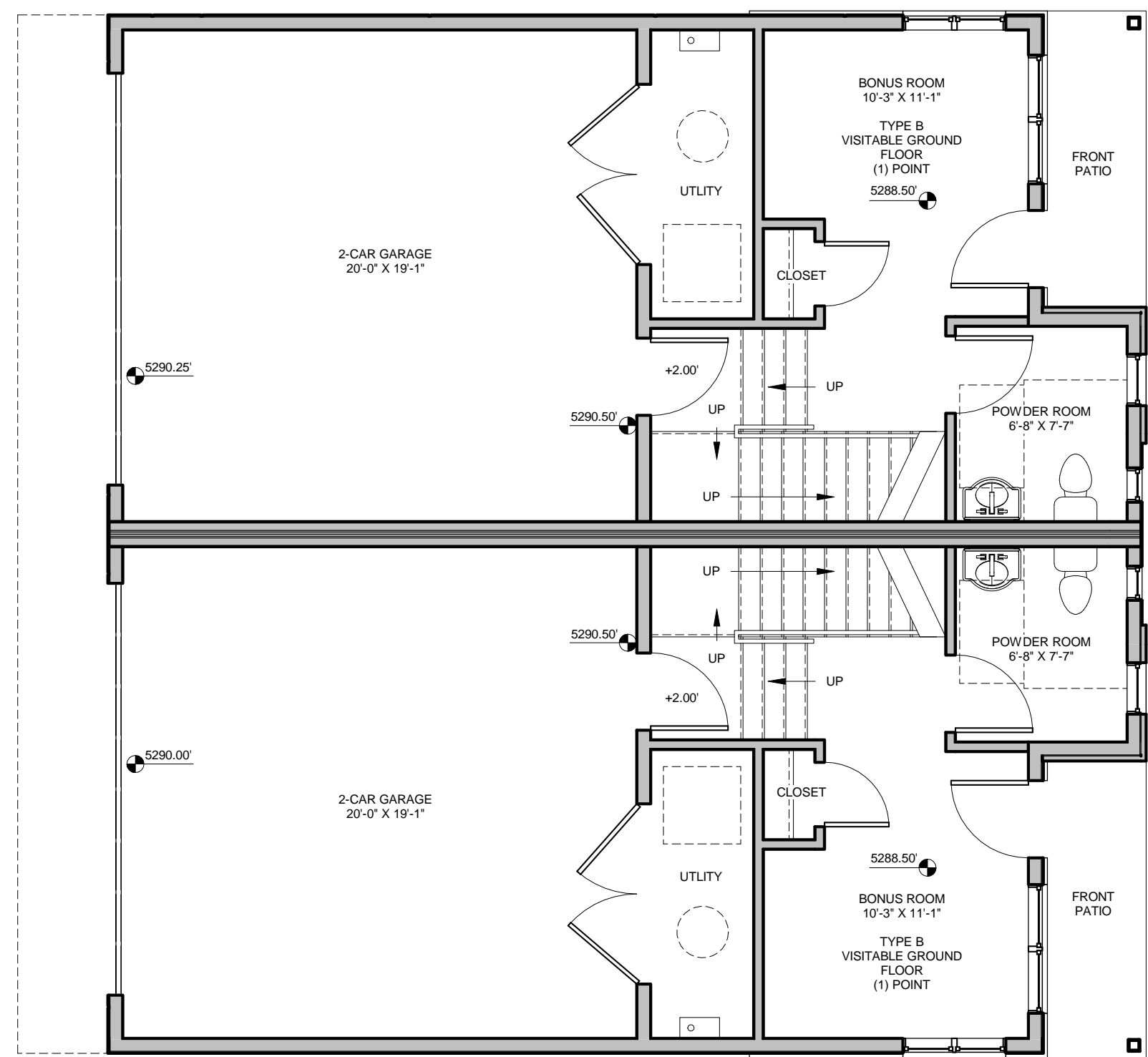
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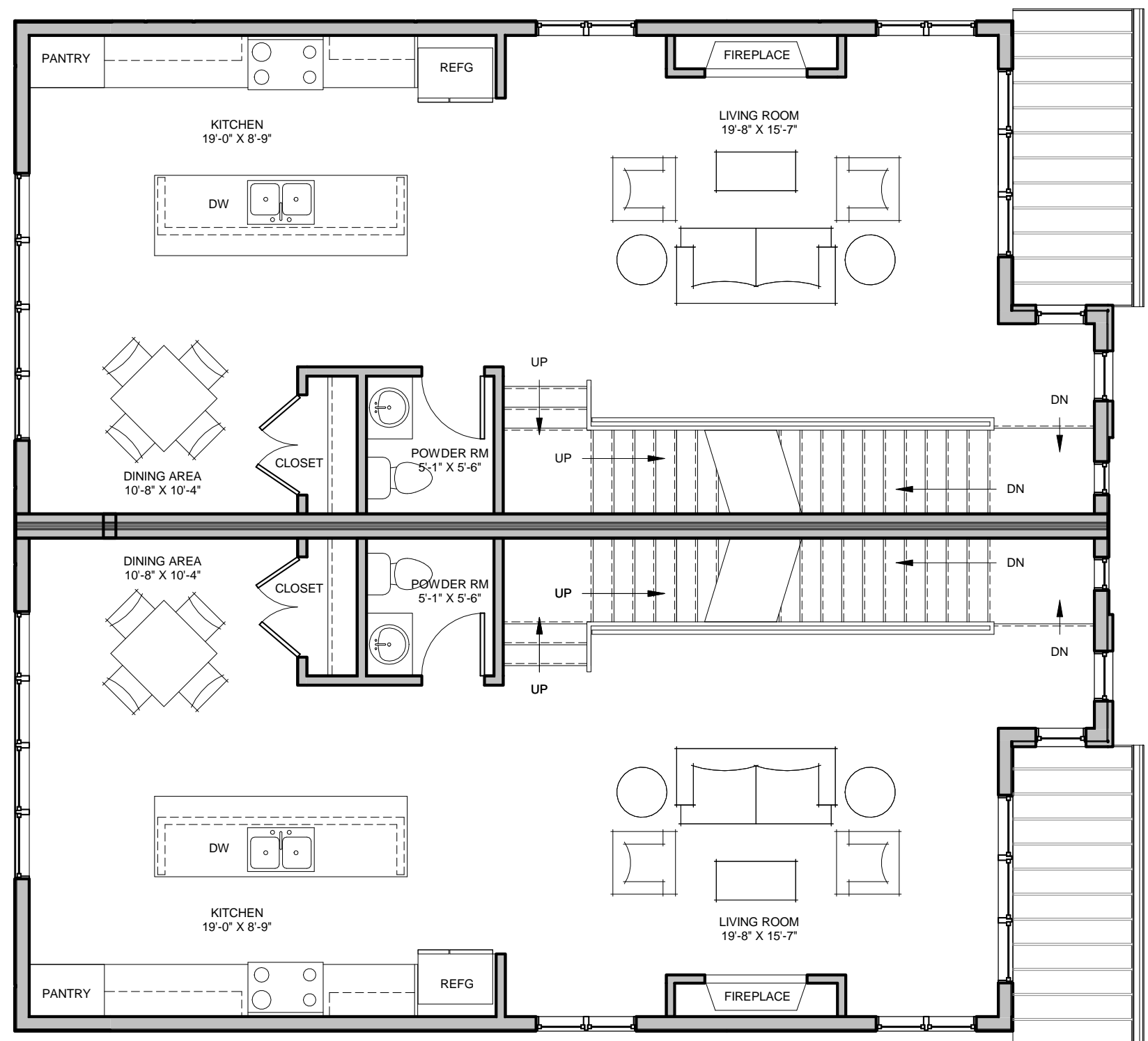
2 TYPICAL SIDE ELEVATION
SCALE: 3/16" = 1'-0"



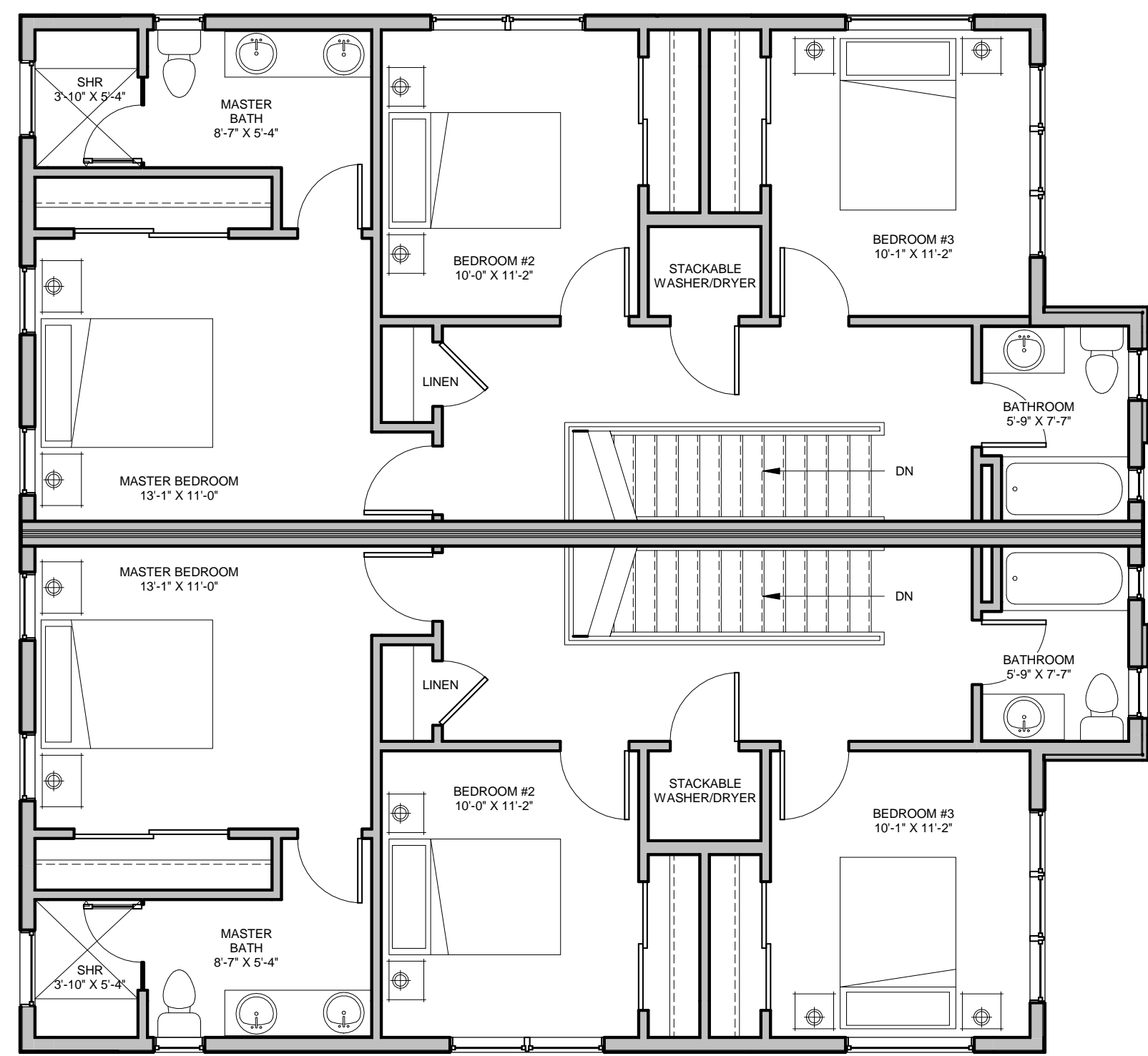
3 REAR ELEVATION
SCALE: 3/16" = 1'-0"



1 GRADE LEVEL PLAN - ACCESSIBLE
SCALE: 3/16" = 1'-0"
348 S.F. - EACH
GARAGE - 412 S.F. - EACH



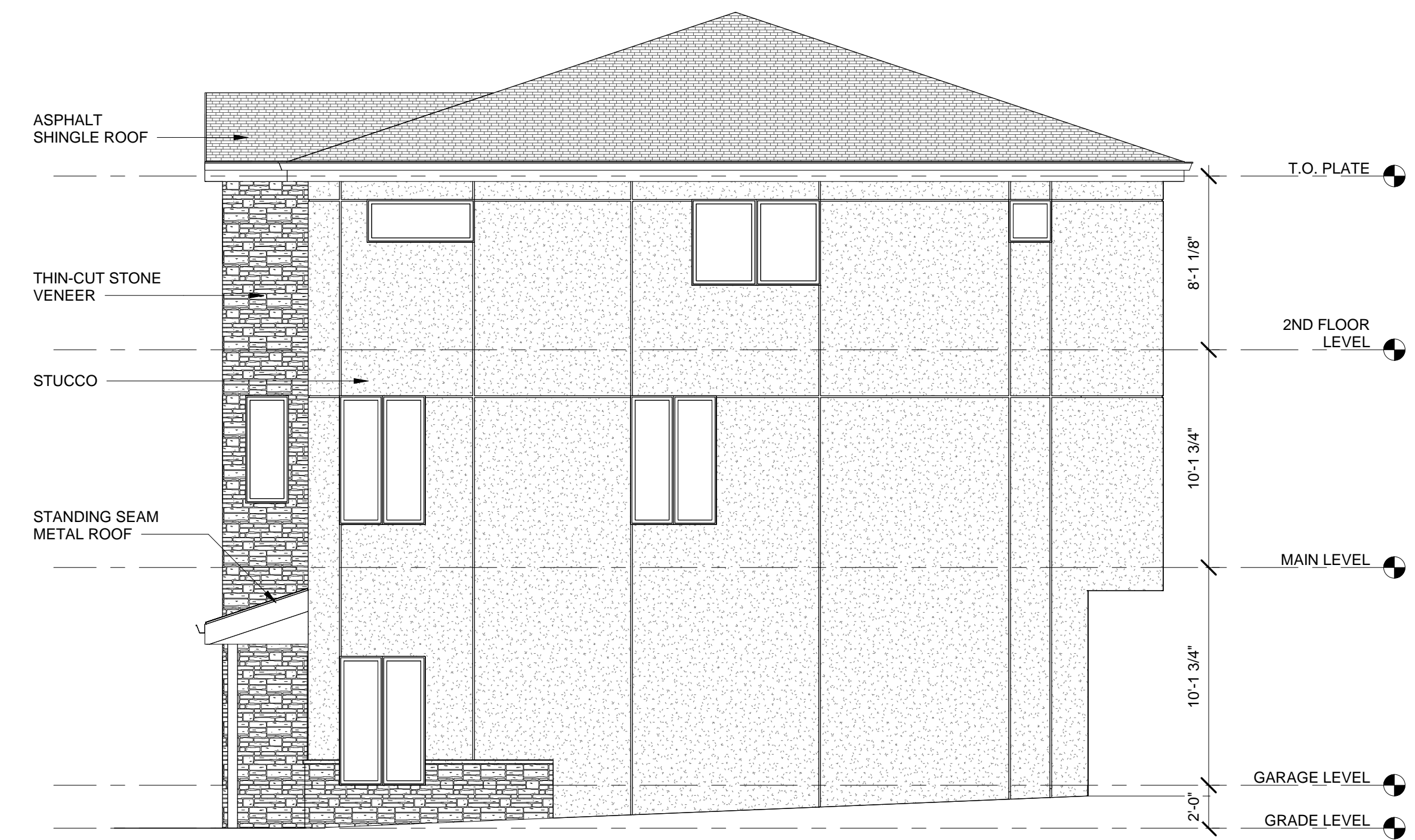
2 MAIN LEVEL PLAN
SCALE: 3/16" = 1'-0"
830 S.F. - EACH



3 2ND FLOOR LEVEL PLAN
SCALE: 3/16" = 1'-0"
830 S.F. - EACH



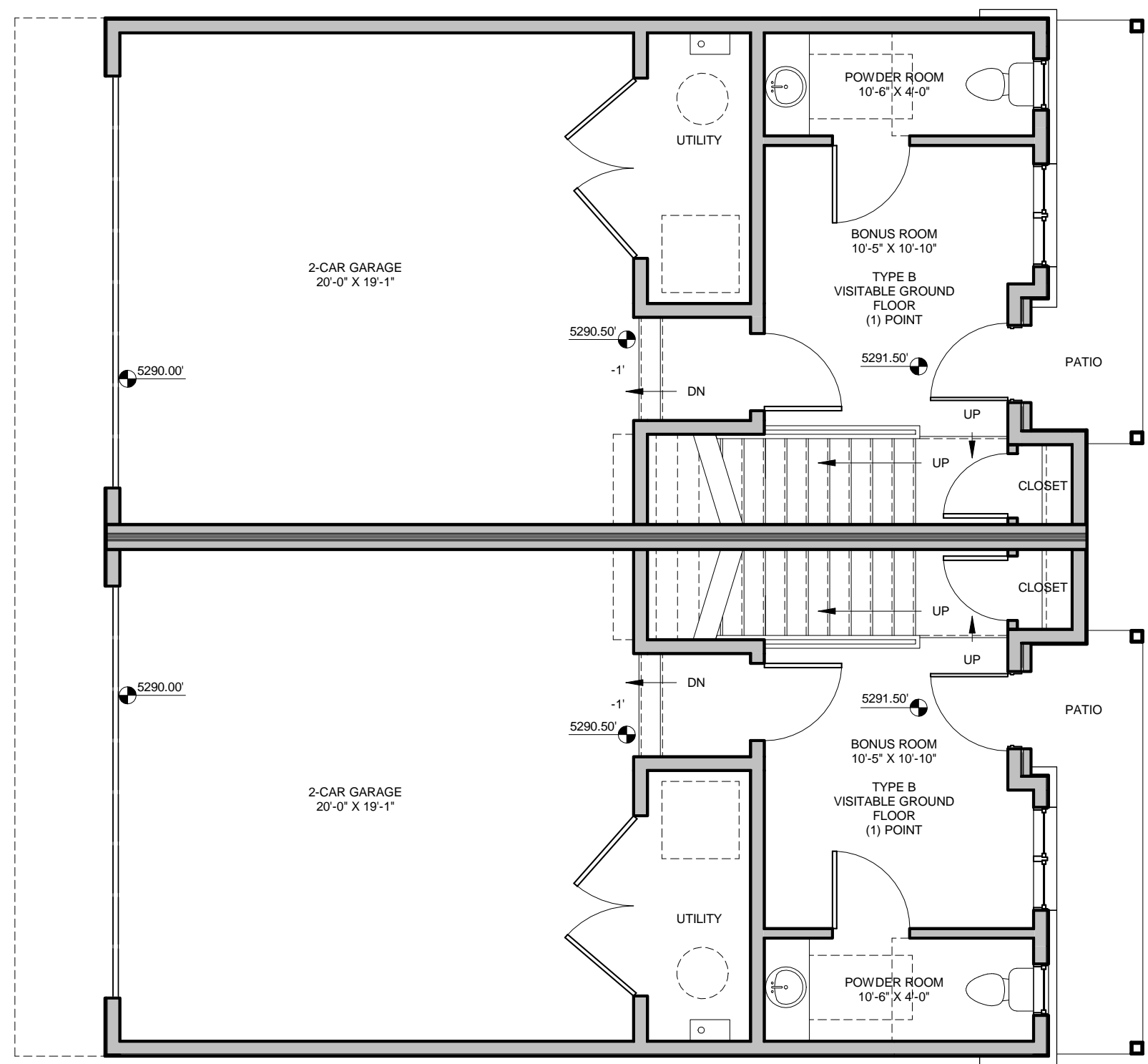
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2 TYPICAL SIDE ELEVATION
SCALE: 3/16" = 1'-0"



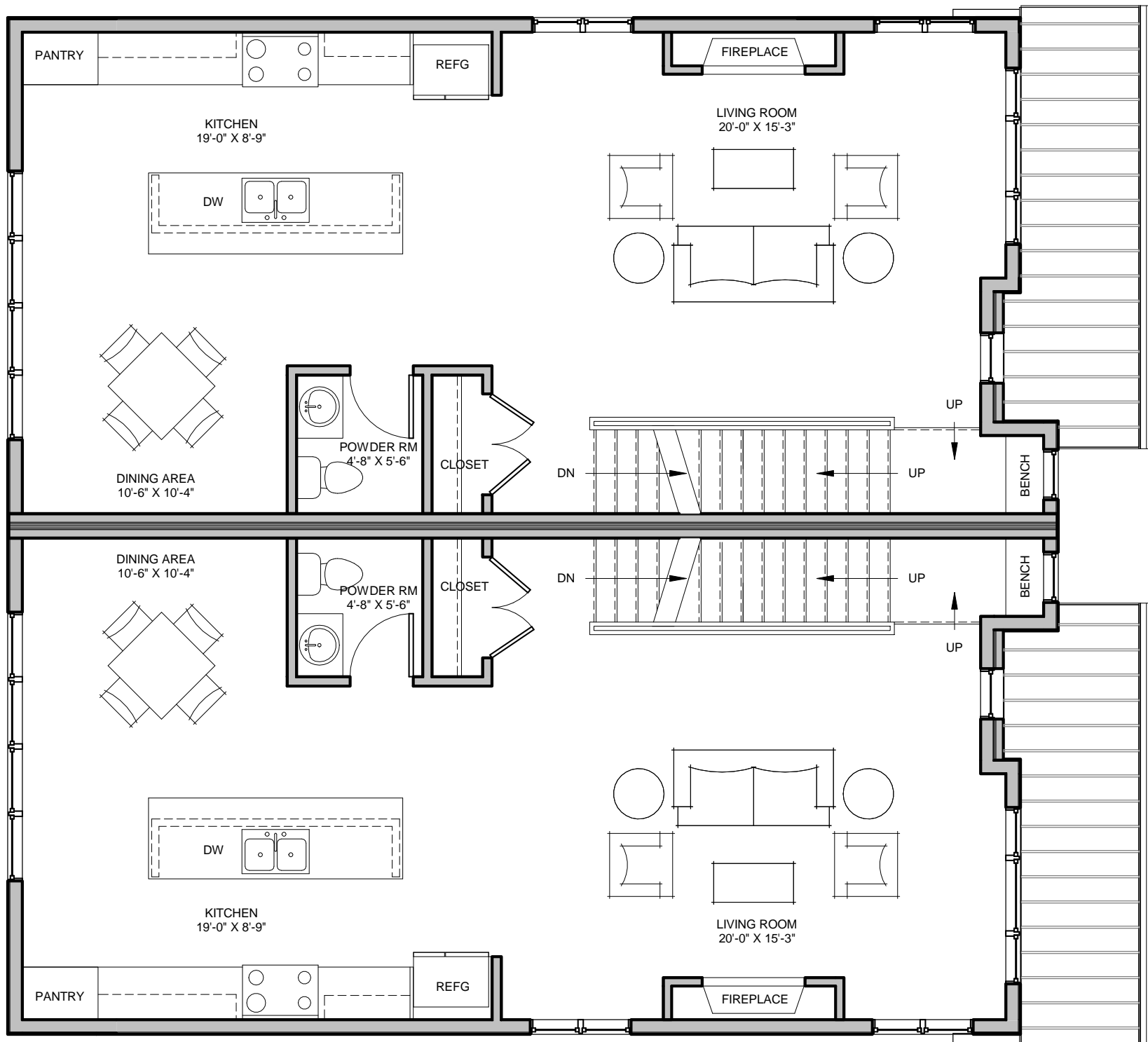
3 REAR ELEVATION
SCALE: 3/16" = 1'-0"



1 GRADE LEVEL PLAN - ACCESSIBLE

SCALE: 3/16" = 1'-0"

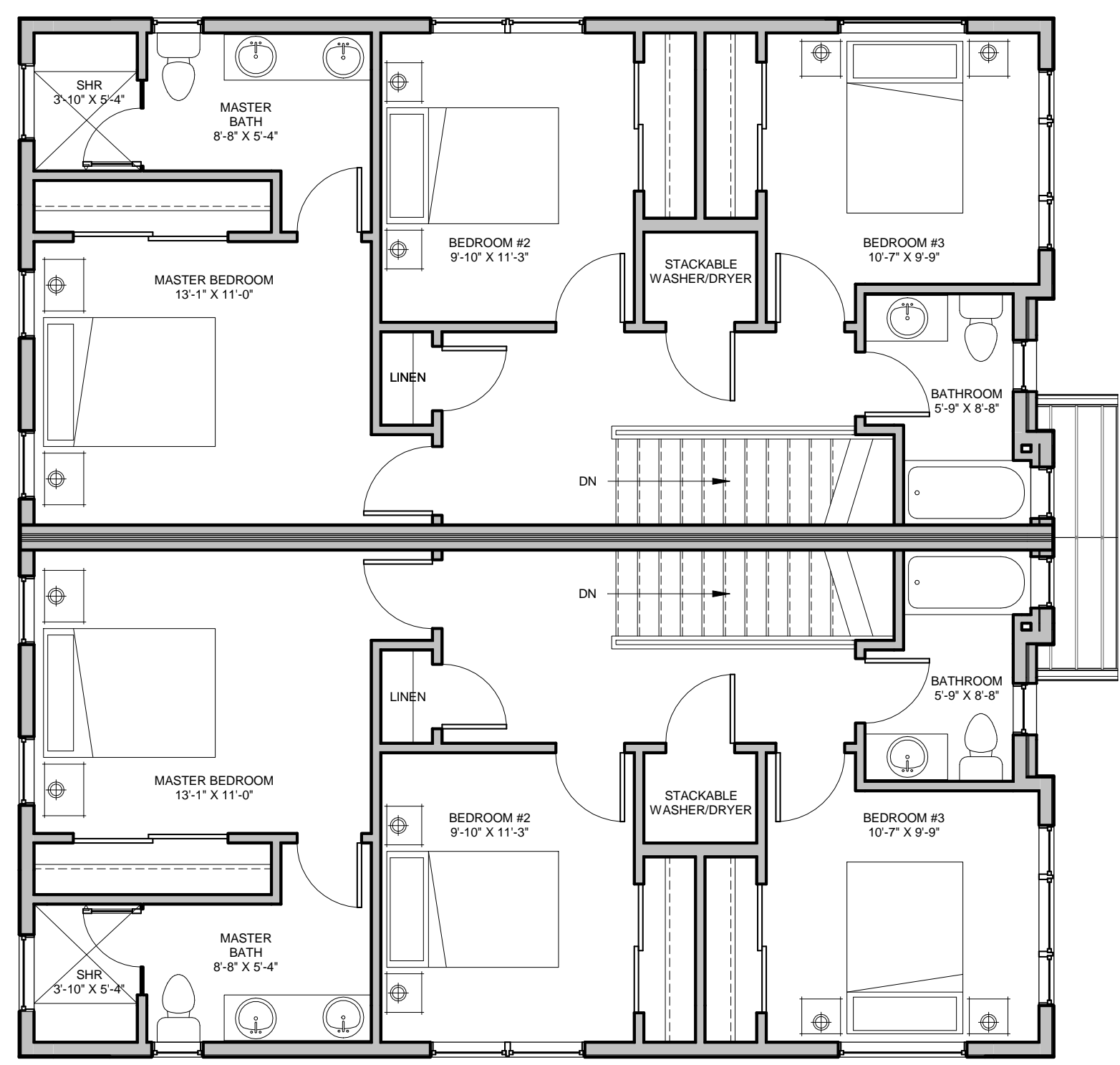
304 S.F. - EACH
GARAGE - 430 S.F. - EACH



2 MAIN LEVEL PLAN

SCALE: 3/16" = 1'-0"

804 S.F. - EACH



3 2ND FLOOR LEVEL PLAN

SCALE: 3/16" = 1'-0"

798 S.F. - EACH



STUART PLACE RESIDENCES - DUPLEX 3

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

FLOOR PLANS

Project Number: 2019.12

Date: 4-30-2020

Drawn By: KAM

A-301



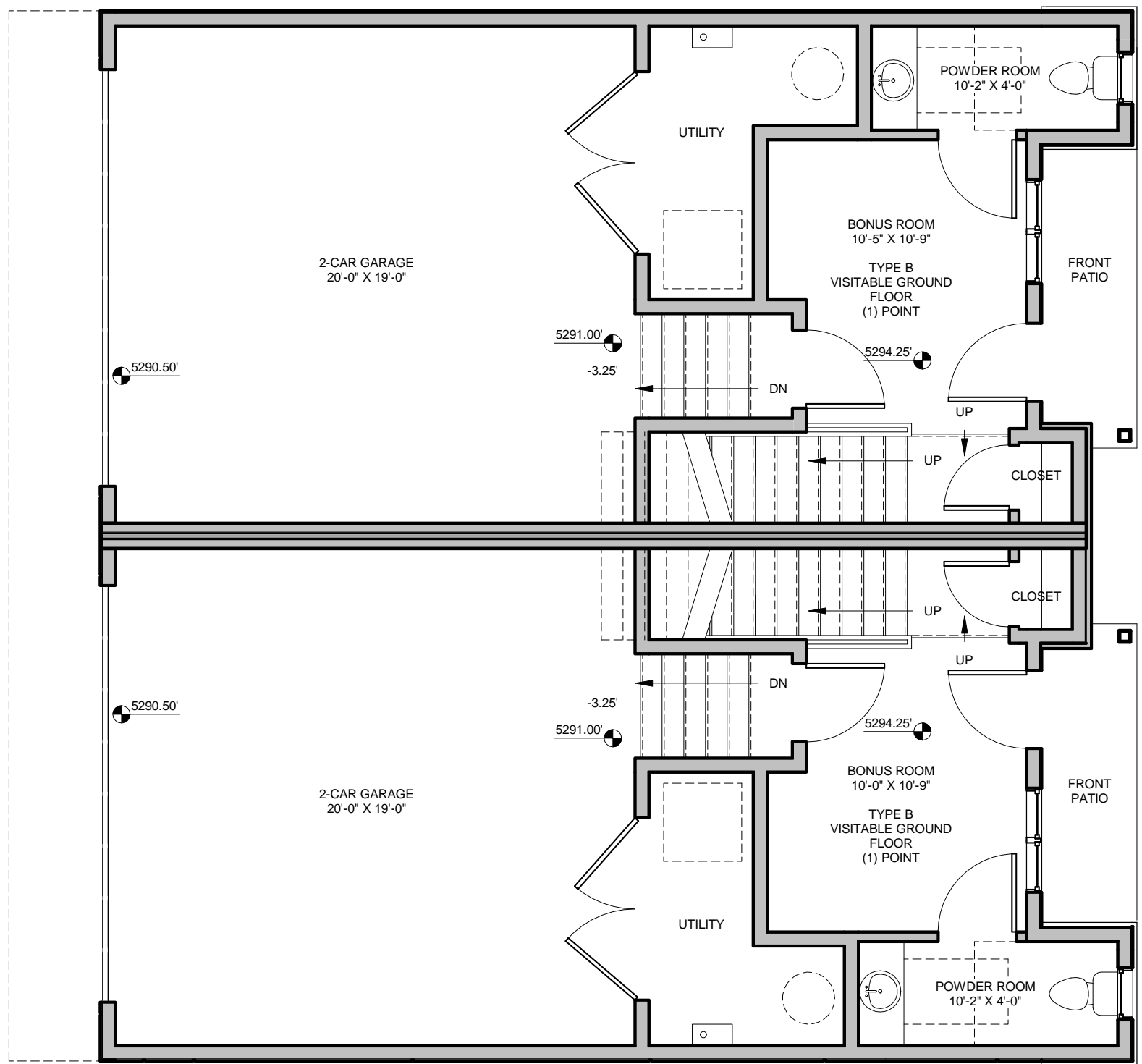
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SCALE: 3/16" = 1'-0"



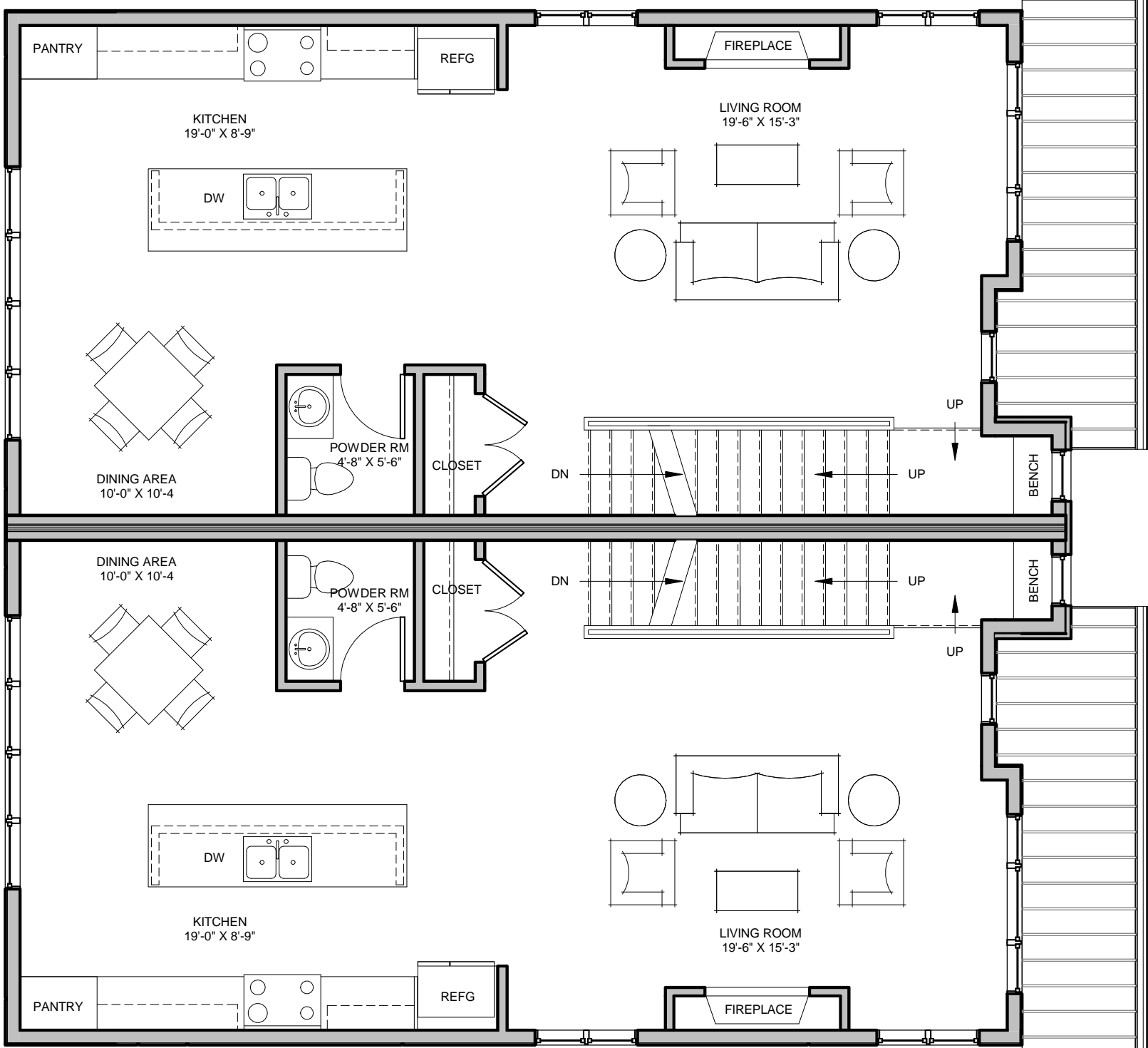
2 TYPICAL SIDE ELEVATION
SCALE: 3/16" = 1'-0"



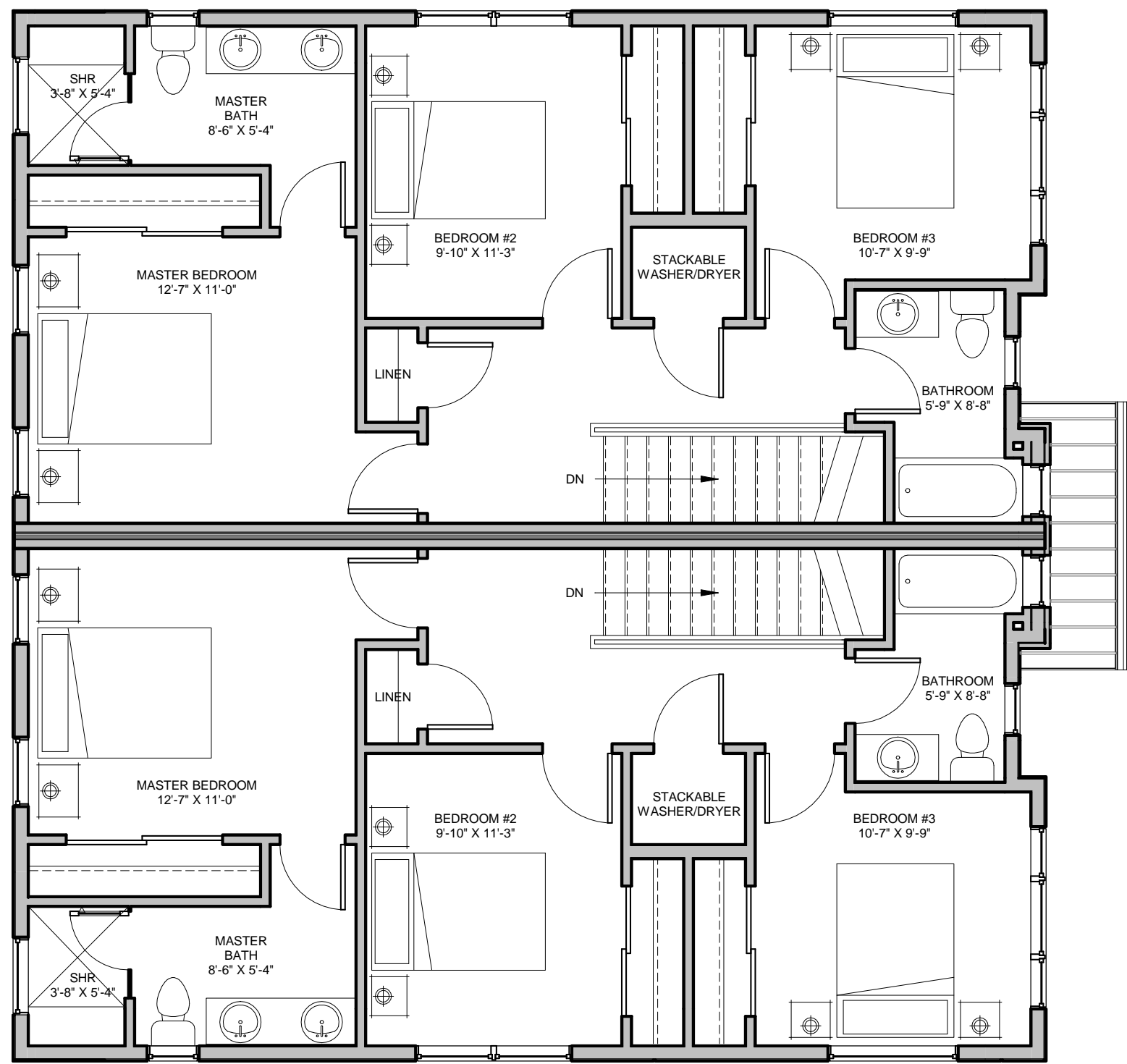
3 REAR ELEVATION
SCALE: 3/16" = 1'-0"



1 GRADE LEVEL PLAN - ACCESSIBLE
SCALE: 3/16" = 1'-0"
311 S.F. - EACH
GARAGE - 436 S.F. - EACH



2 MAIN LEVEL PLAN
SCALE: 3/16" = 1'-0"
795 S.F. - EACH



3 2ND FLOOR LEVEL PLAN
SCALE: 3/16" = 1'-0"
788 S.F. - EACH

STUART PLACE RESIDENCES - DUPLEX 4

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

ELEVATIONS

Project Number: 2019.12

Date 8-17-2020

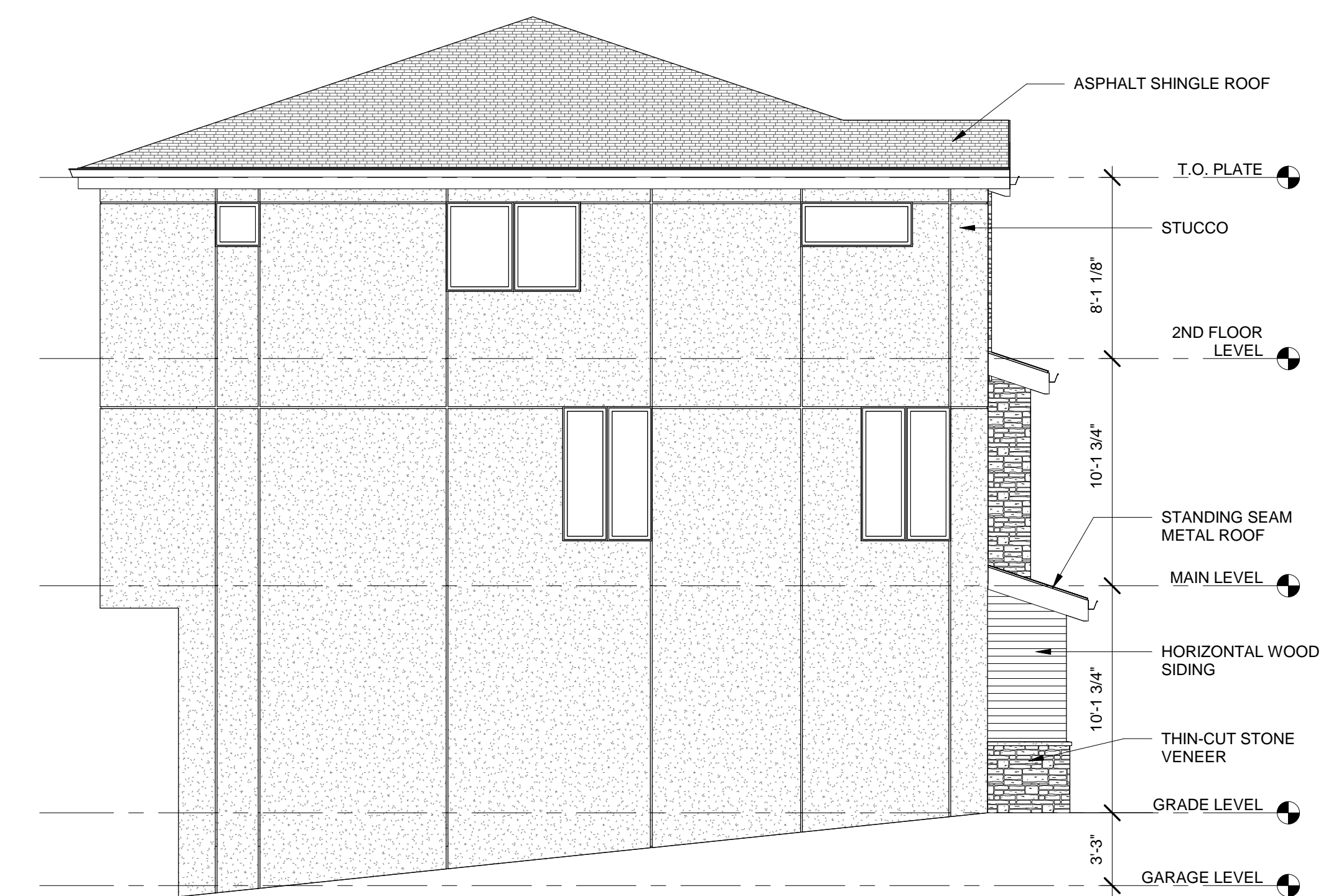
Drawn By KAM

A-402

8/17/2020 11:11:57 AM



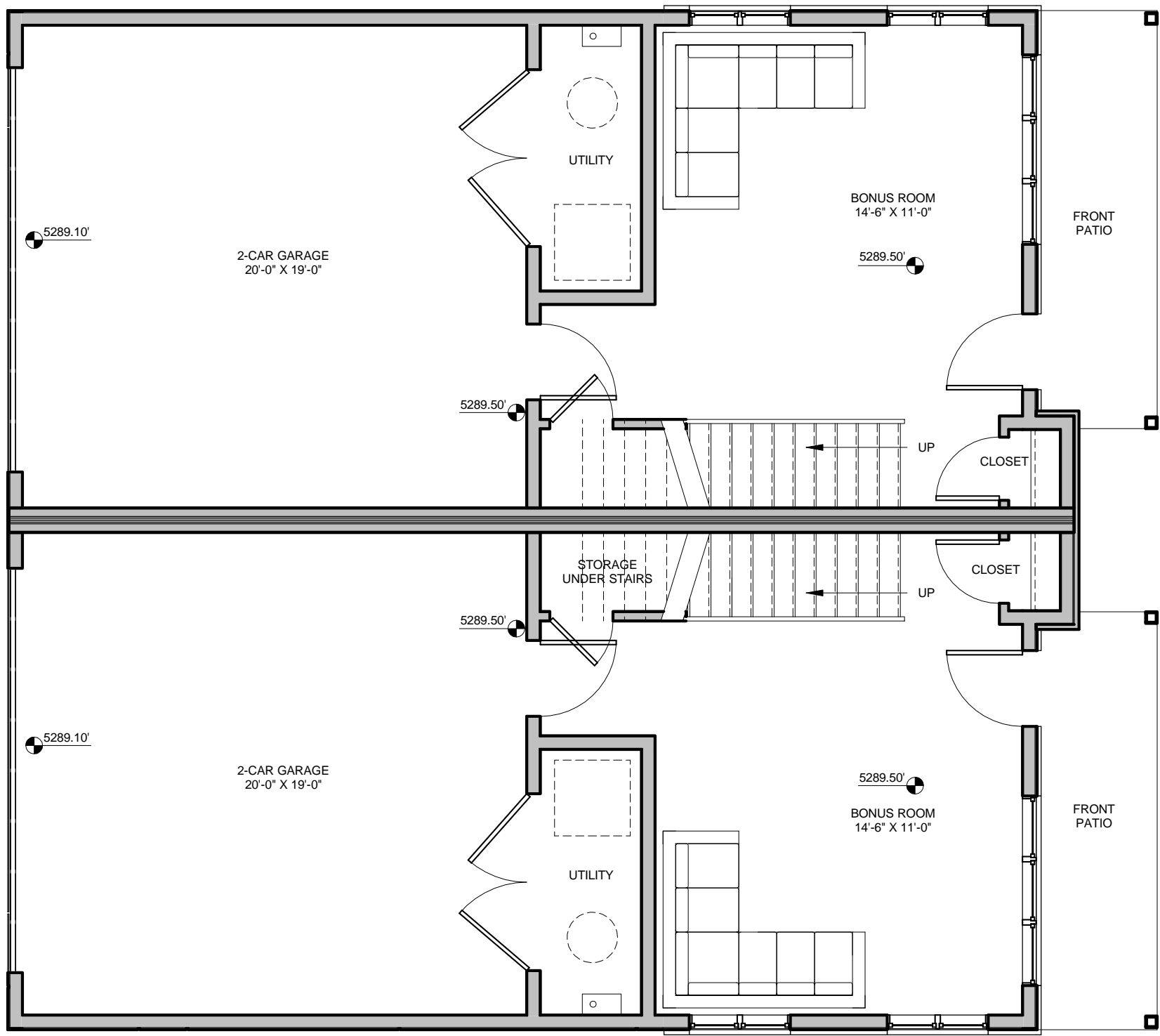
1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



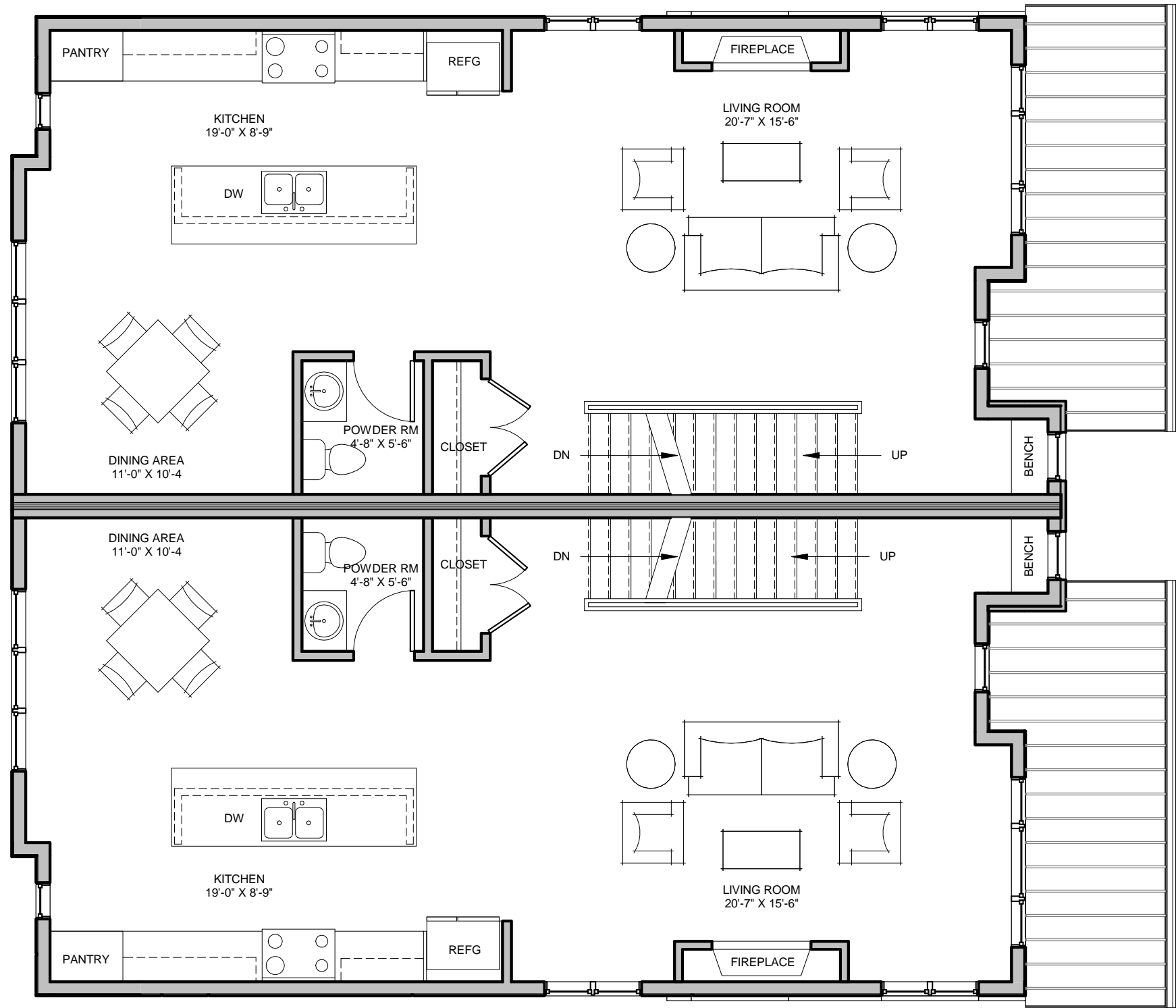
2 TYPICAL SIDE ELEVATION
SCALE: 3/16" = 1'-0"



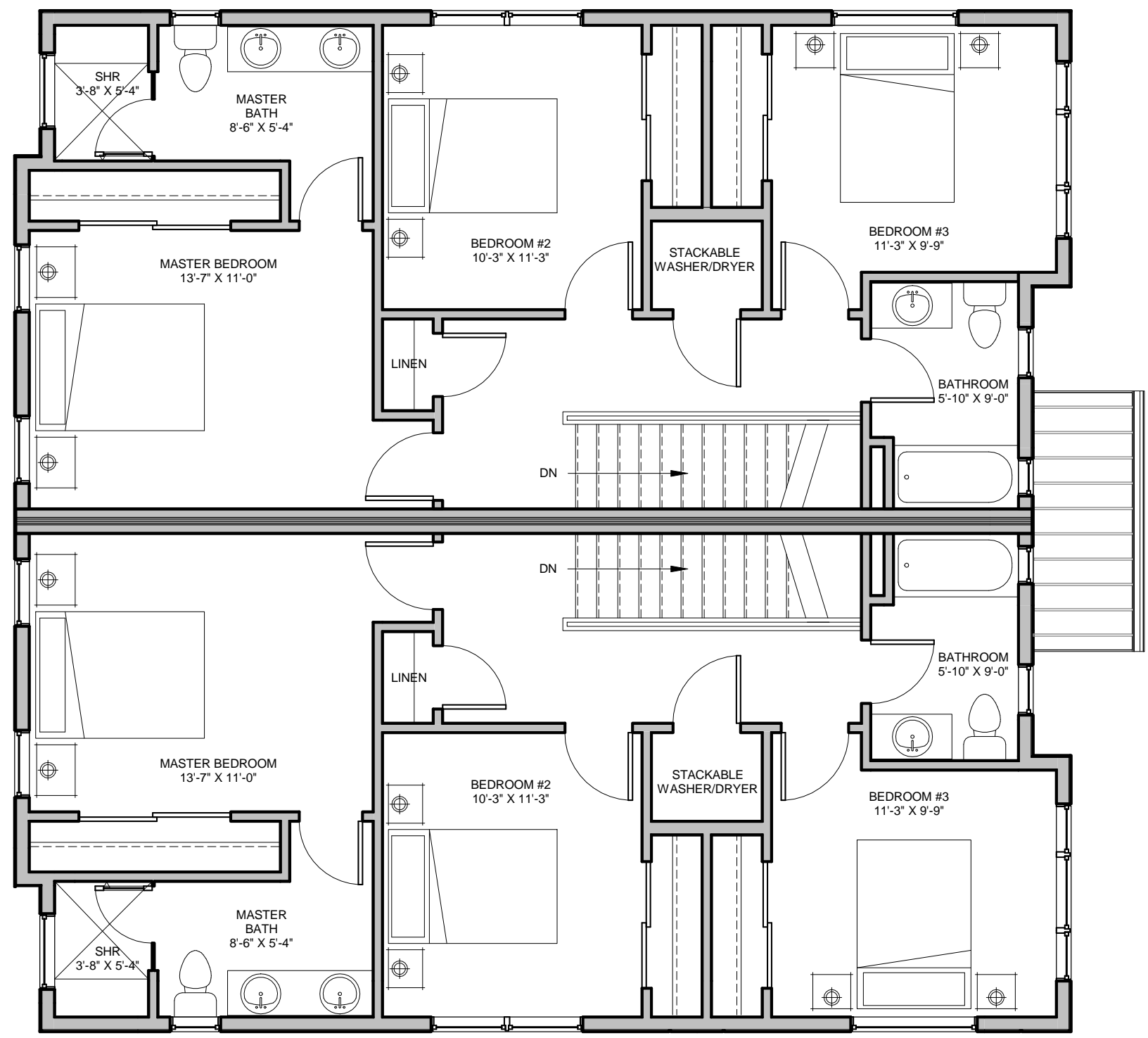
3 REAR ELEVATION
SCALE: 3/16" = 1'-0"



1 GRADE LEVEL PLAN
SCALE: 3/16" = 1'-0"
409 S.F. - EACH
GARAGE - 412 S.F. - EACH



2 MAIN LEVEL PLAN
SCALE: 3/16" = 1'-0"
828 S.F. - EACH



3 2ND FLOOR LEVEL PLAN
SCALE: 3/16" = 1'-0"
815 S.F. - EACH



STUART PLACE RESIDENCES - DUPLEX 5

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

FLOOR PLANS

Project Number: 2019.12

Date 4-30-2020

Drawn By KAM

A-501

STUART PLACE RESIDENCES - DUPLEX 5

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

ELEVATIONS

Project Number: 2019.12

Date 8-17-2020

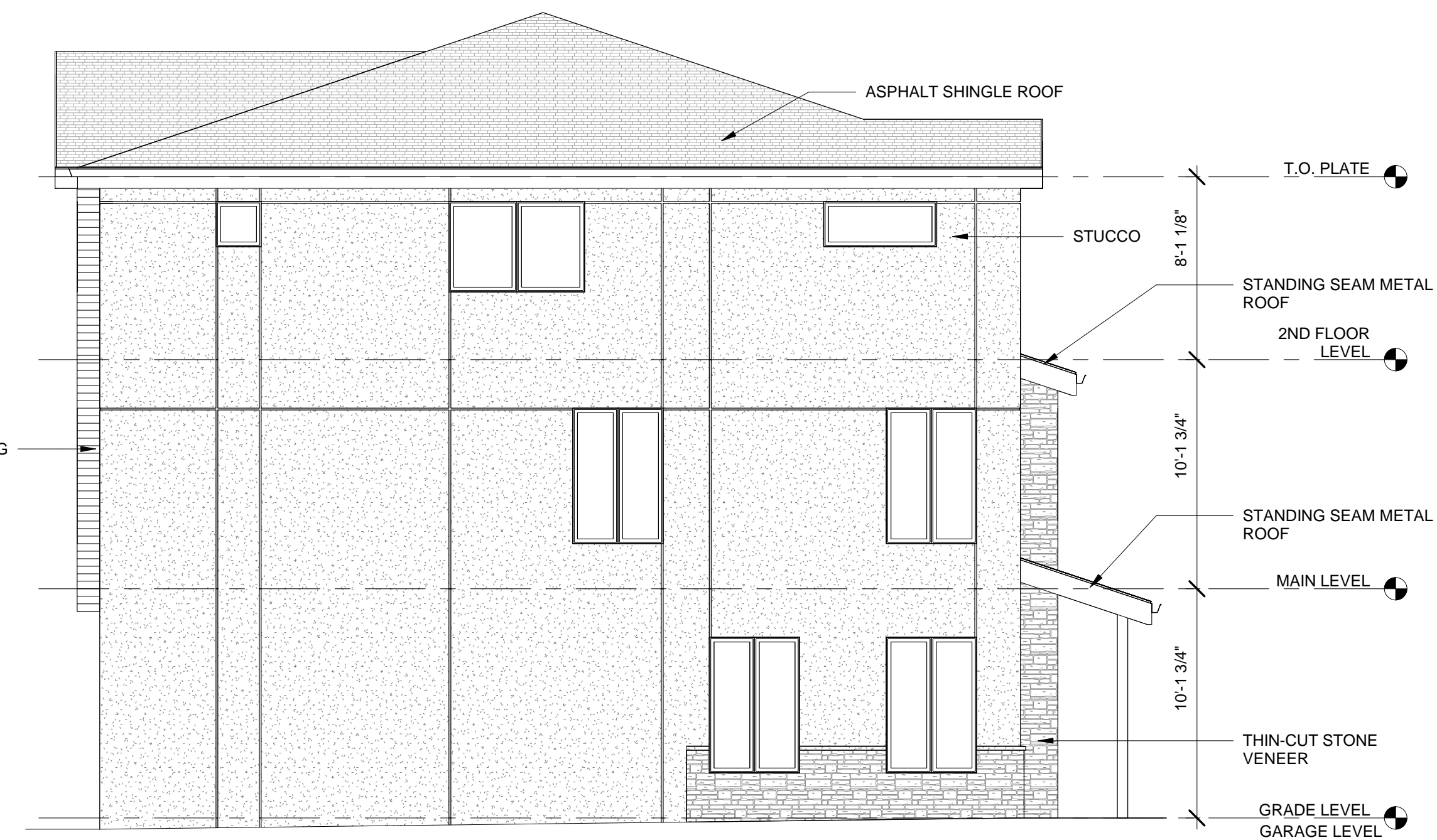
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A-502

8/17/2020 11:19:50 AM



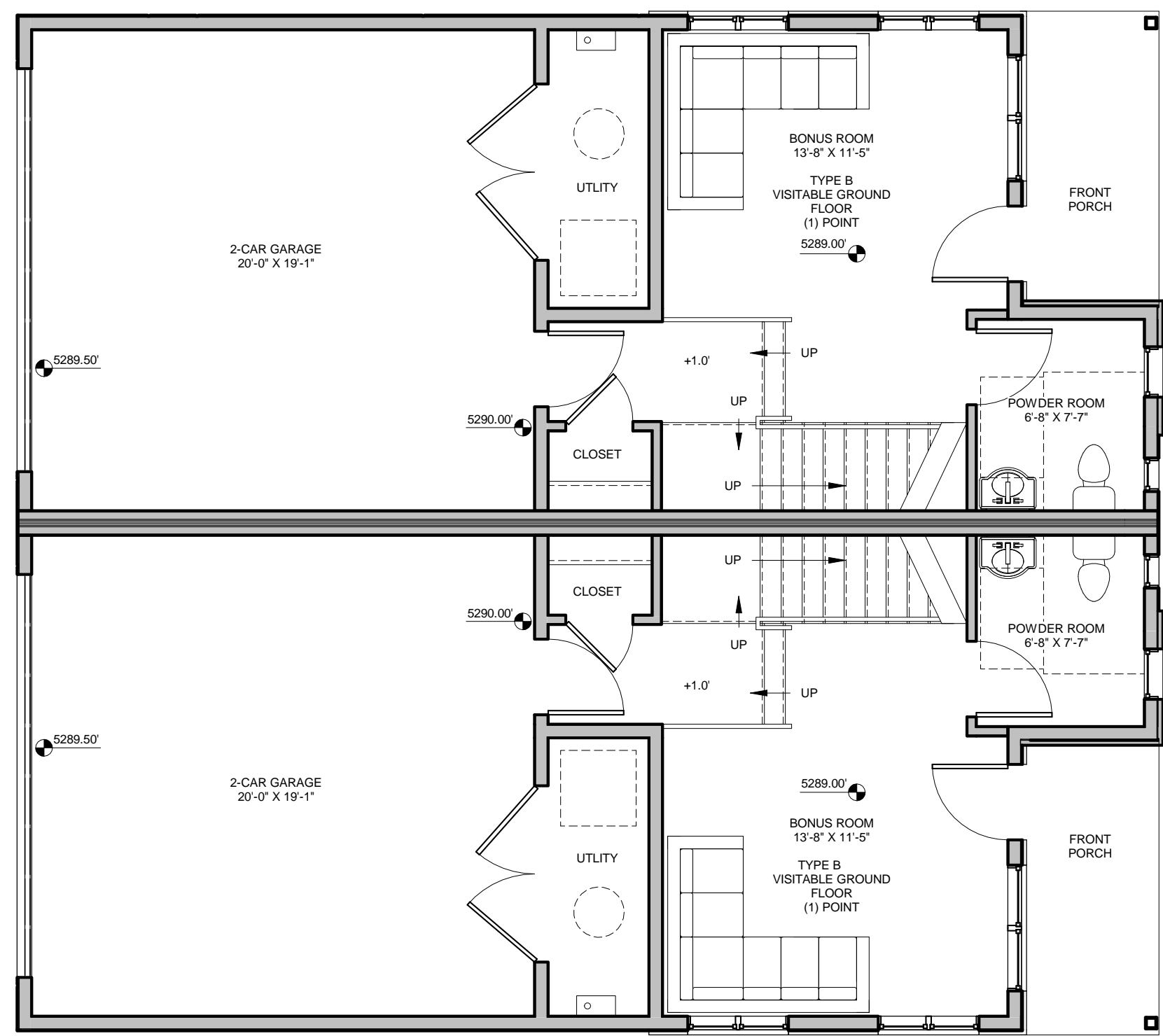
1 FRONT ELEVATION
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2 TYPICAL SIDE ELEVATION
SCALE: 3/16" = 1'-0"



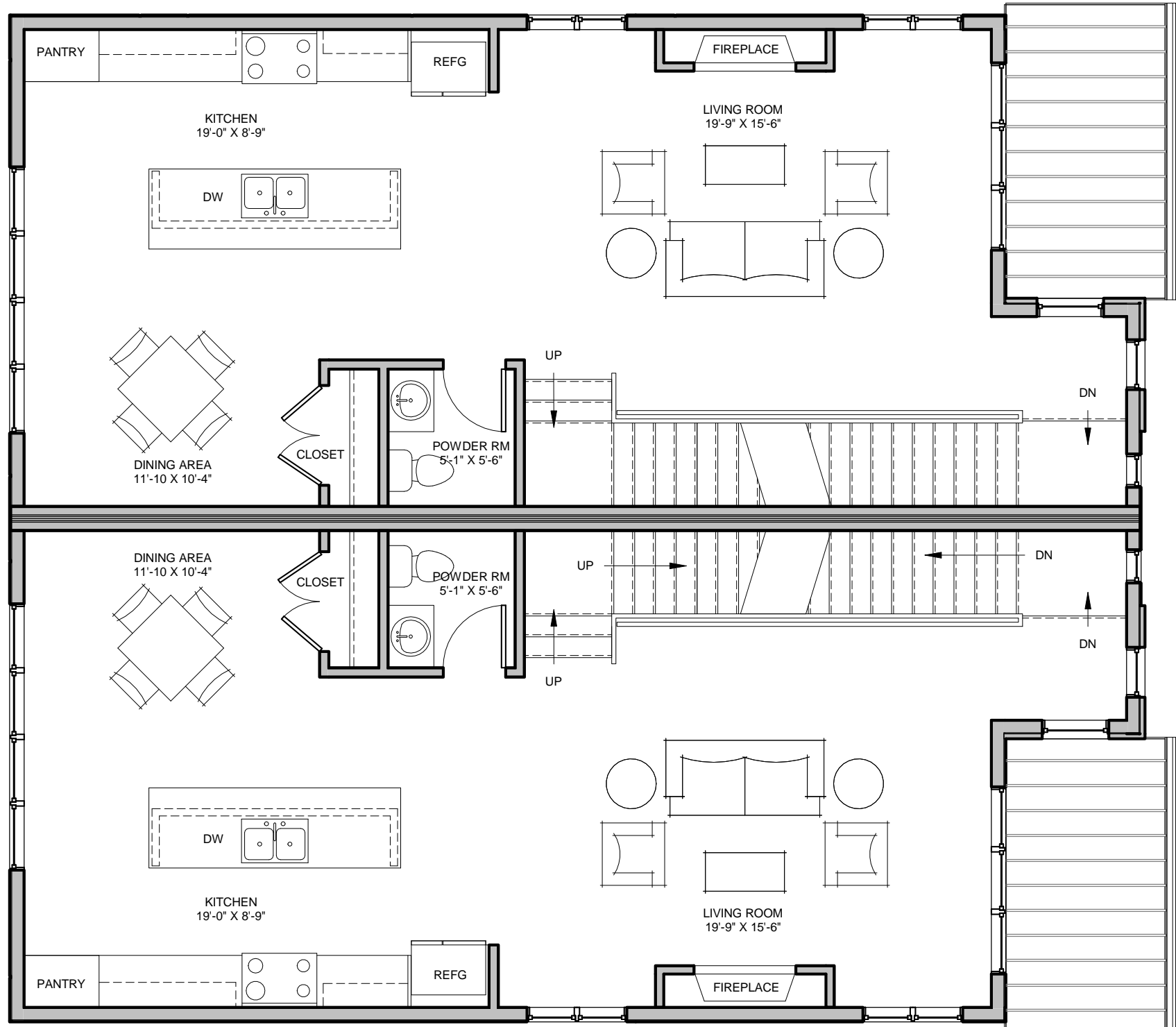
3 REAR ELEVATION
SCALE: 3/16" = 1'-0"



1 GRADE LEVEL PLAN - ACCESSIBLE

SCALE: 3/16" = 1'-0"

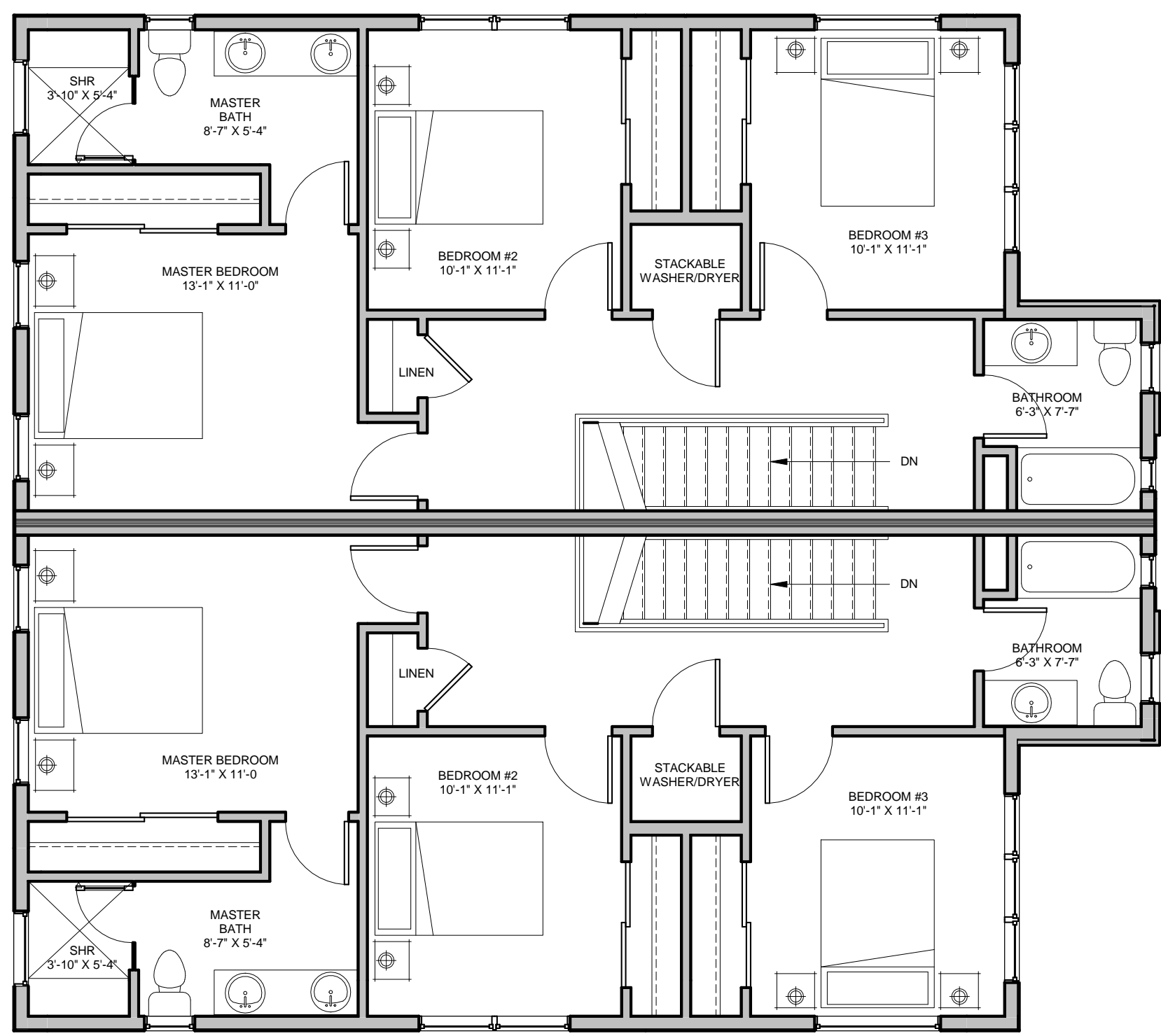
433 S.F. - EACH
GARAGE - 412 S.F. - EACH



2 MAIN LEVEL PLAN

SCALE: 3/16" = 1'-0"

845 S.F. - EACH



3 2ND FLOOR LEVEL PLAN

SCALE: 3/16" = 1'-0"

845 S.F. - EACH



STUART PLACE RESIDENCES - DUPLEX 6

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

FLOOR PLANS

Project Number: 2019.12

Date: 4-30-2020

Drawn By: KAM

A-601

STUART PLACE RESIDENCES - DUPLEX 6

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

ELEVATIONS

Project Number: 2019.12

Date 8-17-2020

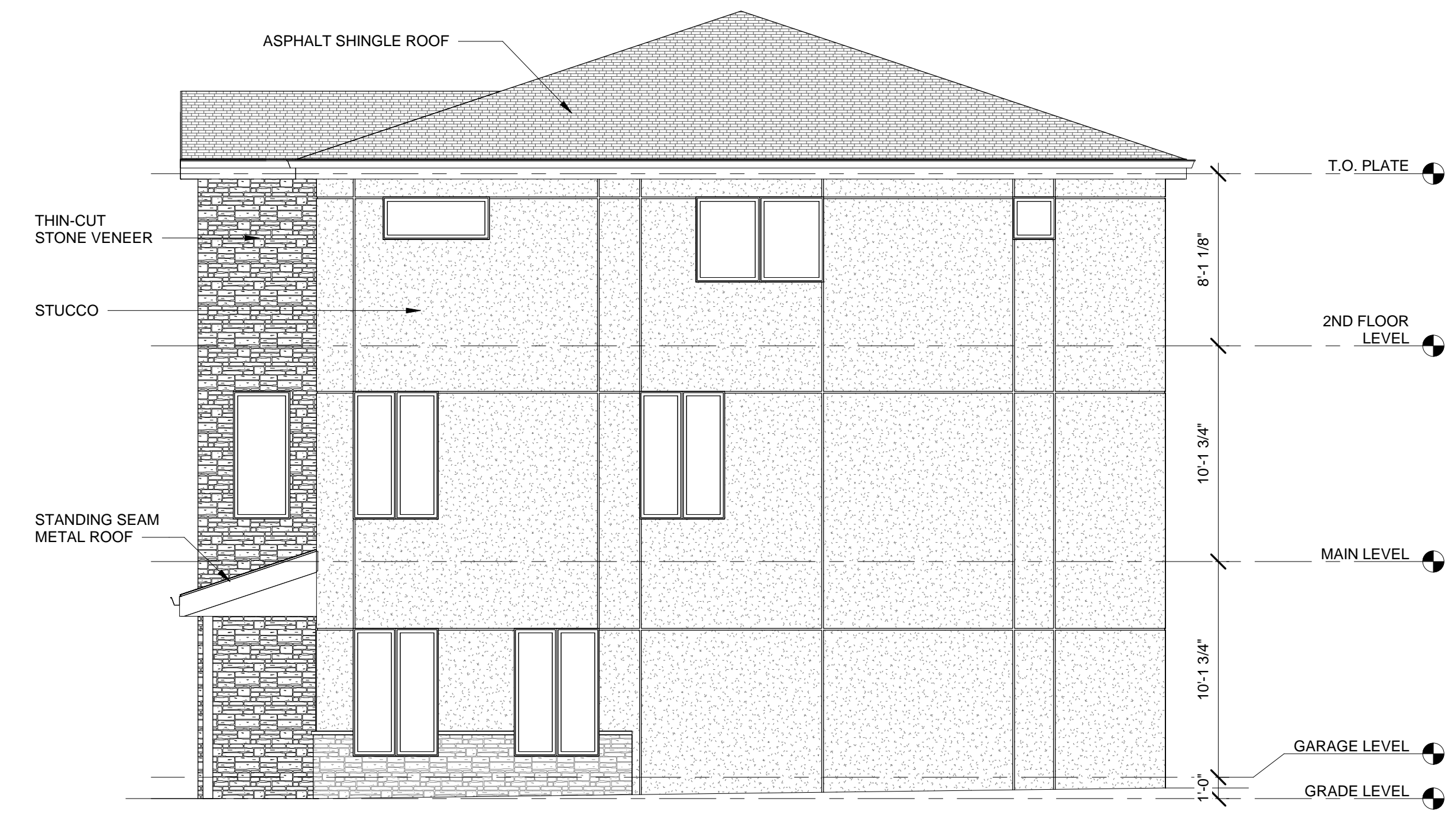
Drawn By KAM

A-602

8/17/2020 11:23:34 AM



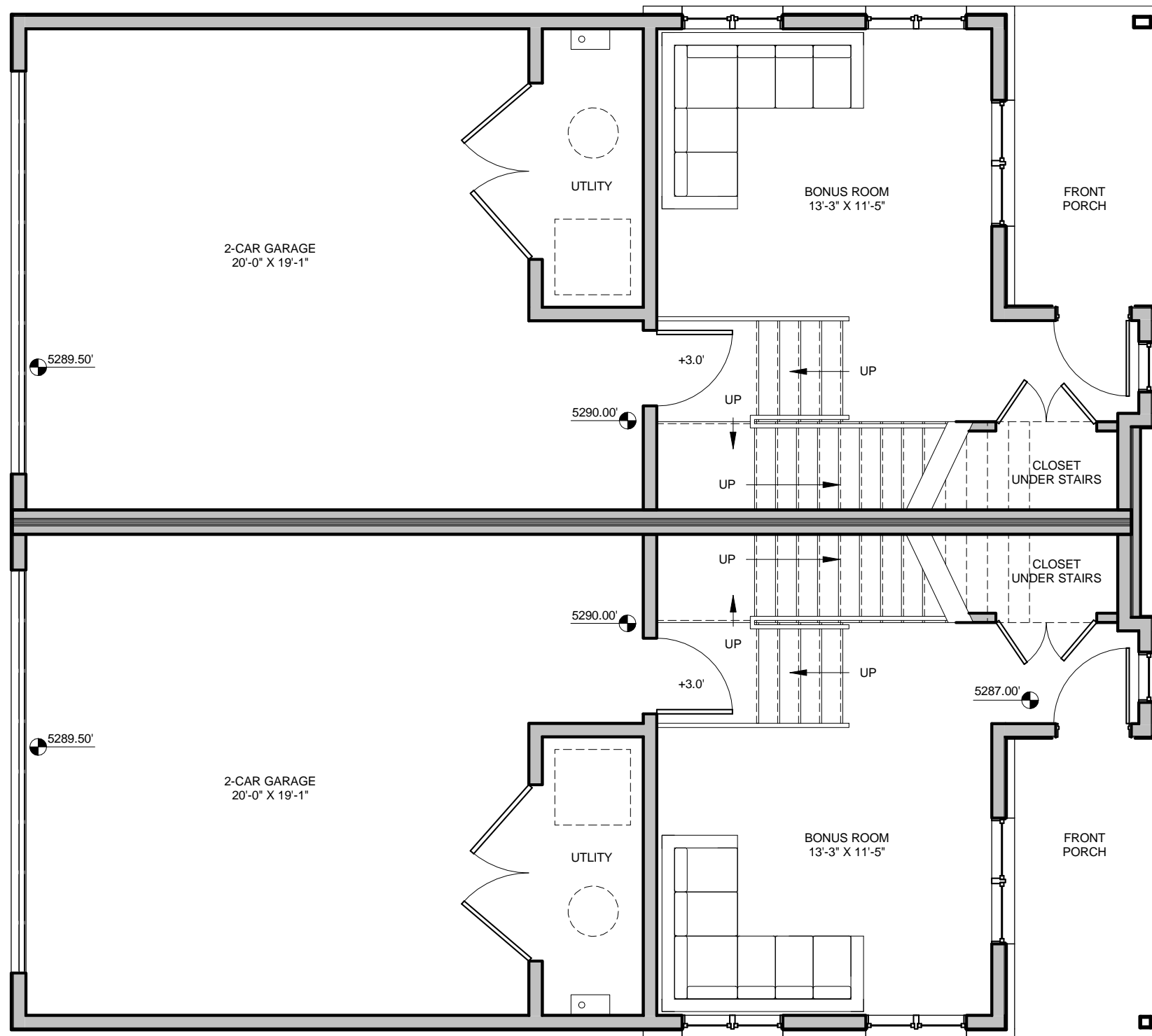
1 FRONT ELEVATION
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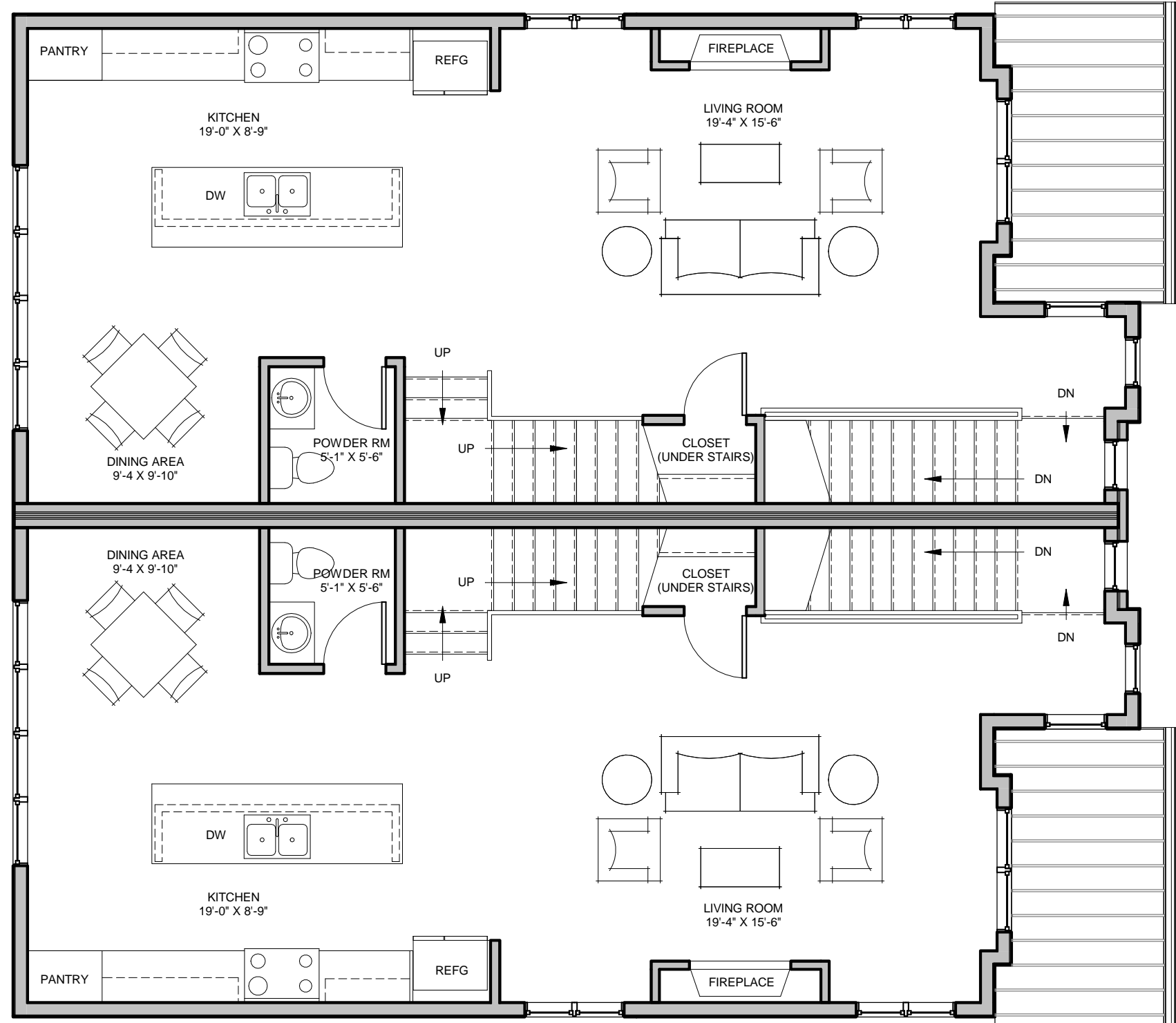
2 TYPICAL SIDE ELEVATION
SCALE: 3/16" = 1'-0"



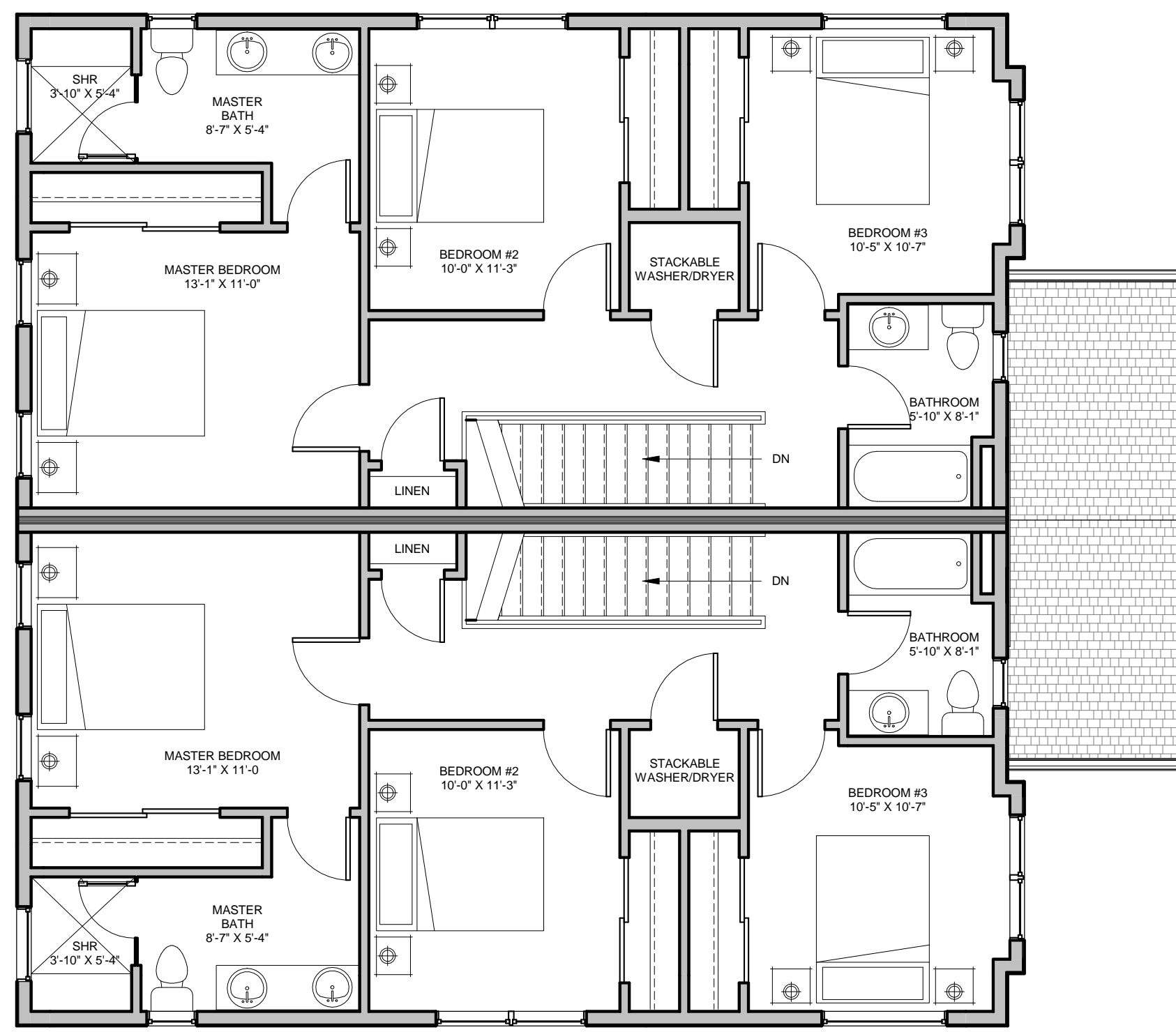
3 REAR ELEVATION
SCALE: 3/16" = 1'-0"



1 GRADE LEVEL PLAN
SCALE: 3/16" = 1'-0"
388 S.F. - EACH
GARAGE - 448 S.F. - EACH



2 MAIN LEVEL PLAN
SCALE: 3/16" = 1'-0"
841 S.F. - EACH



3 2ND FLOOR LEVEL PLAN
SCALE: 3/16" = 1'-0"
795 S.F. - EACH



STUART PLACE RESIDENCES - DUPLEX 7

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

FLOOR PLANS

Project Number: 2019.12

Date: 4-30-2020

Drawn By: KAM

A-701

STUART PLACE RESIDENCES - DUPLEX 7

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

ELEVATIONS

Project Number: 2019.12

Date 8-17-2020

Drawn By KAM

A-702

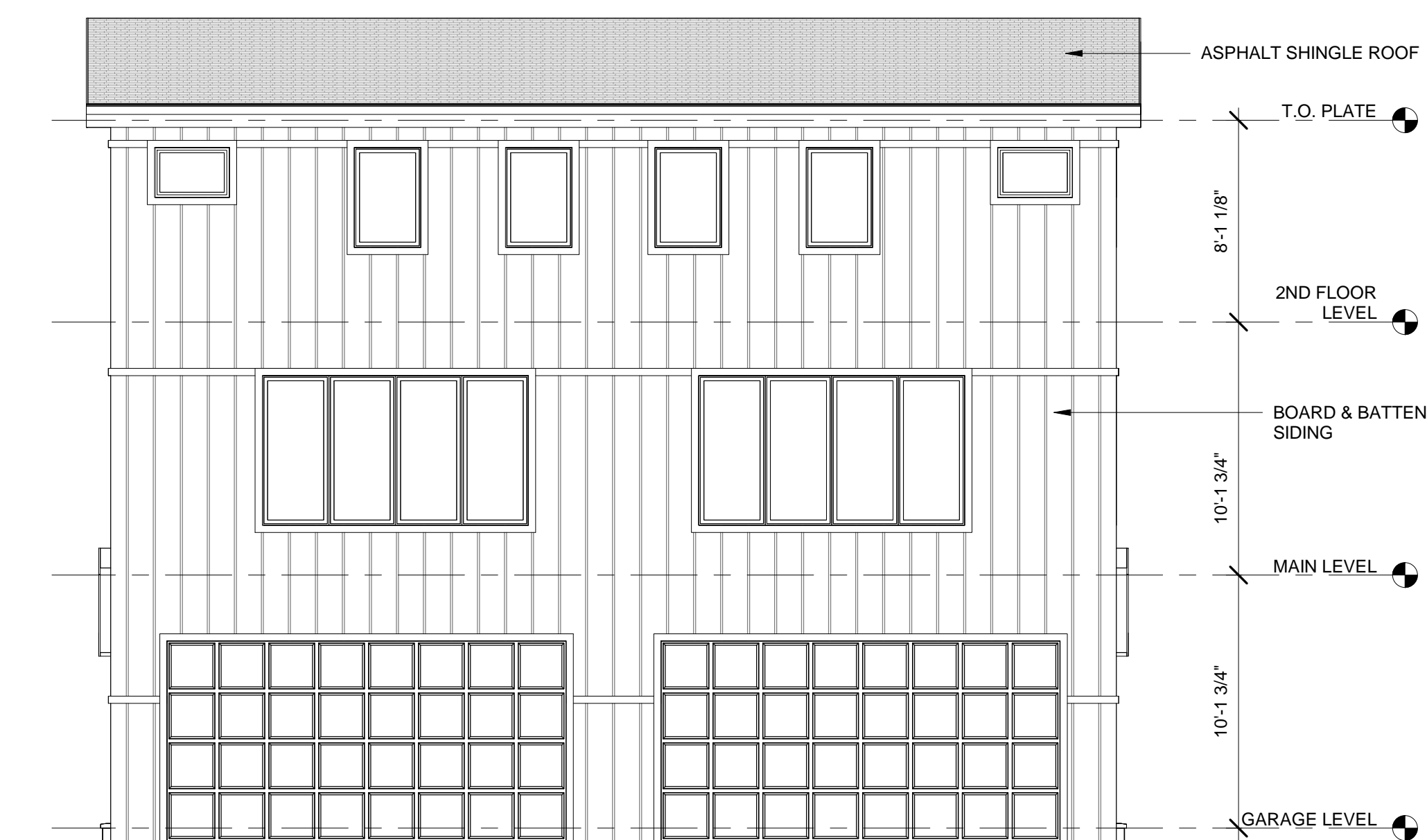
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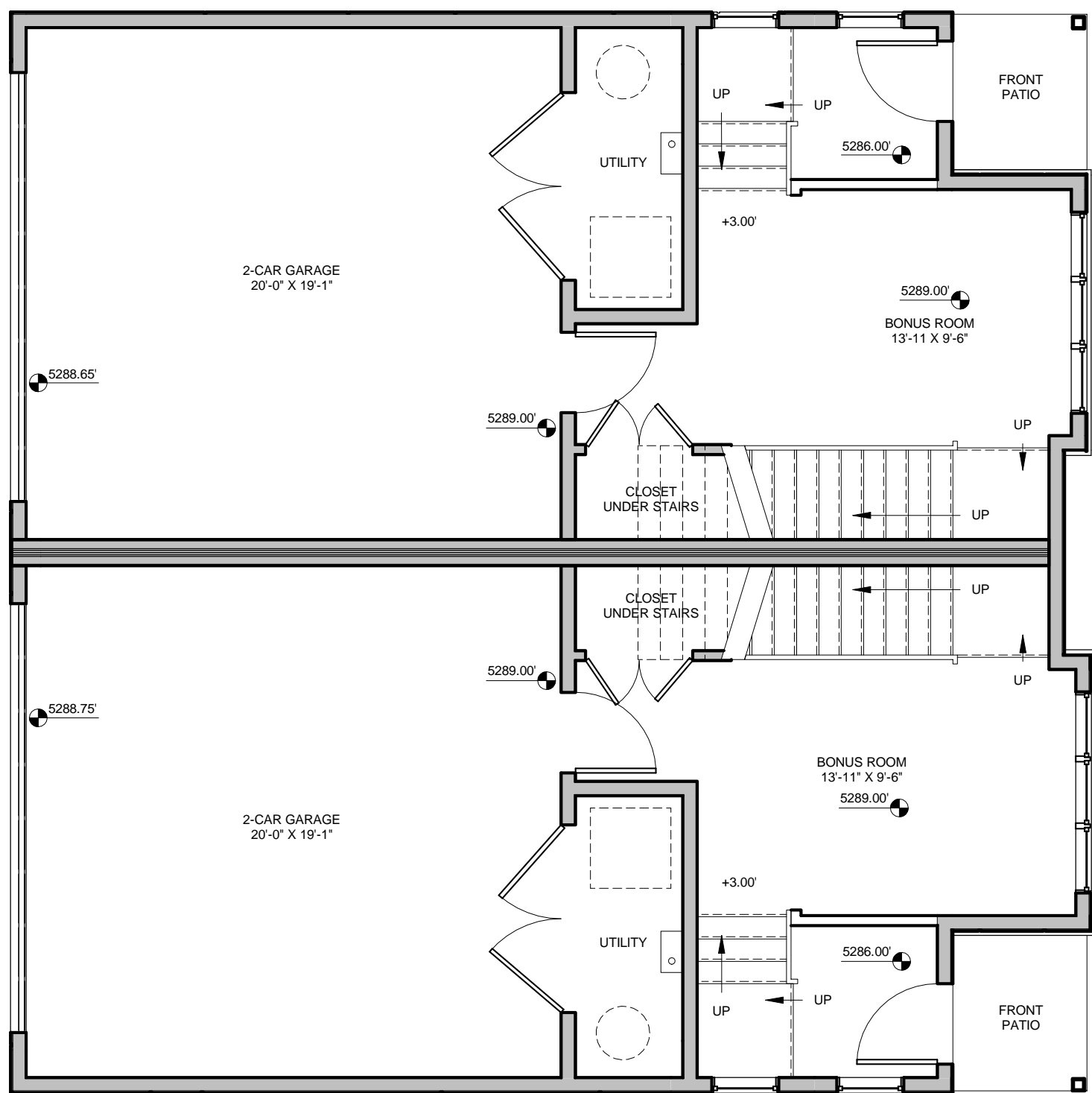
1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



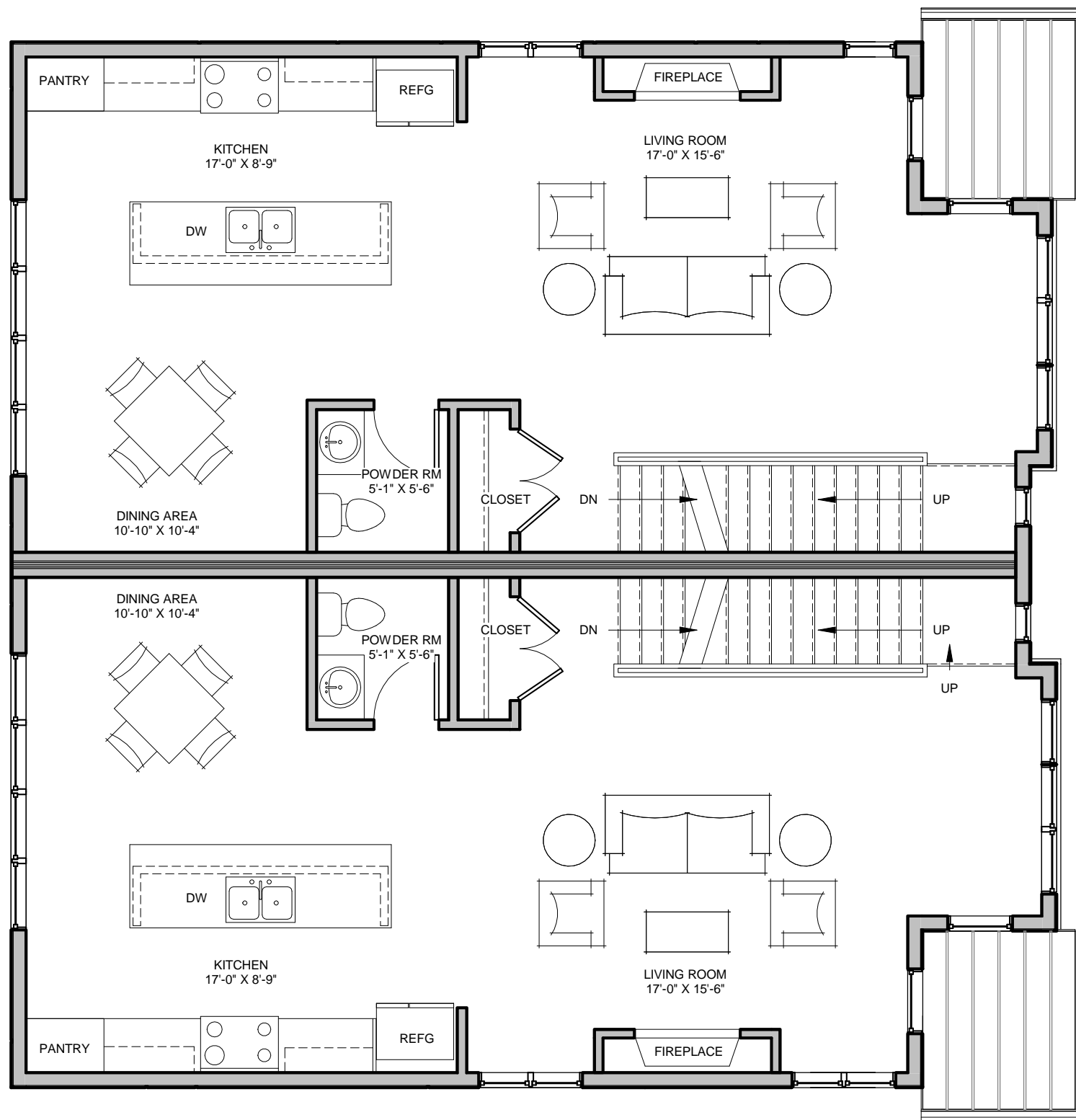
2 TYPICAL SIDE ELEVATION
SCALE: 3/16" = 1'-0"



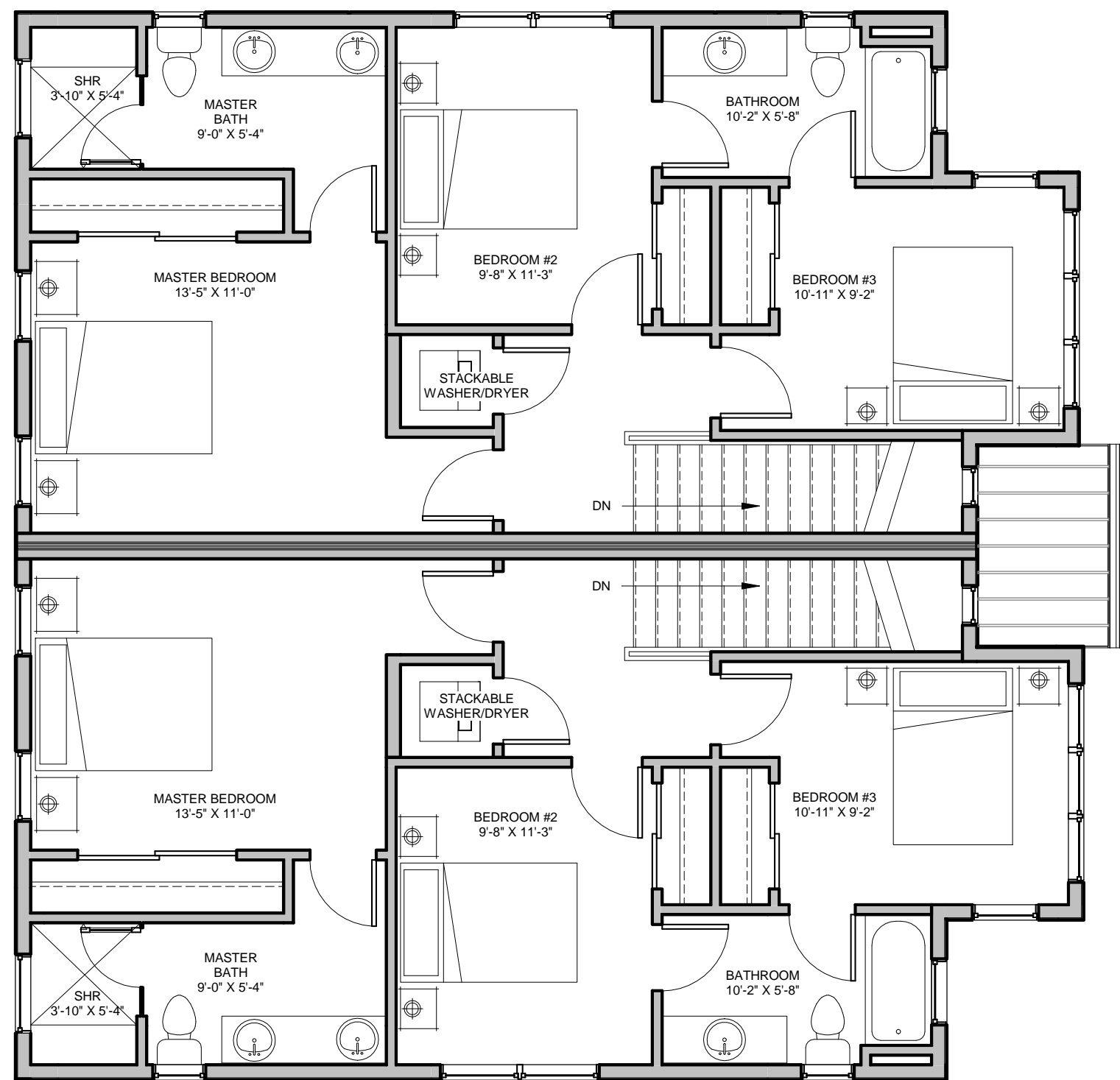
3 REAR ELEVATION
SCALE: 3/16" = 1'-0"



1 ENTRY AND GARAGE LEVEL PLAN
SCALE: 3/16" = 1'-0"
360 S.F. - EACH
GARAGE - 412 S.F. - EACH



2 MAIN LEVEL PLAN
SCALE: 3/16" = 1'-0"
772 S.F. - EACH



3 2ND FLOOR LEVEL PLAN
SCALE: 3/16" = 1'-0"
760 S.F. - EACH

STUART PLACE RESIDENCES - DUPLEX 8

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

ELEVATIONS

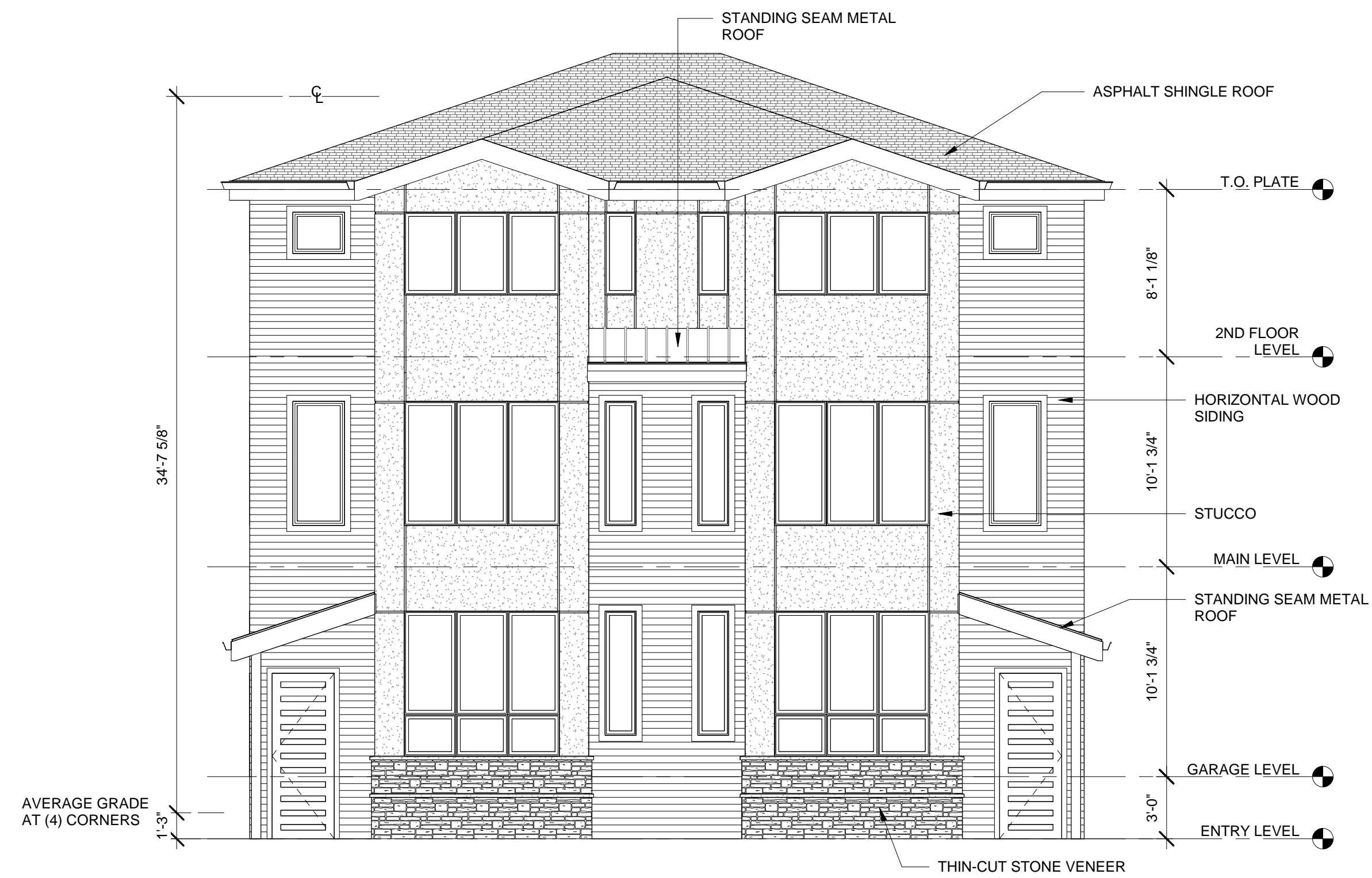
Project Number: 2019.12

Date 8-26-2020

Drawn By KAM

A-802

8/26/2020 1:45:26 PM



1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2 TYPICAL SIDE ELEVATION
SCALE: 3/16" = 1'-0"



3 REAR ELEVATION
SCALE: 3/16" = 1'-0"



STUART PLACE RESIDENCES - DUPLEX 9

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

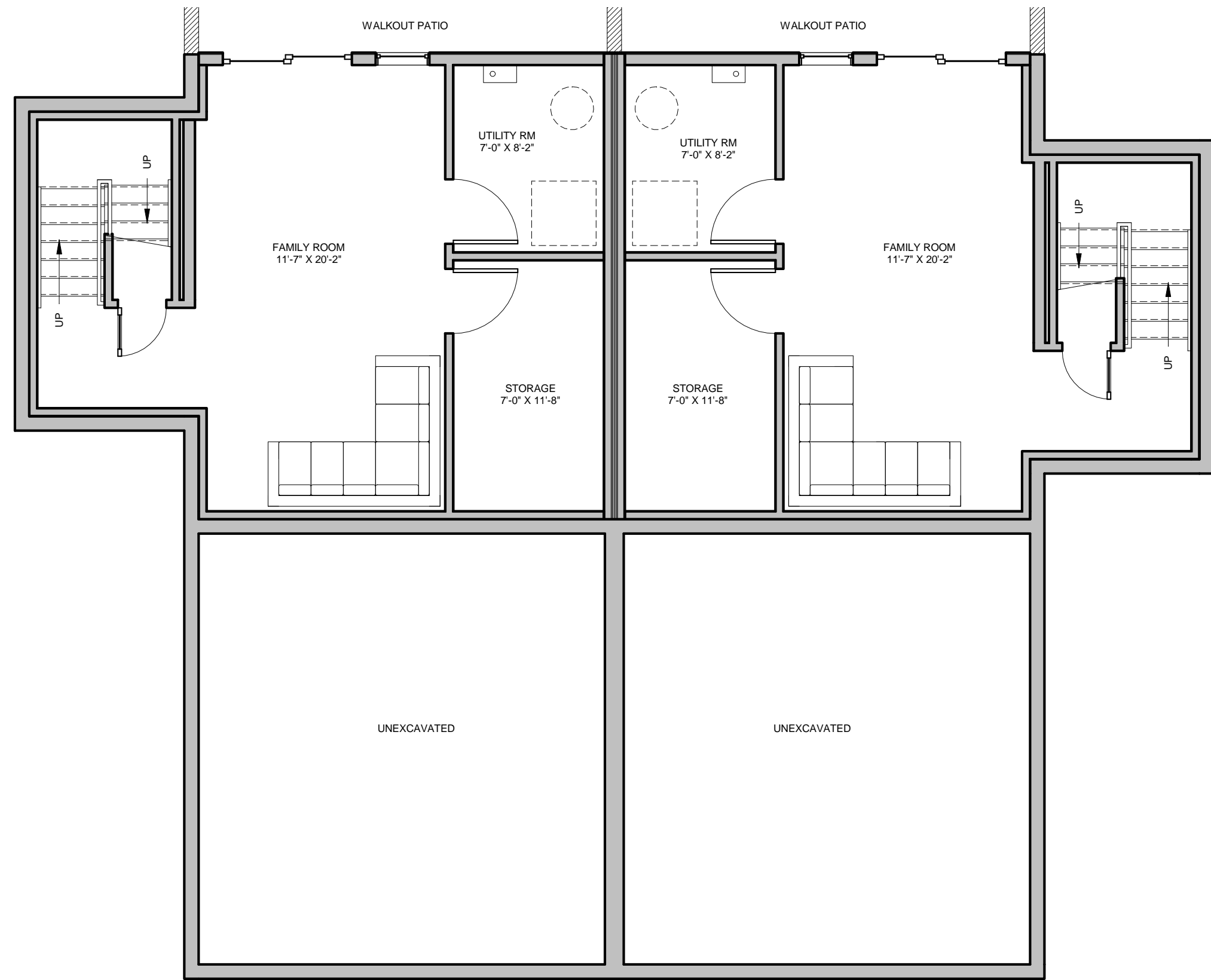
RENDERINGS

Project Number: 2019.12

Date 5-6-2020

Drawn By KAM

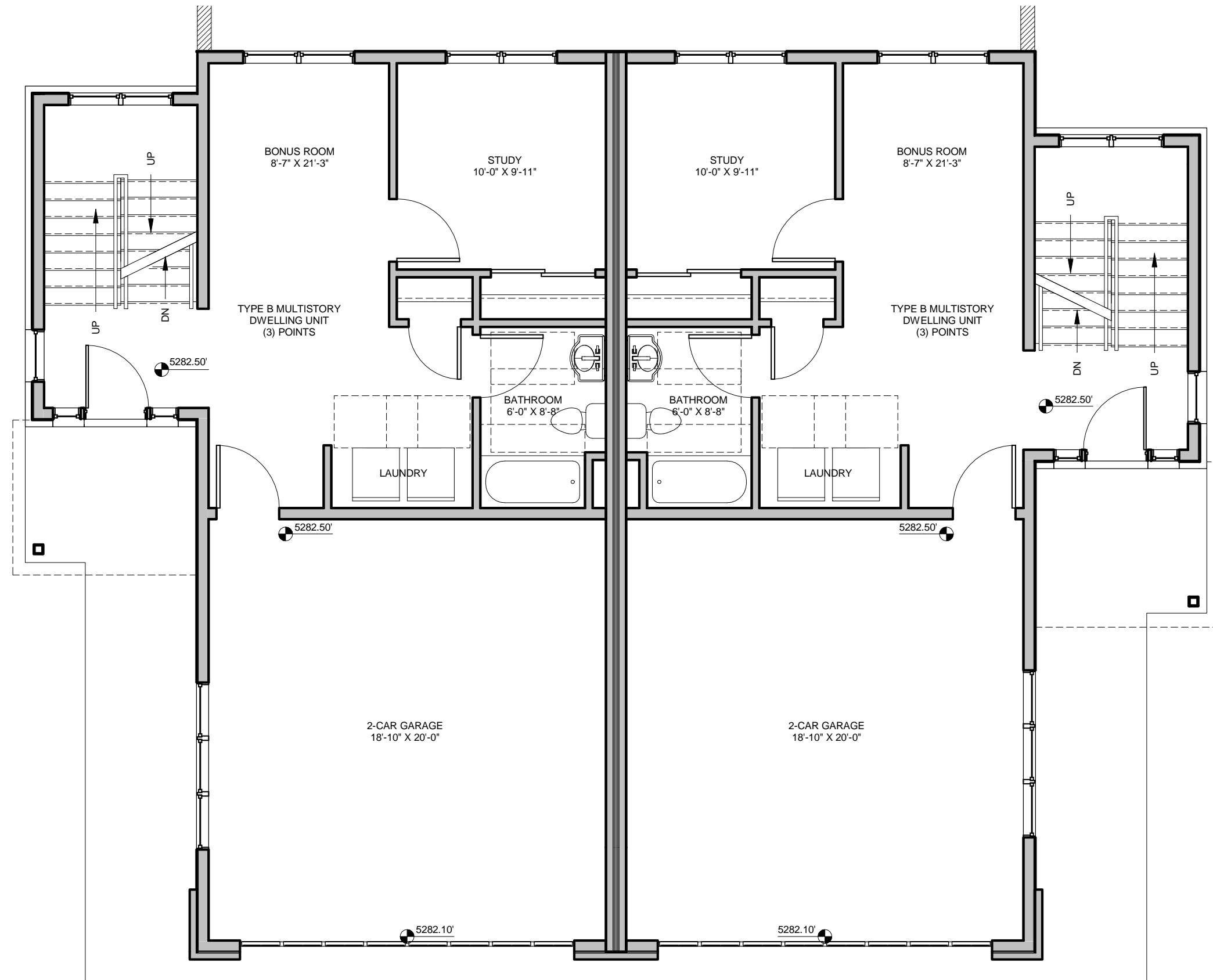
A-900



1 LOWER LEVEL PLAN

SCALE: 3/16" = 1'-0"

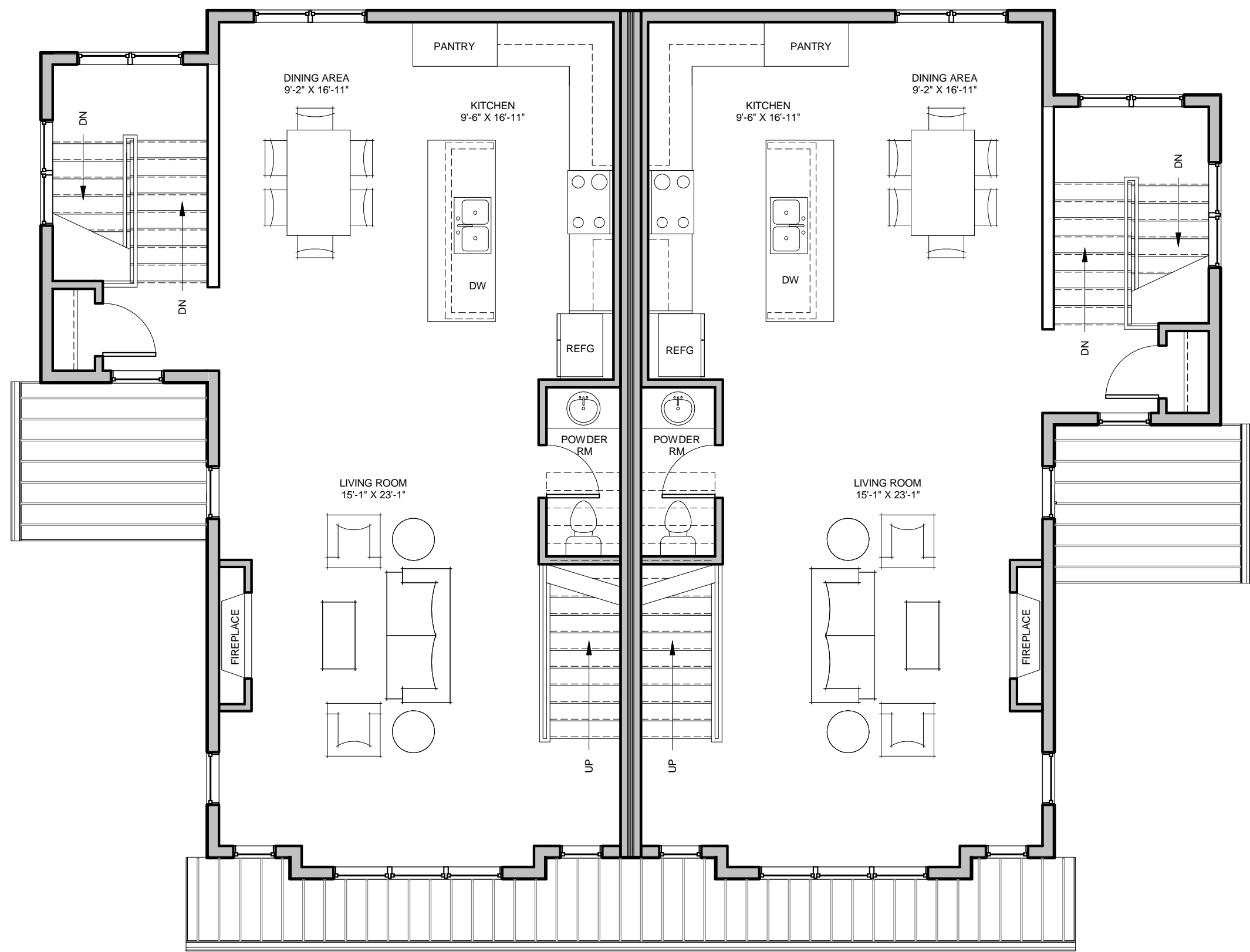
568 S.F. - EACH



2 GRADE LEVEL PLAN - ACCESSIBLE

SCALE: 3/16" = 1'-0"

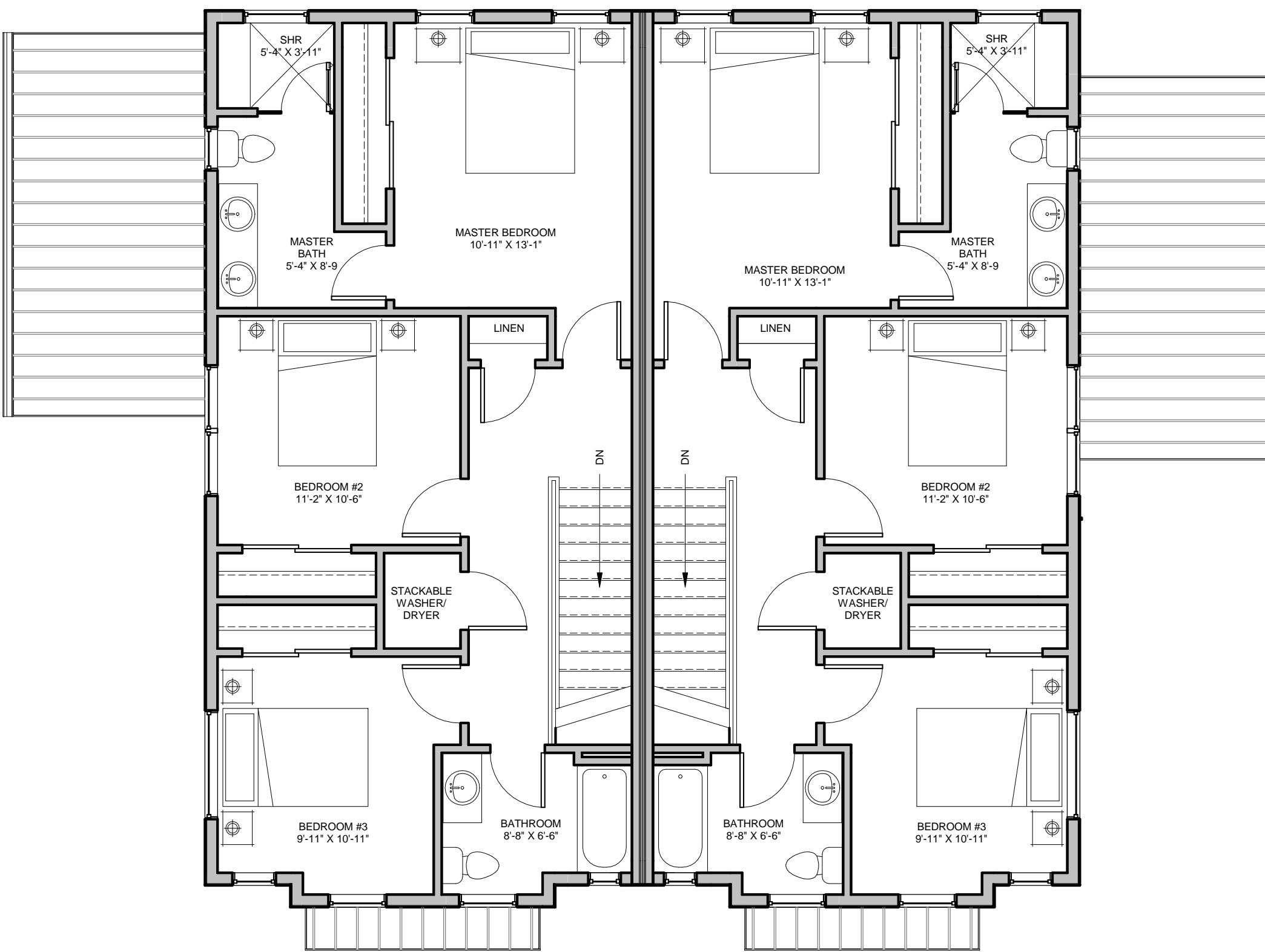
568 S.F. - EACH
GARAGE - 414 S.F. - EACH



3 MAIN LEVEL PLAN

SCALE: 3/16" = 1'-0"

934 S.F. - EACH



4 2ND FLOOR LEVEL PLAN

SCALE: 3/16" = 1'-0"

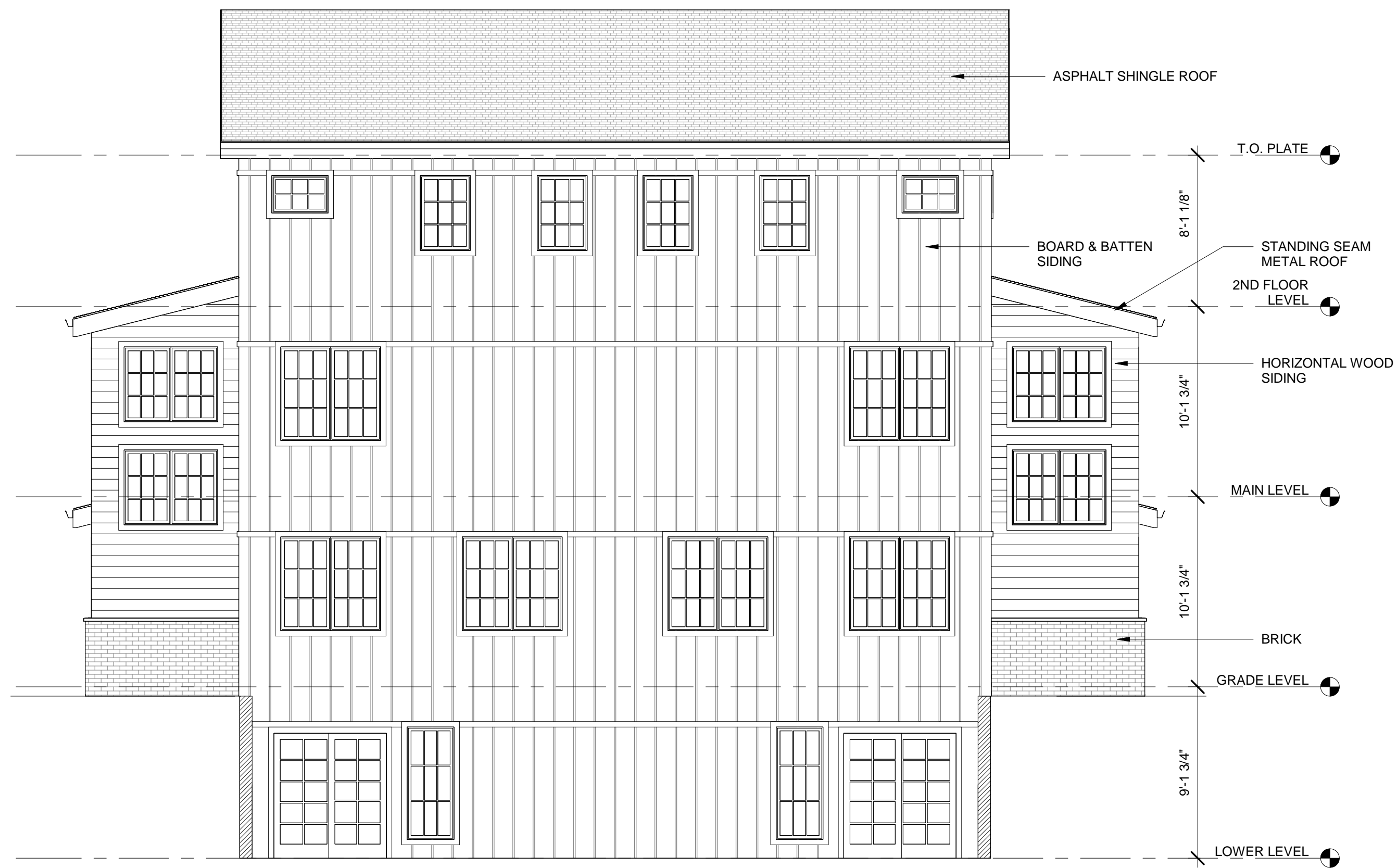
812 S.F. - EACH



1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2 TYPICAL SIDE ELEVATION
SCALE: 3/16" = 1'-0"

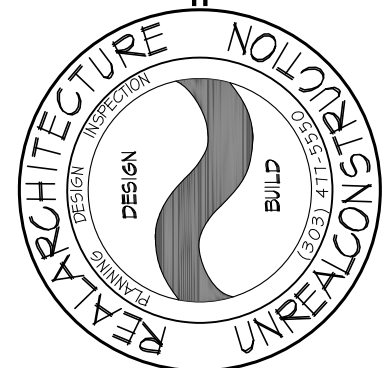


3 REAR ELEVATION
SCALE: 3/16" = 1'-0"

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PREPARED FOR:
53RD AND TENNYSON LLC
850 BONNIE BRAE BLVD.
DENVER, CO 80209

53RD AND TENNYSON ROW



DAVID L. BERTON AIA
REALARCHITECTURE LTD.
2899 N. Speer Blvd., Denver, Co. 80211
ph. (303) 477-5550 fax 477-5505
www.realarchitecture.com

DRAWN	DLB KG
DATE	2-12-2020
PROJECT NUMBER	066
REVISIONS	

FIRE
ANALYSIS

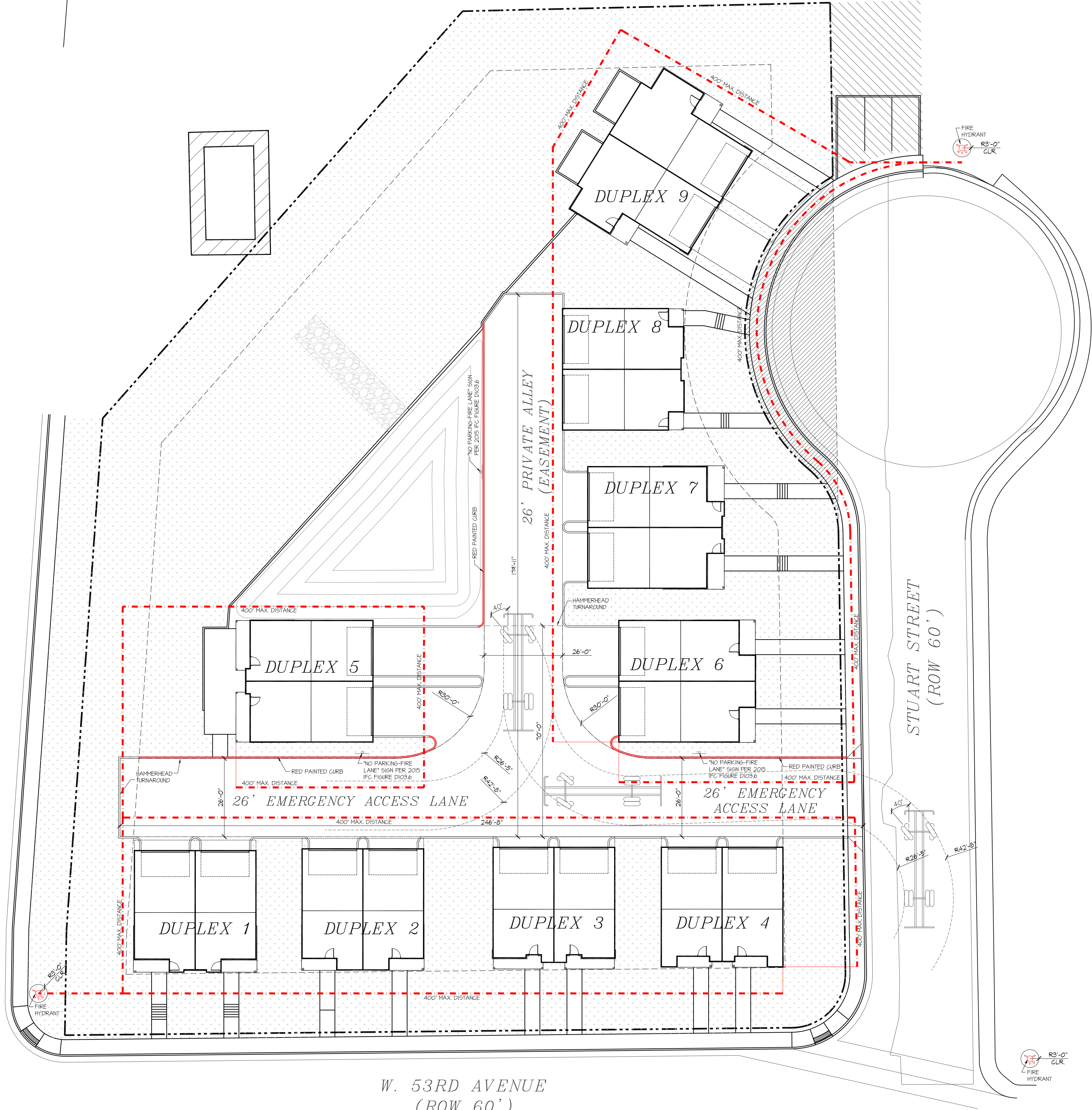
SHEET #

10-1

TENNYSON STREET
(ROW 60')

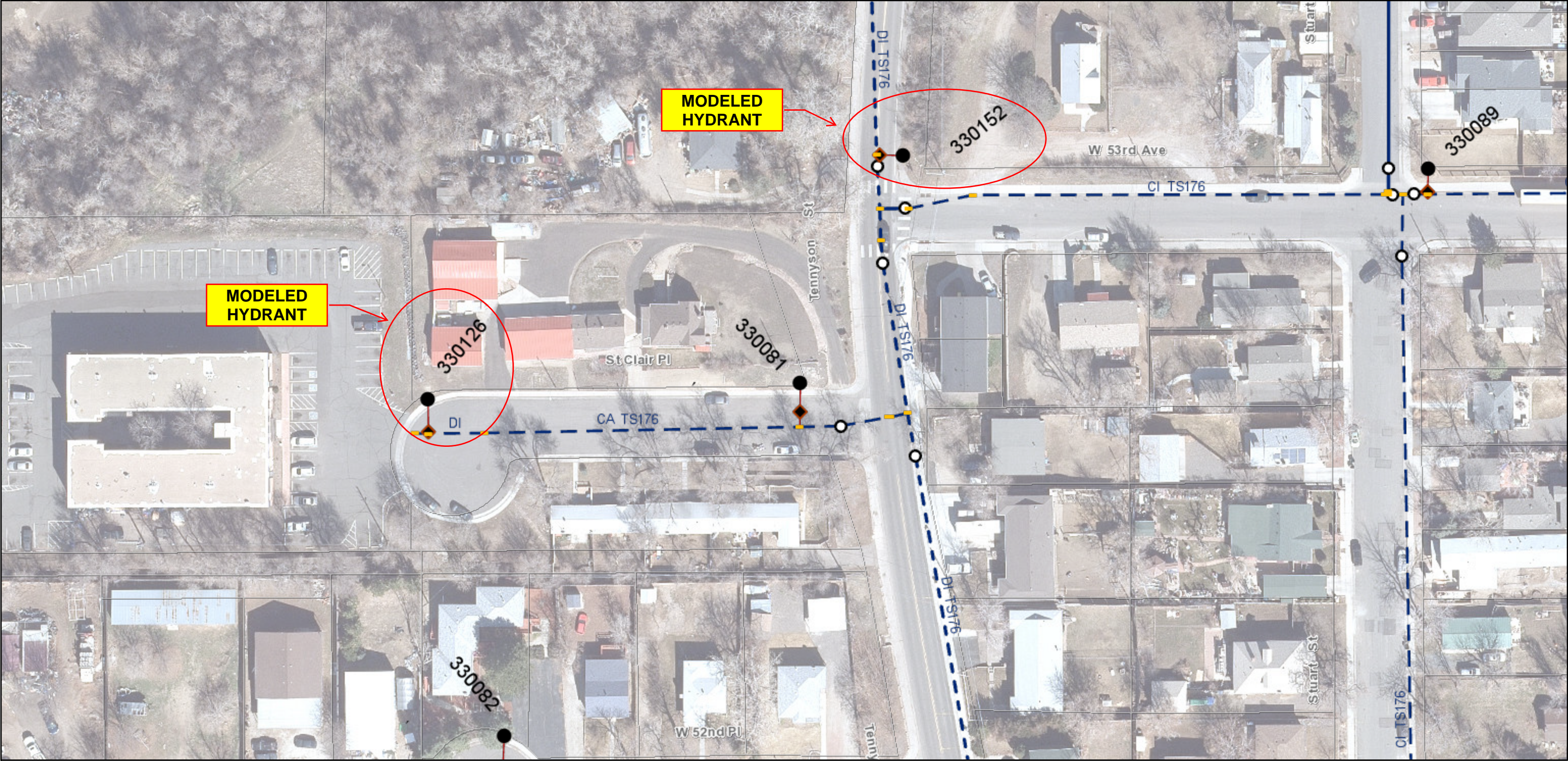
W. 53RD AVENUE
(ROW 60')

STUART STREET
(ROW 60')



FIRE PLAN
SCALE: 1:20

53rd Ave & Tennyson St



7/28/2020, 8:04:36 AM

Casing

Process Line

Process Valve - SCADA

Process Valve

Open

Closed

Unknown

Not Applicable

Main Rehab

3" & Smaller

4"

6"

8"

10"

12"

14"

15"

1:1,000

0 0.01 0.01 0.03 mi

0 0.01 0.03 0.05 km

Denver Water

Denver Water
Data printed here is Denver Water ...

7/28/20

Jodi Murray
MAG Builders, Inc.
jodi@magbuilders.com

Re: W 53rd Ave & N Tennyson St

Denver Water has completed an analysis to determine the available fire flow under peak day conditions for the above referenced project. The analysis was performed using the current Denver Water Distribution System all pipes computer simulation model.

Analysis was performed using EPANET Version 2. Some modeled results may have been adjusted due to measured pressure fluctuations using standardized ISO equations.

This model is field verified and represents the distribution system conditions for peak day demand for 2018 (400 mgd). Input data represents a snapshot GIS extraction of our entire transmission and distribution system at that time. Actual results may vary due to system conditions.

Results of this modeling are appropriate for fire sprinkler design but may not cover all requirements associated with fire hydrant supply to any particular site, including a "one side of loop out" scenario. Denver Water and the appropriate fire protection agency should be contacted to determine possible need for any additional on-site or off-site fire flow requirements.

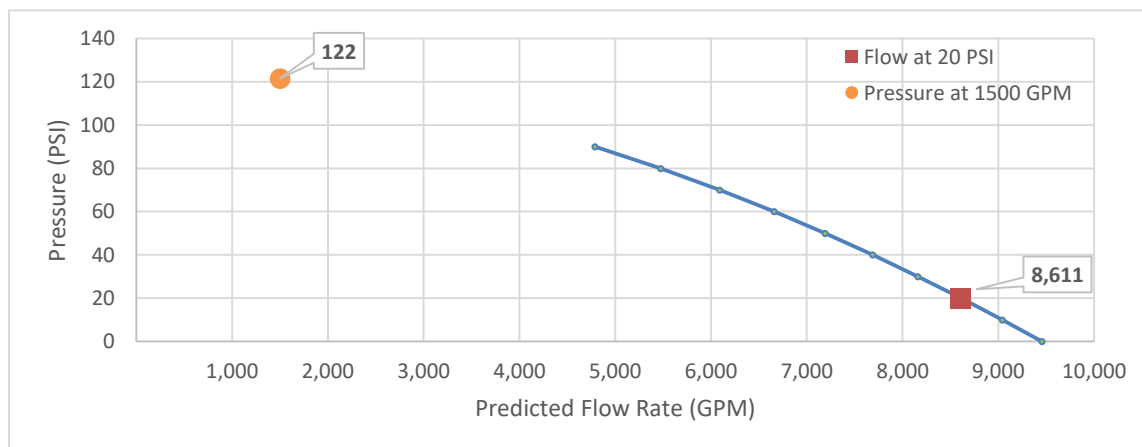
For the requested location: W 53rd Ave & N Tennyson St

Fire hydrant #: 330152
Main Size (inches): 12
Main Installed: 2002
Estimated USGS Elevation (ft): 5276

Approximate high static pressure (psi): 132
Approximate low static pressure (psi): 126

Results of the requested test are as follows

Static (psi): 126
Residual (psi): 121
Flow (gpm): 1500
Analysis performed by: WJS



Should you have any questions regarding this analysis please contact us at 303-628-6540 or pph@denverwater.org.

Comments:

7/28/20

Jodi Murray
MAG Builders, Inc.
jodi@magbuilders.com

Re: St Clair Pl & N Tennyson St, 300' W

Denver Water has completed an analysis to determine the available fire flow under peak day conditions for the above referenced project. The analysis was performed using the current Denver Water Distribution System all pipes computer simulation model.

Analysis was performed using EPANET Version 2. Some modeled results may have been adjusted due to measured pressure fluctuations using standardized ISO equations.

This model is field verified and represents the distribution system conditions for peak day demand for 2018 (400 mgd). Input data represents a snapshot GIS extraction of our entire transmission and distribution system at that time. Actual results may vary due to system conditions.

Results of this modeling are appropriate for fire sprinkler design but may not cover all requirements associated with fire hydrant supply to any particular site, including a "one side of loop out" scenario. Denver Water and the appropriate fire protection agency should be contacted to determine possible need for any additional on-site or off-site fire flow requirements.

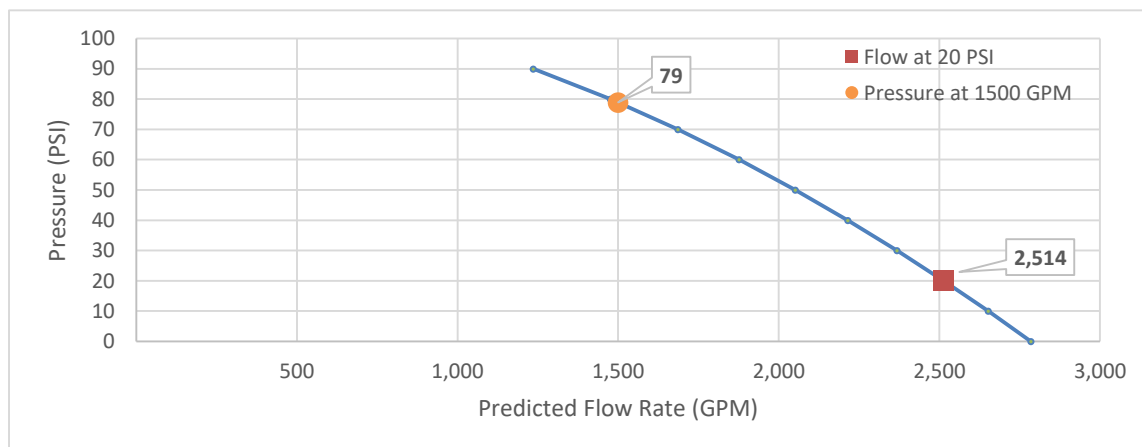
For the requested location: St Clair Pl & N Tennyson St, 300' W

Fire hydrant #: 330126
Main Size (inches): 6
Main Installed: 1988
Estimated USGS Elevation (ft): 5299

Approximate high static pressure (psi): 122
Approximate low static pressure (psi): 116

Results of the requested test are as follows

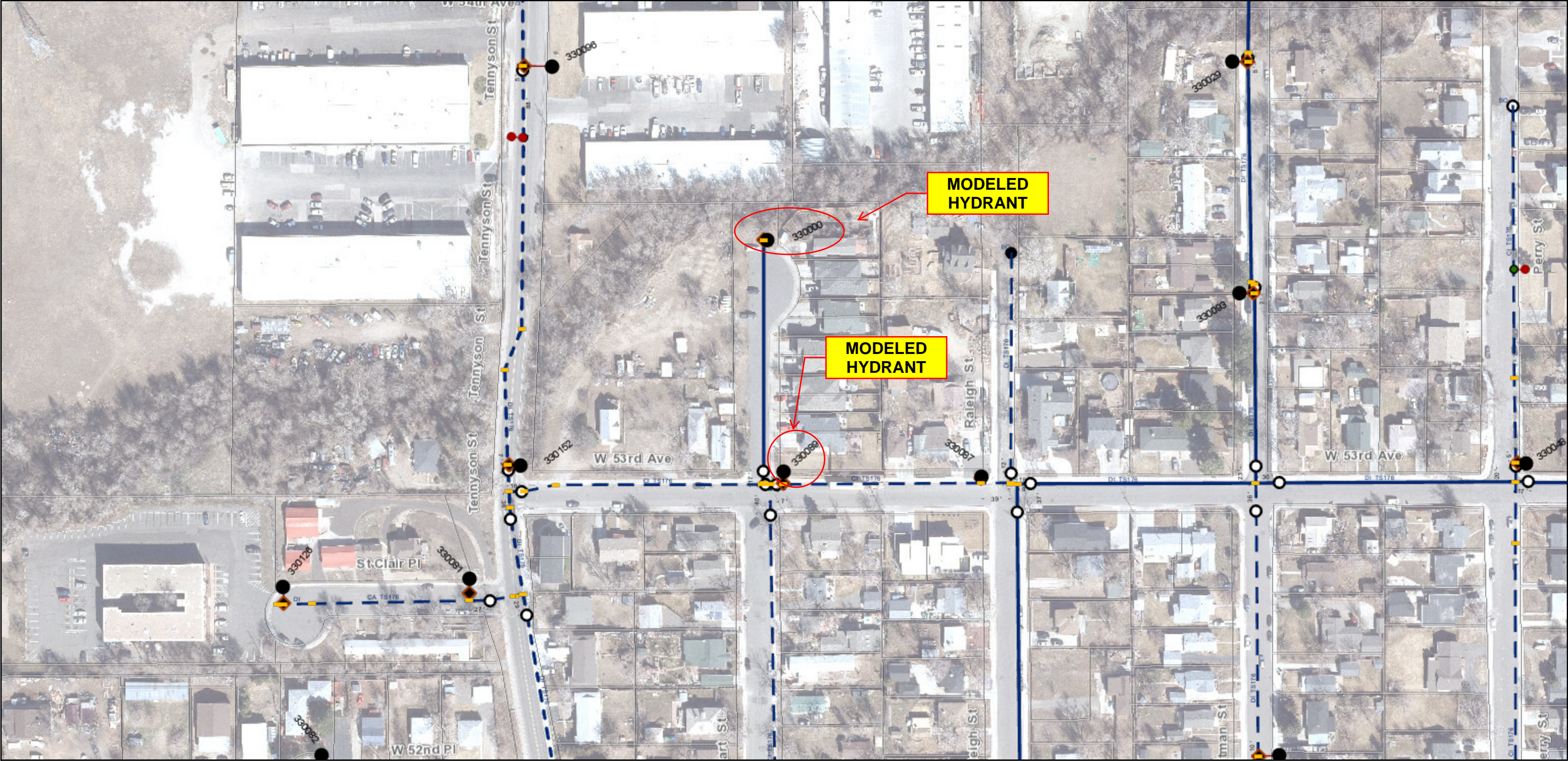
Static (psi): 116
Residual (psi): 79
Flow (gpm): 1500
Analysis performed by: WJS



Should you have any questions regarding this analysis please contact us at 303-628-6540 or pph@denverwater.org.

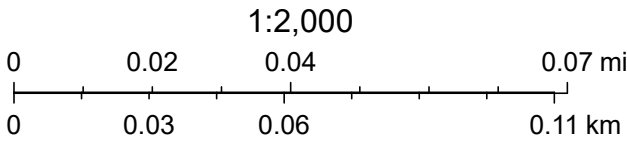
Comments:

53rd Ave & Tennyson St



8/4/2020, 7:20:51 AM

- | | | | | | |
|--|-----------------------|--|----------------|--|-----|
| | Casing | | Unknown | | 8" |
| | Process Line | | Not Applicable | | 10" |
| | Process Valve - SCADA | | Main Rehab | | 12" |
| | Open | | 3" & Smaller | | 14" |
| | Closed | | 4" | | 15" |
| | | | 6" | | |



Denver Water

8/4/20

Jodi Murray
MAG Builders, Inc.
jodi@magbuilders.com

Re: W 53rd Ave & Stuart St

Denver Water has completed an analysis to determine the available fire flow under peak day conditions for the above referenced project. The analysis was performed using the current Denver Water Distribution System all pipes computer simulation model.

Analysis was performed using EPANET Version 2. Some modeled results may have been adjusted due to measured pressure fluctuations using standardized ISO equations.

This model is field verified and represents the distribution system conditions for peak day demand for 2018 (400 mgd). Input data represents a snapshot GIS extraction of our entire transmission and distribution system at that time. Actual results may vary due to system conditions.

Results of this modeling are appropriate for fire sprinkler design but may not cover all requirements associated with fire hydrant supply to any particular site, including a "one side of loop out" scenario. Denver Water and the appropriate fire protection agency should be contacted to determine possible need for any additional on-site or off-site fire flow requirements.

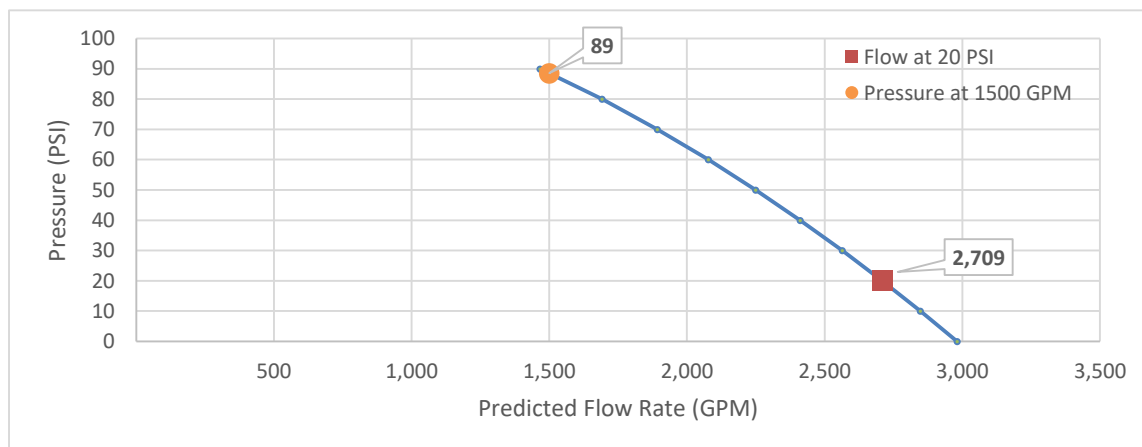
For the requested location: W 53rd Ave & N Stuart St, 320' N

Fire hydrant #: 330000
Main Size (inches): 8
Main Installed: 2001
Estimated USGS Elevation (ft): 5282

Approximate high static pressure (psi): 129
Approximate low static pressure (psi): 123

Results of the requested test are as follows

Static (psi): 123
Residual (psi): 89
Flow (gpm): 1500
Analysis performed by: WJS



Should you have any questions regarding this analysis please contact us at 303-628-6540 or pph@denverwater.org.

Comments:

8/4/20

Jodi Murray
MAG Builders, Inc.
jodi@magbuilders.com

Re: W 53rd Ave & Stuart St

Denver Water has completed an analysis to determine the available fire flow under peak day conditions for the above referenced project. The analysis was performed using the current Denver Water Distribution System all pipes computer simulation model.

Analysis was performed using EPANET Version 2. Some modeled results may have been adjusted due to measured pressure fluctuations using standardized ISO equations.

This model is field verified and represents the distribution system conditions for peak day demand for 2018 (400 mgd). Input data represents a snapshot GIS extraction of our entire transmission and distribution system at that time. Actual results may vary due to system conditions.

Results of this modeling are appropriate for fire sprinkler design but may not cover all requirements associated with fire hydrant supply to any particular site, including a "one side of loop out" scenario. Denver Water and the appropriate fire protection agency should be contacted to determine possible need for any additional on-site or off-site fire flow requirements.

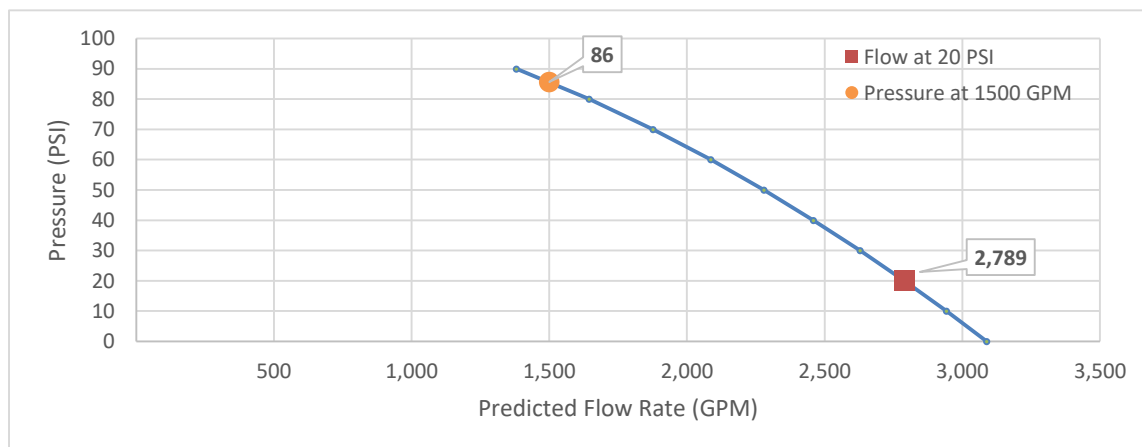
For the requested location: W 53rd Ave & N Stuart St

Fire hydrant #: 330089
Main Size (inches): 6
Main Installed: 1977
Estimated USGS Elevation (ft): 5298

Approximate high static pressure (psi): 122
Approximate low static pressure (psi): 116

Results of the requested test are as follows

Static (psi): 116
Residual (psi): 86
Flow (gpm): 1500
Analysis performed by: WJS



Should you have any questions regarding this analysis please contact us at 303-628-6540 or pph@denverwater.org.

Comments: