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June 5, 2020

Adams County  
Community & Economic Development Department  
4430 S. Adams County Parkway,  
1st Floor, Suite W2000A  
Brighton, CO 80601-8216

To whom this may concern:

Our Design proposes subdividing the existing 2.6 acre parcel located at 4301 W. 53<sup>rd</sup> into 18 individual lots plus a tract for the development of 9 duplexes and water detention. The parcel will be rezoned from R-2 to R-3 zoning to allow for the proposed duplex form, lot area & setbacks meeting R-3 zoning requirements. Private alleys will be dedicated easements for resident and fire access. We are requesting the vacation of the county-owned parcel located at the north end of the cul-de-sac and will in-turn be dedicating land to complete the cul-de-sac roadway.

All applicable standards for R-3 districts will be applied to this development including maximum allowed density, minimum lot widths, lot coverage, lot sizes and setbacks. The proposed duplexes are oriented towards the street and are of similar size and massing to the adjacent neighborhood. The 9 duplexes vary in style and have several housing models with differing materials, styles and articulation. Each duplex has a 2-car garage. Some have extra deep driveways allowing for additional off-street guest parking. There are three proposed guest parking spaces at the end of the cul-de-sac accessed from Stuart St.

We are applying for two waivers to the subdivision standards. The lot to depth width ratio waiver is being sought due to significant grading and site constraints. The parcel's topography drops about 30' on the NE portion of the lot, making a large portion of the lot not feasible to develop, limiting the available lot to depth ratio. The access to lots by private roads waiver is also being sought. The private roads allow for rear loaded garages, freeing up the façade frontage for landscaping and transparency to create a walkable and welcoming street presence. The access roads are designed for emergency vehicle access including fire apparatus access.

We will be working with Altitude Land Consulting civil engineers for all grading and utility requirements of the development to ensure that all Adams County and external agency requirements are met.

Thank you for your time and consideration and please accept this formal project description letter along with the submitted plans for the land use application.

Respectfully,

Realarchitecture Ltd.

Kendall Goodman AIA, Principal



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June 5, 2020

Adams County  
Community & Economic Development  
ATTN.: Alan Sielaff, Planner II, Case Manager  
4430 South Adamas County Parkway,  
1<sup>st</sup> Floor, Suite W2000B  
Brighton, Colorado 80601

Dear Mr. Sielaff:

The following letter and revised drawings respond to your review and comments for 53<sup>rd</sup> and Tennyson Row project at 4301 W. 53<sup>rd</sup> Ave, Log number PRC2020-00005. Responses are listed below in **red**. Please call or email if you have any questions or require additional information.

**Planning Comments:**

PLN01: General

1. Please remove Construction documents from land use case application materials. Those are only needed to for the engineering review case EGR2020-00007. Plans/Studies required as part of the land use review (Plat, Rezone, Condition Use) should remain.

**Response:**

*The construction documents are separated from the land use case application.*

2. Land Use application materials should be combined in a single document to avoid repetition of materials, i.e traffic letter included in multiple documents.

**Response:**

*Noted. No duplicate materials will be provided.*

3. References to "City" should be replaced with "county". These were found in the introductory letter and the site plan, but may be present elsewhere as well.

**Response:**

*The introductory letter and site plan have been revised to exclude references to "city".*

4. Please include additional narrative that includes written responses on how the application meets the approval criteria for each land use type. Criteria references will be provided for each below.

**Response:**

Additional narrative has been provided in the attached letter addressing the criteria references listed below.

PLN02: Request Summary

1. Preliminary Major Subdivision Plat to create 18 lots and 3 tracts on existing 2.16-acre property
2. Rezone from Residential-2 (R-2) to the Residential-3 (R-3) zone district, and;
3. Conditional Use Permit to construct 9 duplexes consisting of 18 units on individual lots in an R-3 zone district.

PLN03: Zoning and Land Use

1. Existing zoning = R-2 (Section 3-14)
2. Proposed zoning = R-3 (Section 3-15)
  - a. Two-Family Dwellings are a Permitted Condition Use in the R-3 zone district (Section 3-15-04).
  - b. There are no specific Conditional Use standards for two-family dwelling in the R-3 zone. Staff will review based on applicable standards for R-3 districts (Section 3-15), General Performance Standards for Residential Uses (4-07), and any other applicable performance standards in Chapter 4 Design Requirements and Performance Standards for Two-Family or Attached Single-Family Dwellings as applicable This includes Parking Standards (Section 4-12), Landscaping Standards (Section 4-16), and Site Design Considerations (Section 4-20).
  - c. Future Land Use Designation = Urban residential (Adams County Comprehensive Plan, Ch. 5).

PLN04: Site/Development Application History

1. A Conceptual Review Meeting was held on June 24th 2019 (PRE2019-00061) on the current proposal.
2. No building records for what appears to up to 3 single family structures on the property with 7-10 existing accessory structures.
  - a. Update: A demolition permit was issued for 11 structures on-site. Demo was completed 10/1/20 through BDP19-2969
3. Site has not yet been platted, Located at the boundary of the Berkeley Gardens Subdivision to the east and south.

4. There have been two previous Conceptual Review Meetings on this site (PRE2016-00006, PRE2018-00047) and a Temporary Use Permit for Inert Fill (TVM2019-00023) was issued last year.

PLN05: Major Subdivision Plat (PLT) Process

1. PLTs follow the process laid out in Section 2-02-19 and requires a two-step process for a Preliminary and Final Plat.
2. Preliminary Plat requires public hearings with the Planning Commission (PC) for recommendation and final approval by the Board of County Commissioners (BoCC). A Preliminary Plat expires two years following approval in a Final Plat has not been submitted.
3. Final Plat required only final approval by the BoCC along with a Subdivision Improvements Agreement (SIA) and approved construction plans for any required public improvements.

PLN06: Preliminary Major Plat Comments:

See comment response letter from Altitude Land Consultants for responses to Plat Comments.

PLN07: Rezoning Process

1. Rezoning follow the process laid out in Section 2-02-15 and requires public hearing with the PC for recommendation and final approval by the BoCC.

PLN08: Rezoning Comments

1. Criteria of Approval to be considered by the Planning Commission and Board of County Commissioners can be found in Section 2-02-15-06-02 as a Zoning Map Amendment.
2. Please see specific applicable long range plans and policies under Long Range Planning Review below. Overall, proposal generally conforms to County Comprehensive Plan, Balanced Housing Plan and the Southwest Area Framework Plan. There may be some conflicts with specifics of the Berkeley Neighborhood Plan regarding preference for single-family housing and maintaining rural feel of the neighborhood.

**Response:**

The long range plans and policies were reviewed.

PLN09: Conditional Use Permits (CUP) Process

1. CUPs follow the process laid out in Section 2-02-09, and require public hearings with the PC for recommendation and final approval by the BoCC.

2. CUPs generally have recommended expiration dates ranging from 5-10 years. Conditional Uses for residential uses are rare, however, and depending on staff's ability to support likely would recommend a longer or indefinite expiration. Please be aware this cannot be guaranteed result by staff and depending on any approved time period by the BoCC, the applicant or existing land owners at the time of expiration would be required to apply to renew the CUP in order to continue the use. Renewal would be subject to the same review and public hearing process as this application.
3. If the CUP is approved, a building permit must be issued for the use within one year or the approval will expire without either requesting extension from the PC, or needing to renew in full depending on any alternations to the site plan as a result of the Final Plat/SIA.

PLN10: Conditional Use Permit Comments

1. Criteria of Approval to be considered by the Planning Commission and Board of County Commissioners can be found in Section 2-02-09-06 as a Conditional Use.
2. Lot numbers on site plan and subdivision plat do not match  
**Response:**  
*The plat has been revised to match the lot numbers shown on the site plan.*
3. With the request to Rezone to R-3, a rowhome/townhome product would be able to be built at the desired unit densities without needing the CUP. This would allow for greater flexibility for the site configuration and only a conceptual site plan would be needed with the Subdivision and Rezone. What is the reasoning for wishing to still build duplexes here?  
**Response:**  
*While the rowhome/townhome product would conform with the existing R-3 we feel as though the duplex design will keep the lot similar to existing homes in the neighborhood. There are duplexes across the street on Stuart and more being built on 53<sup>rd</sup> and Raleigh. Building duplexes with attached garages and driveways will also allow for better parking for the neighborhood. Occupants of the homes will be less inclined to park on the street, and limiting disruption to the existing infrastructure. Finally, duplexes allow for more open space for the occupants in regards to lawns and landscaping, making the product more aesthetically pleasing to the community.*
4. Zoning Standards for R-3 district – Section 3-15
  - a. 3-15-07-04-01 MINIMUM FRONT SETBACK – The minimum front setback from a principal structure in a Residential-3 District shall be 20 feet.

- i. Site Plan is showing a 5 ft. encroachment throughout project for porches. Only uncovered steepes and stoops are allowed within the front setback, no covered structures.
- ii. In order to allow such an encroachment, a request for a Variance requiring separate public hearing process with the Board of Adjustment would be required. This can be found of the Current Planning Applications Packets page. See Section 2-02-23 for process and approval criteria.

**Response:**

The plans have been revised to eliminate all front porch encroachments; therefore, a variance request will not be pursued.

- b. 3-15-07-04-03 MINIMUM SIDE SETBACK – The minimum side setback for a principal structure in a R-3 district shall be 0 feet along common walls of adjoining dwelling units, 5 feet from an end unit when units are located on individual lots and 20 ft from an end unit when units are located on a single lot.
  - i. Only 9' between Duplex 6 & 7
  - ii. Please label setbacks to lot lines here and in all other lots.

**Response:**

All side setbacks have been dimensioned and comply with 3-15-07-04-03.

5. Architectural Standards/Project Compatibility, Section 4-07 Residential Use Performance Standards.

- a. Please provide proposed building elevations. Needed to determine conformance with compatibility standards and structure height.

**Response:**

Included in the resubmittal are elevations for each Duplex with the structure height dimensioned.

- b. 4-07-02-02-01 MAXIMUM LOT COVERAGE – Please provide lot coverages subject to principal structural maximum of 70%

**Response:**

Maximum lot coverage calcs are provided on the Site Plan and do not exceed 70%.

- c. 4-07-02-02-03 HOUSING MODEL VARIETY – Any development between 3 and 100 single-family dwelling units shall have at least 3 different types of housing models.
  - i. No evidence of more than 1 model provided

- ii. 4-07-02-02-04 DISTINGUISHING CHARACTERISTICS OF HOUSING MODELS – Each housing model shall have at least 3 characteristics which clearly distinguish it from the other housing models, including different floor plans, exterior materials, roof lines, garage placement, placement of the footprint on the lot, and/or building face.

**Response:**

Included in the resubmittal are plans and elevations for each Duplex. There is a variety of architectural styles that clearly distinguish each duplex, including the use of different materials, roof lines and variation in floor plans.

6. Parking Standards, Section 4-12

- a. 4-12-04-03 SPACES REQUIRED – 2 spaces for each dwelling unit. The Planning Commission may require up to 1 space for every 2 units for visitor parking.
  - i. Staff suggests the incorporation of visitor parking as neighbor concerns have been voiced about parking issues in the area, and the PC and BoCC has consistently voiced concerns regarding parking issues with new development.
  - ii. With the increased density afforded by the R-3 district, multifamily standards may be more appropriate. Staff alternatively suggests the multifamily visitor provision of 15% of required parking.

**Response:**

Three visitor parking spaces have been provided at the end of the Stuart Street cul-de-sac and are accessed from the street. All units in Duplex 5 and 6 have additional visitor parking available in their respective driveways. In total, there are 10 spaces provided.

7. Landscaping Standards, Section 4-16

- a. A Landscape Plan is required showing conformance with standards. See Section 4-16-10 for plan requirements.

**Response:** A landscape plan is included in this submission.

- b. Minimum Landscape Area, Section 4-16-07: All developments shall be required to landscape a minimum of 10% of the lot area. At least 50% of the required landscape area shall be placed so it abuts adjoining public rights of way excluding alleys and drives.

**Response:** These requirements have been met (see Site Data Tables on Sheets LS-1 and LS-4).

c. Landscape Bufferyards required adjacent to existing development, Section 4-16-06.

- i. Existing Residential to northwest – Bufferyard A: 5' min. bufferyard width with one tree per 8OLF of lot line.
- ii. Existing Industrial to north – Bufferyard D: 15' min. bufferyard width with 3 trees per 6OLF and 6' sight obscuring fence or wall located on the interior line of the bufferyard.

**Response:** Bufferyards meeting these requirements have been included in the landscape plan. The Bufferyard D includes 3 continuous hedges in place of a six (6) foot fence or wall per Section 4-16-06.

d. Single-Family Attached Dwelling Landscaping, see Section 4-16-09-01-02.

**Response:** Lot typical examples are included to meet the requirements of Section 4-16-09-01-02 (see Site Data Table on sheet LS-4).

e. Landscaping requirements found within general residential performance standards for Attached Single-Family Dwellings, Section 4-07-02-02

- i. Front and Side Setbacks: The entire front and side setbacks shall be landscaped except for driveways. Duplex 5 may not comply to the North.

**Response:** Front and side setbacks have been fully landscaped in all lot typical landscape plans.

- ii. Back Yard Setback: A minimum of 30% of the back yard shall be landscaped. Majority of lots may not be able to comply due to rear driveway access and will need to be pointed out regarding meeting approval criteria specifically #3.

**Response:** Landscape has been included in all back yards in lot typical designs in areas apart from the driveway. (See Site Data Table on Sheet LS-4.) Duplex 9 contains 18% landscape area in the backyard setback. The full setback contains live landscape material, but only 18% falls within the maximum grade requirements in Code Section 4-16-14. Additional landscape area is provided in the side setback.

- iii. Please include individual lot calculations with Landscape Plan



*Response: Individual lot calculations have been included on the landscape plan.*

- iv. “Lot Typical” examples of similar lot types are sufficient to prove the development can meet requirements, with final landscaping to be determined at time off building permit. If this is the case, a likely condition of approval will formalize the allowance.

*Response: Three lot typical examples are included on Sheets LS-3 and LS-4.*

- f. Landscape area grading minimum and maximums exist, see Section 4-16-08-01-01. Portions of the site along the detention pond may have difficulty falling within allowable range to be considered required landscaping.

*Response: Landscape areas that do exceed the maximums permitted by Section 4-16-08-01-01-01 have been excluded from landscape calculations (see site data tables on Sheet LS-1 and Sheet LS-4).*

- g. Sidewalk requirements are included in Section 4-20-06-04.

*Response: Sidewalks comply with section 4-20-06-04.*

- h. Garbage and loading requirements are included in Section 4-03-04-02-03.

- i. Site Plan does not indicate any common trash areas, assumed individual pickup. How would Duplex 5 be served?

*Response:*

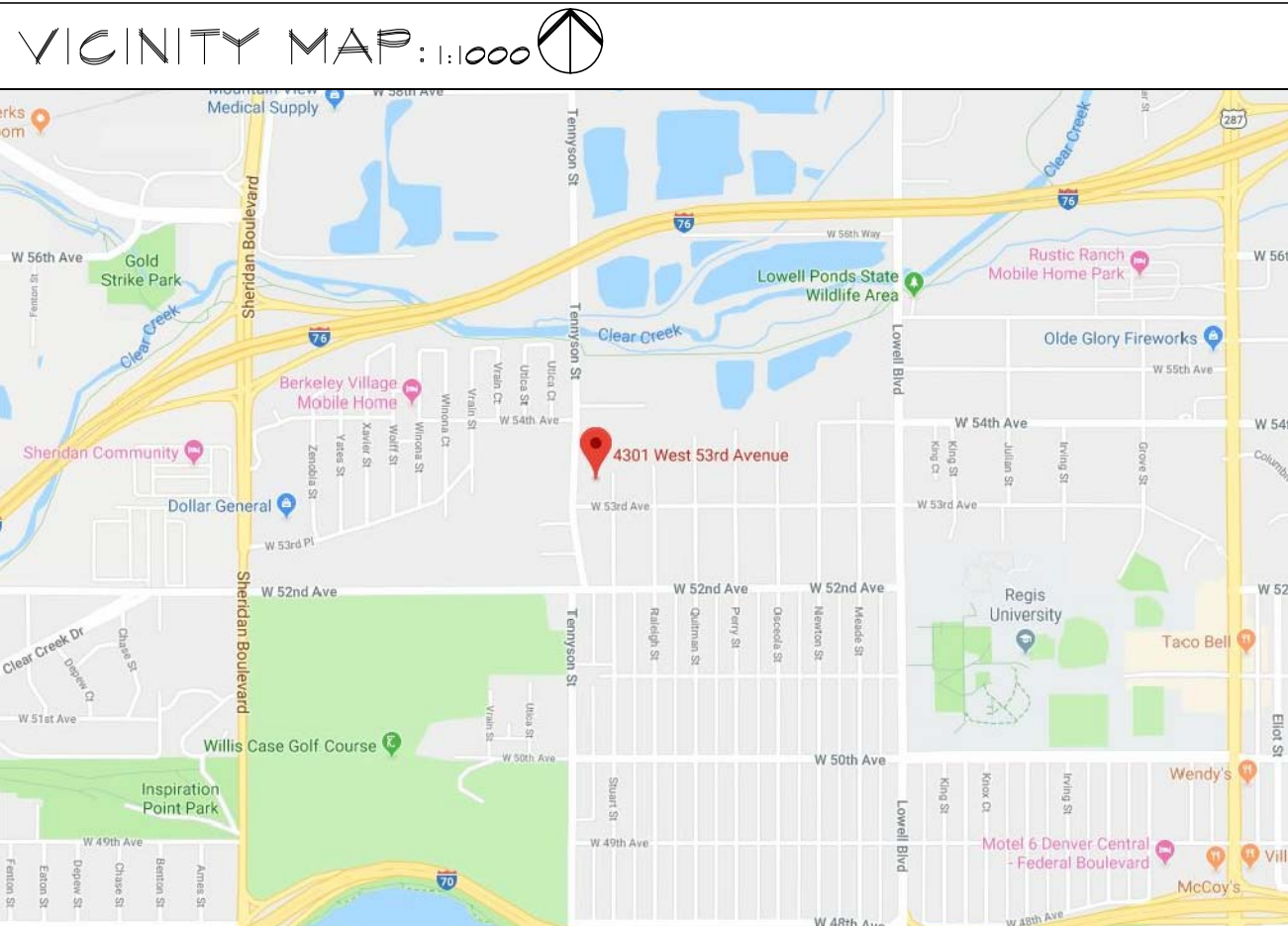
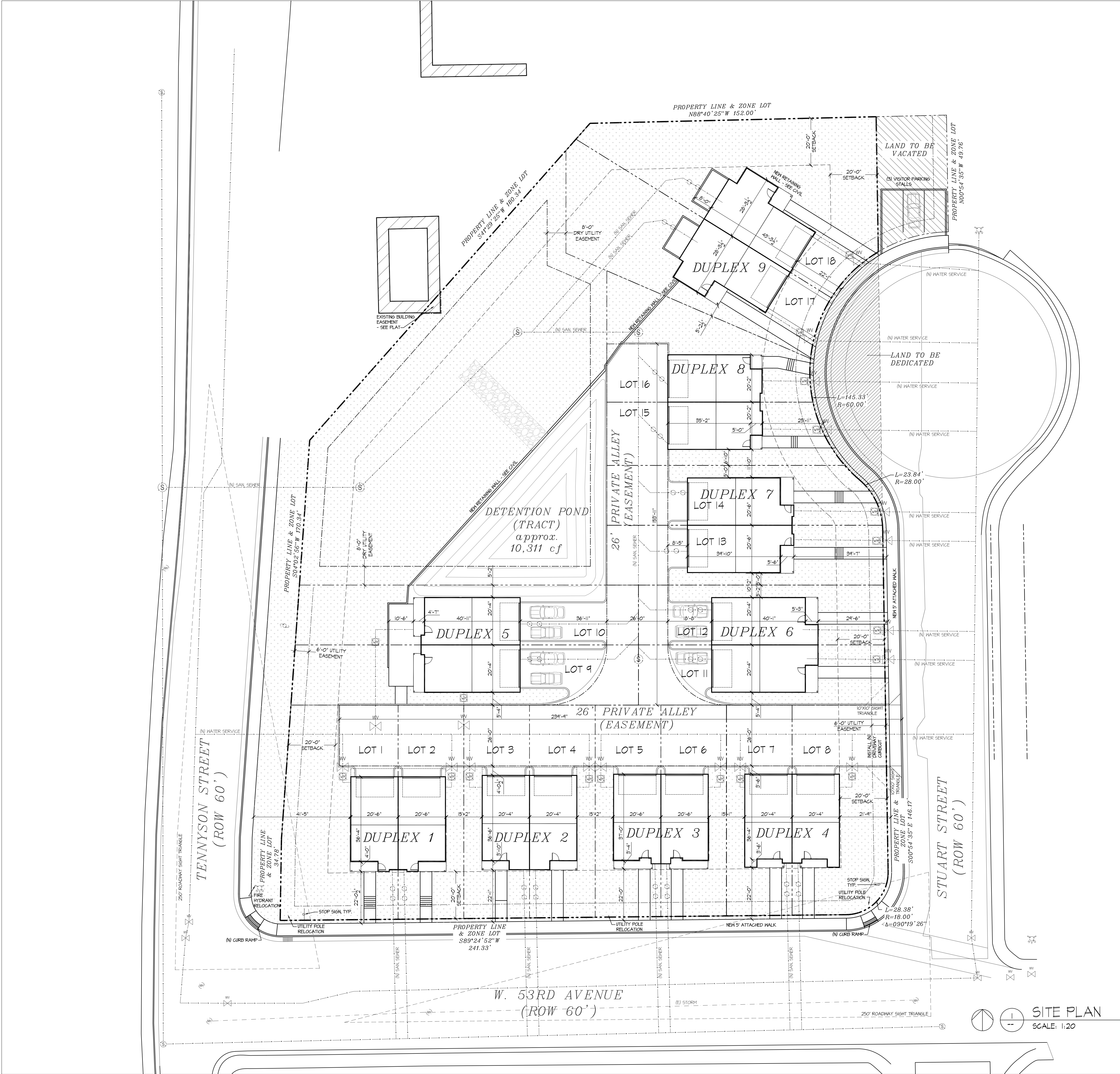
*Trash will be individual pickup. The trash truck may drive in the private alley to pick up trash carts.*

Thank you for your time and consideration and please accept this formal comment response letter along with the submitted plans for the development site plan resubmittal.

Respectfully,

Realarchitecture Ltd.  
Kendall Goodman AIA, Principal





SITE DATA CHART

LEGAL DESCRIPTION:  
A PORTION OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18M T3S R68W;  
BEGINNING AT THE SOUTHWEST CORNER OF LOT 24, BLOCK 10 BERKELEY GARDENS;  
THENCE WESTERLY 30 FEET TO A POINT ON THE BOUNDARY LINE OF WEST 53RD AVE;  
THENCE NORTH 350 FEET TO A POINT 30 FEET WEST OF THE NORTHWEST CORNER OF LOT 11,  
SAID BLOCK 10; THENCE WEST 152 FEET; THENCE IN A SOUTHWESTERLY DIRECTION 145.1' MORE  
OR LESS TO THE EAST BOUNDARY OF PRESENT LOCATION OF TENNYSON ROAD; THENCE IN  
SOUTHWESTERLY ON AND NEAR EAST BOUNDARY OF SAID ROAD 210.8 FEET; THENCE EAST 325  
FEET ALONG NORTH BOUNDARY OF WEST 53RD TO THE POINT OF BEGINNING EXCEPTING THE  
EAST 30' FOR ROAD. CITY OF DENVER; COUNTY OF ADAMS; STATE OF COLORADO.

ADDRESS:  
4301 WEST 53RD AVENUE

DESCRIPTION OF WORK:  
SUBDIVIDING THE EXISTING PARCEL INTO 20 LOTS PLUS A TRACT FOR 10 DUPLEXES AND  
WATER DETENTION. THE LOT WILL BE REZONED FROM R-2 TO R-3 ZONING TO ALLOW FOR THE  
PROPOSED DUPLEX FORM, LOT AREA & SETBACKS MEETING R-3 ZONING REQUIREMENTS.  
PRIVATE ALLEYS WILL BE DEDICATED EASEMENTS FOR RESIDENT AND FIRE ACCESS. WE ARE  
REQUESTING THE VACATION OF THE COUNTY-OWNED PARCEL LOCATED AT THE NORTH END OF  
THE CUL-DE-SAC AND WILL IN-TURN BE DEDICATING LAND TO COMPLETE THE CUL-DE-SAC  
ROADWAY.

CURRENT ZONE DISTRICT:	R-2
PROPOSED ZONE DISTRICT:	R-3
PROPOSED USE:	DUPLEX
MINIMUM LOT SIZE:	2,500 SF
MINIMUM DUPLEX LOT FRONTAGE:	50'-0"
FRONT SETBACK:	20'-0"
SIDE STREET SETBACK:	20'-0"
SIDE SETBACK:	20'-0"
REAR SETBACK:	20'-0"

LOT NO.	WIDTH AT SETBACK	AREA	CAR ACCESS	LOT COVERAGE (10% MAX)
LOT 1	50'-0"	4412 SF	REAR	16.9%
LOT 2	28'-0"	2568 SF	REAR	29.4%
LOT 3	28'-0"	2560 SF	REAR	29.9%
LOT 4	28'-0"	2552 SF	REAR	29.9%
LOT 5	28'-0"	2544 SF	REAR	29%
LOT 6	28'-0"	2536 SF	REAR	29.1%
LOT 7	28'-0"	2528 SF	REAR	29.8%
LOT 8	40'-10"	3565 SF	REAR	29.4%
LOT 9	25'-0"	3680 SF	REAR	22.5%
LOT 10	25'-0"	3636 SF	REAR	22.7%
LOT 11	25'-0"	2626 SF	REAR	32.4%
LOT 12	25'-0"	2616 SF	REAR	32.5%
LOT 13	25'-0"	2919 SF	REAR	28.8%
LOT 14	25'-0"	2744 SF	REAR	30.1%
LOT 15	28'-4"	2634 SF	REAR	29.4%
LOT 16	27'-6"	3196 SF	REAR	24.2%
LOT 17	30'-3"	4402 SF	FRONT	22.4%
LOT 18	46'-0"	5806 SF	FRONT	17%

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PREPARED FOR:  
53RD AND TENNYSON LLC  
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DENVER, CO 80209

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REALARCHITECTURE  
NOLAN  
UNREALCONCEPTS

DRAWN	DLB KG
DATE	2-12-2020
PROJECT NUMBER	1866
REVISION	
SITEPLAN	
SHEET #	



# 53RD AND TENNYSON ROW - LANDSCAPE PLAN

A PART OF THE NORTHEAST ¼ OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.  
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO.  
(LOCATED AT: 4301 WEST 53RD AVENUE, DENVER, CO 80212.)



ALTITUDE  
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CIVIL | SURVEY | PLANNING | LANDSCAPE

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53RD AND TENNYSON ROW  
LANDSCAPE PLAN  
ADDRESS: 4301 W. 53RD AVENUE, DENVER, CO 80212  
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO

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NO.    DATE    **REVISION:**    BY

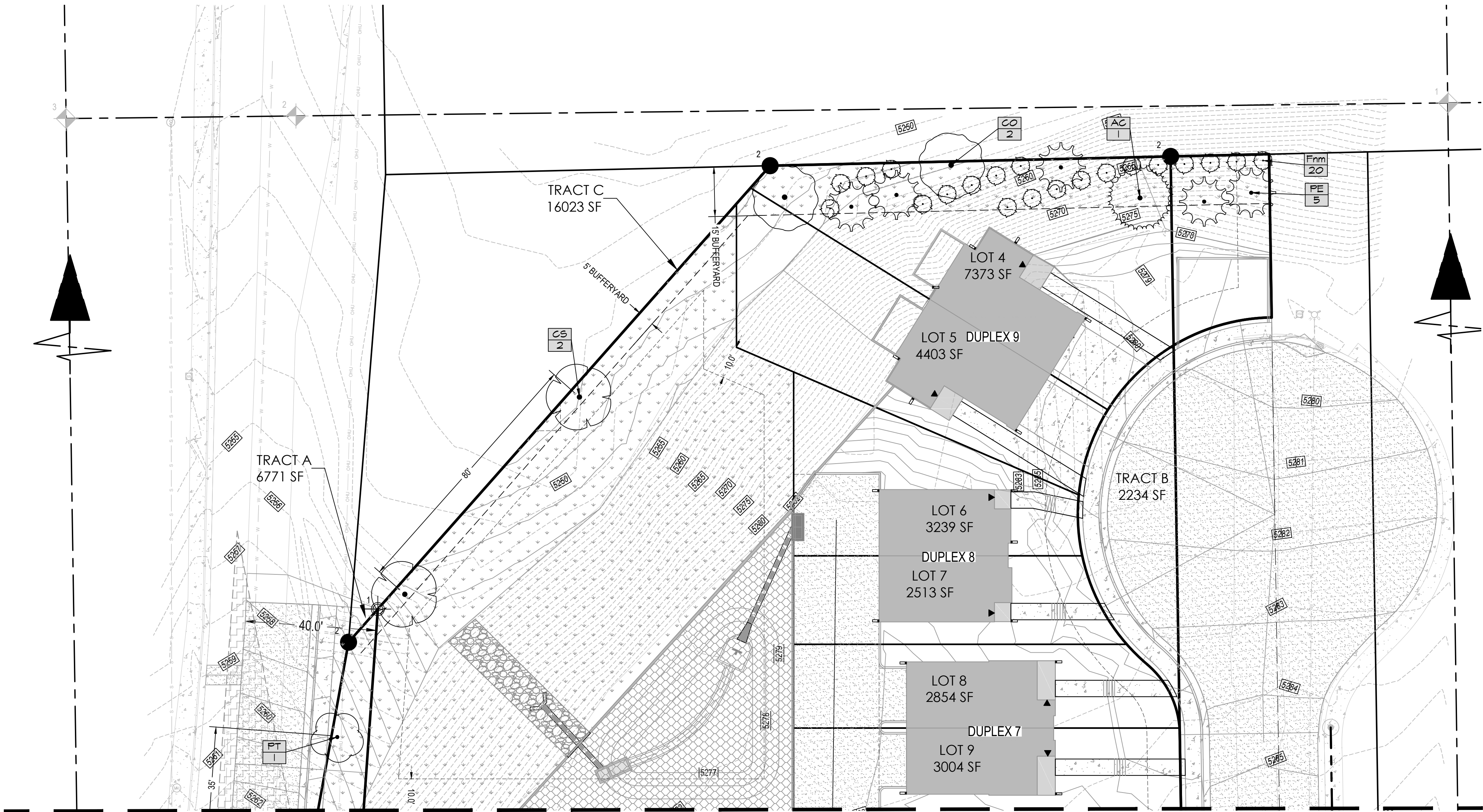
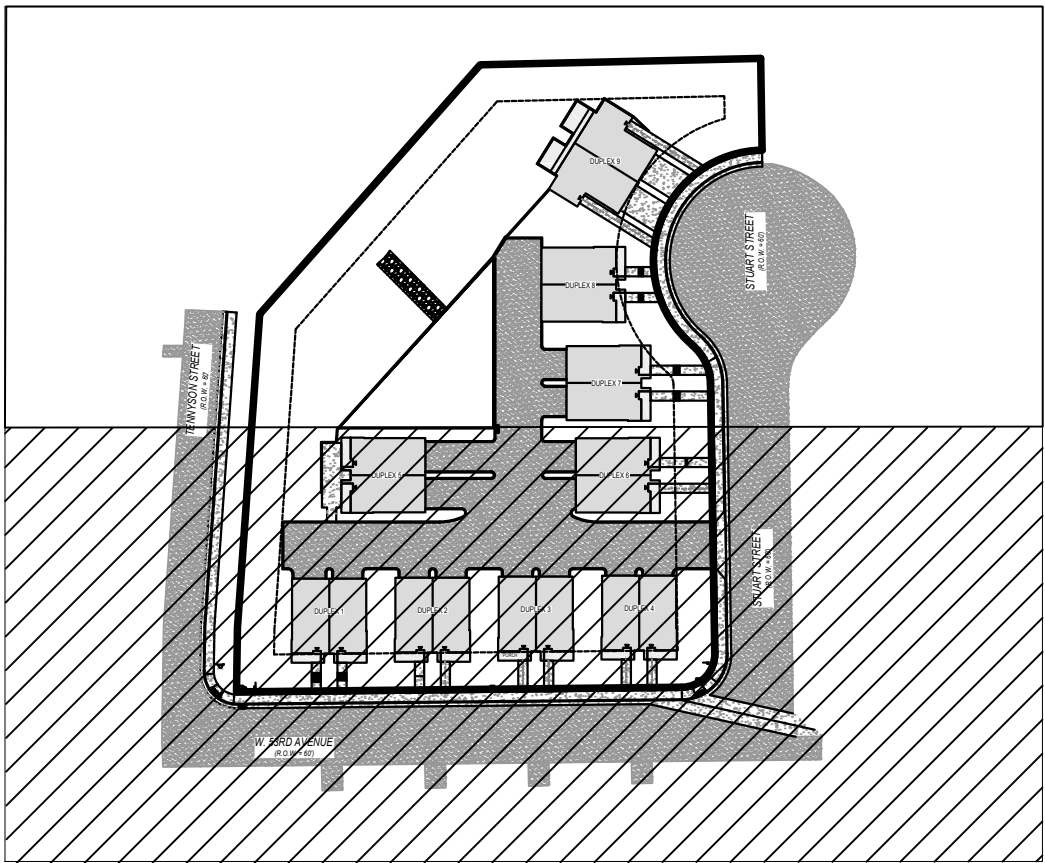
DATE: 05.29.2020  
DRAWN BY: TPL  
CHECKED BY: KAW

LANDSCAPE  
PLAN 1.1



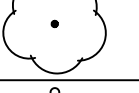


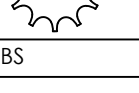

LS-1



SHEET 1 OF 5

53RD & TENNYSON DUPLEXES



MATCH LINE WITH SHEET 14.0

PLANT SCHEDULE						
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	MATURE SIZE
	CS	2	Catalpa speciosa	Northern Catalpa	2' Cal.	50' X 60' H
	CO	2	Celtis occidentalis	Common Hackberry	2' Cal.	50' x 50' H
	PT	2	Ptelea trifoliata	Common Hoptree	2' Cal.	15' X 15' H
	QU	1	Quercus undulata	Wavyleaf Oak	2' Cal.	15' X 20' H
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	MATURE SIZE
	AC	1	Abies concolor	White Fir	2' Cal.	25' x 55' H
	PE	5	Pinus edulis	Pinon Pine	2' Cal.	15' X 35' H
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	Fnm	20	Forestiera neomexicana	New Mexican Privet	3' Ht.	12' X 15' H

GROUND COVER SCHEDULE			
GROUND COVERS	QTY	BOTANICAL NAME	SIZE
	14,141 sf	Low Grow mix 30% Ephraim Crested Wheatgrass, 25% Sheep Fescue, 20% Perennial Rye, 15% Chewings Fescue	seed
	3,840 sf	MHFD/UDFCD Native Seed Mix for Rain Gardens See Detail B1-17	seed

## SITE DATA TABLES

Bufferyard Requirements - Section 14-16-06						
Bufferyard	Width (FT)	Length (FT)	Trees Required	Trees Provided	6 FT Fence/Wall Required	Shrub Hedge Substitutes Provided
North Bufferyard (Type D)	15	166	8 (1 tree per 60FT)	8	YES	162 FT
Northwest Bufferyard (Type A)	5	160	2 (1 tree per 80FT)	2	NO	N/A

Lot Landscaping Requirements - Section 4-16-07						
Lot area (SQ FT)	Required landscape 10% of lot area (SQ FT)	Provided landscape (SQ FT)*	Required ROW landscape 50% of required landscape (SQ FT)	Provided ROW landscape (SQ FT)	Live cover (≥75% of landscape area) (SQ FT)	Non-live cover (≤25% of landscape area) (SQ FT)
18398	1840	4330	920	1010	4330 (100%)	0

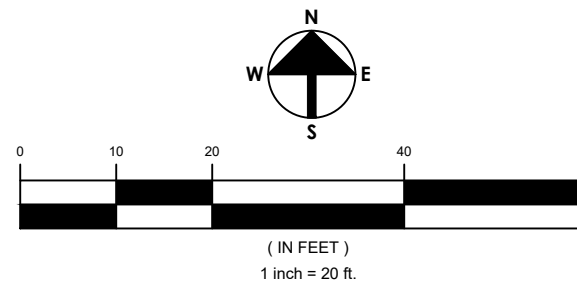
\*This area includes only landscape areas with a slope of 100:1 to 4:1, per Code Section 4-16-14.

### SIGHT TRIANGLE RESTRICTIONS

- 10' X 10' PEDESTRIAN SIGHT TRIANGLES - NO ITEMS THAT ARE WIDER THAN 18" MAY BE TALLER THAN 30" WITHIN THIS TRIANGLE.
- 30' X 30' CORNER SIGHT TRIANGLES - CORNER TRIANGLES MUST BE FREE OF ALL ITEMS OVER 30" IN HEIGHT EXCEPT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT.
- ROADWAY SIGHT TRIANGLES - NO ITEMS THAT ARE WIDER THAN 18" MAY BE TALLER THAN 30" WITHIN THIS TRIANGLE EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT.

### LEGEND:

--- 6" Steel Rolled-Top Edging

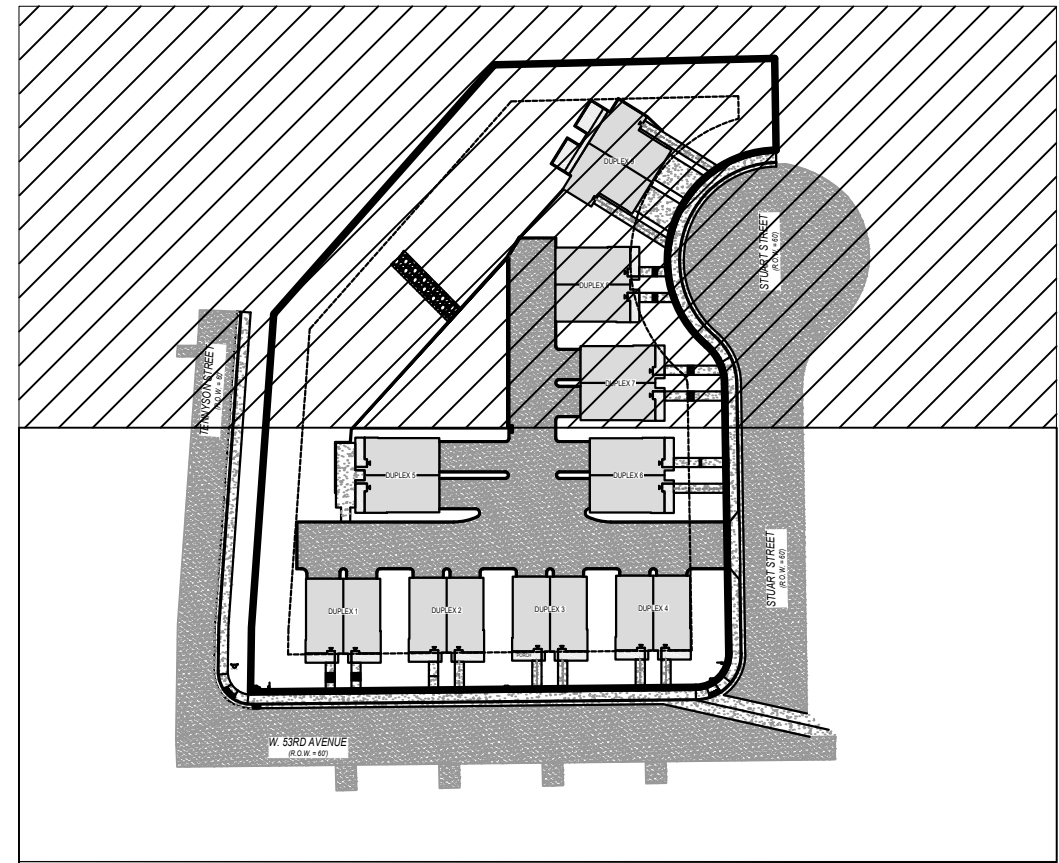
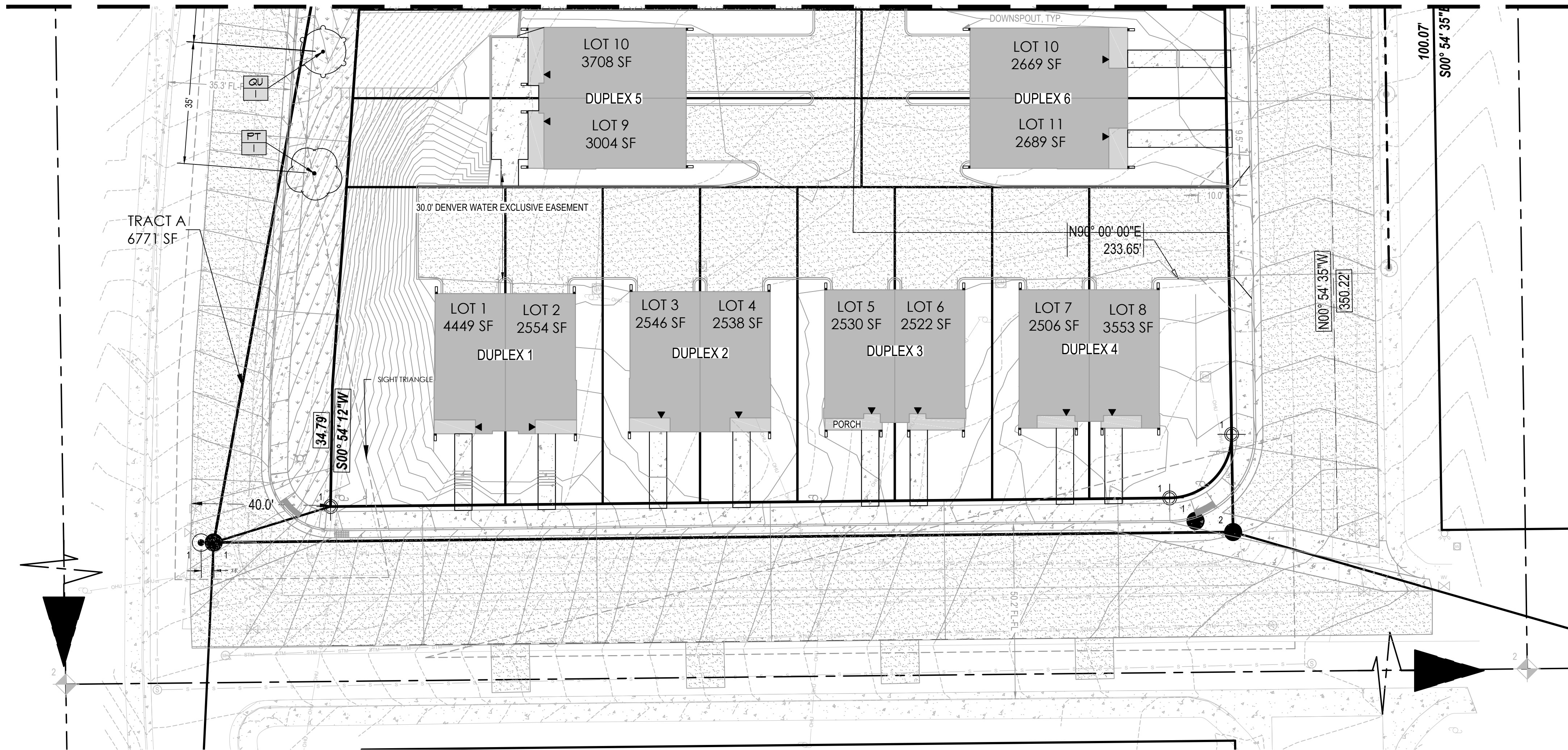




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(LOCATED AT: 4301 WEST 53RD AVENUE, DENVER, CO 80212.)

MATCH LINE WITH SHEET 13.0



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NO.	DATE	REVISION:	BY
-----	------	-----------	----

DATE:	05.29.2020
DRAWN BY:	TPL
CHECKED BY:	KAW

**LANDSCAPE  
PLAN 1.2**

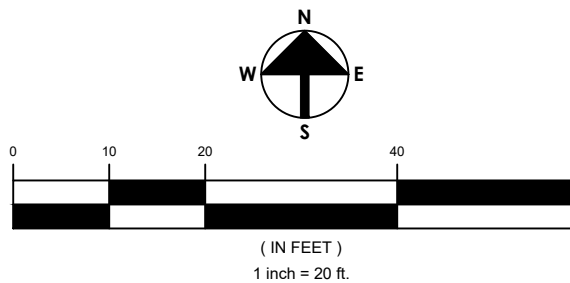
**LS-2**

SHEET 2 OF 5

53RD & TENNYSON DUPLEXES

**LEGEND:**

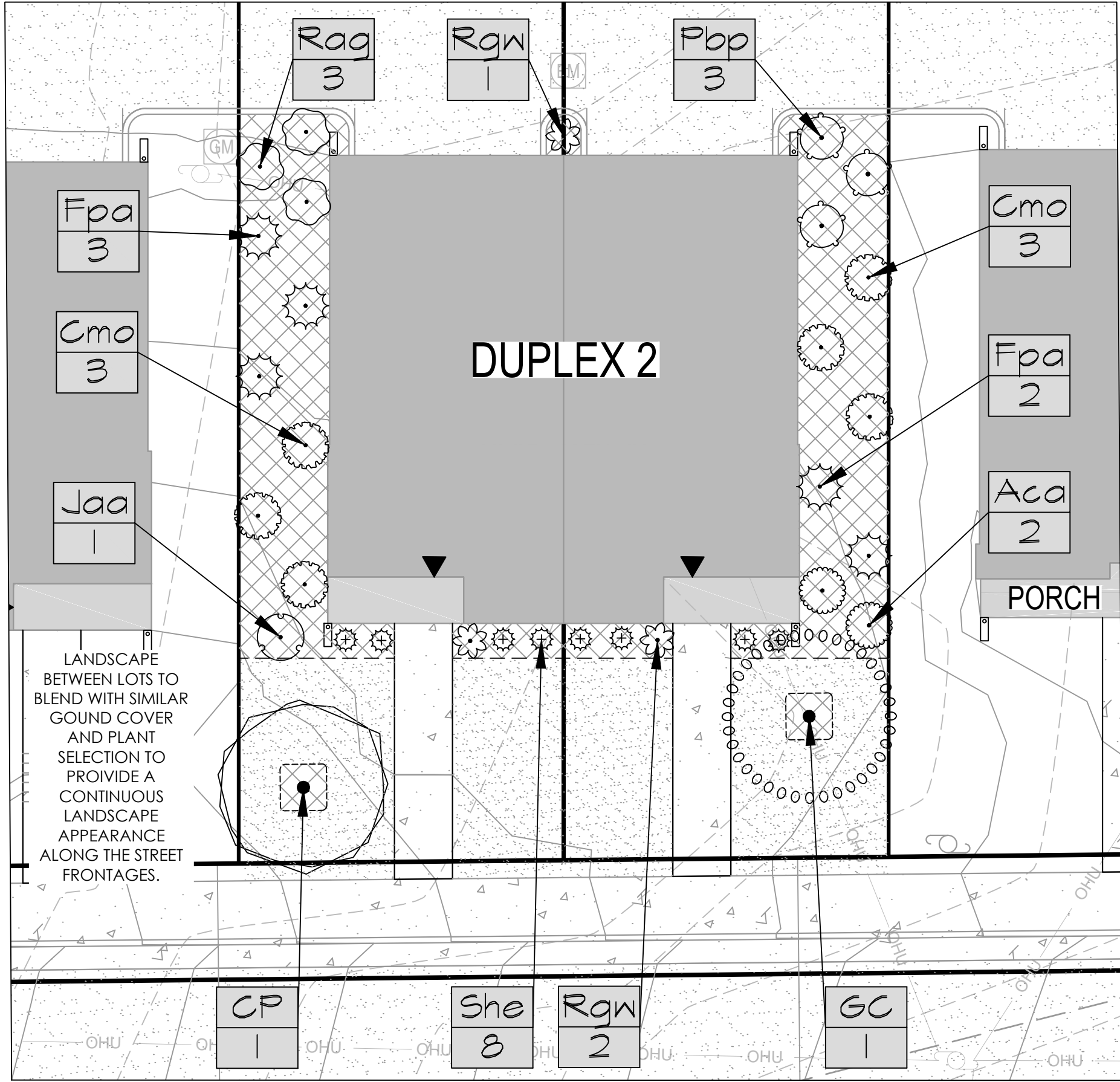
--- 6" Steel Rolled-Top Edging



# 53RD AND TENNYSON ROW - LANDSCAPE PLAN

A PART OF THE NORTHEAST ¼ OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.  
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO.  
(LOCATED AT: 4301 WEST 53RD AVENUE, DENVER, CO 80212.)

LOT TYP (DUPLEX 1,2,3,4,6,7,8)



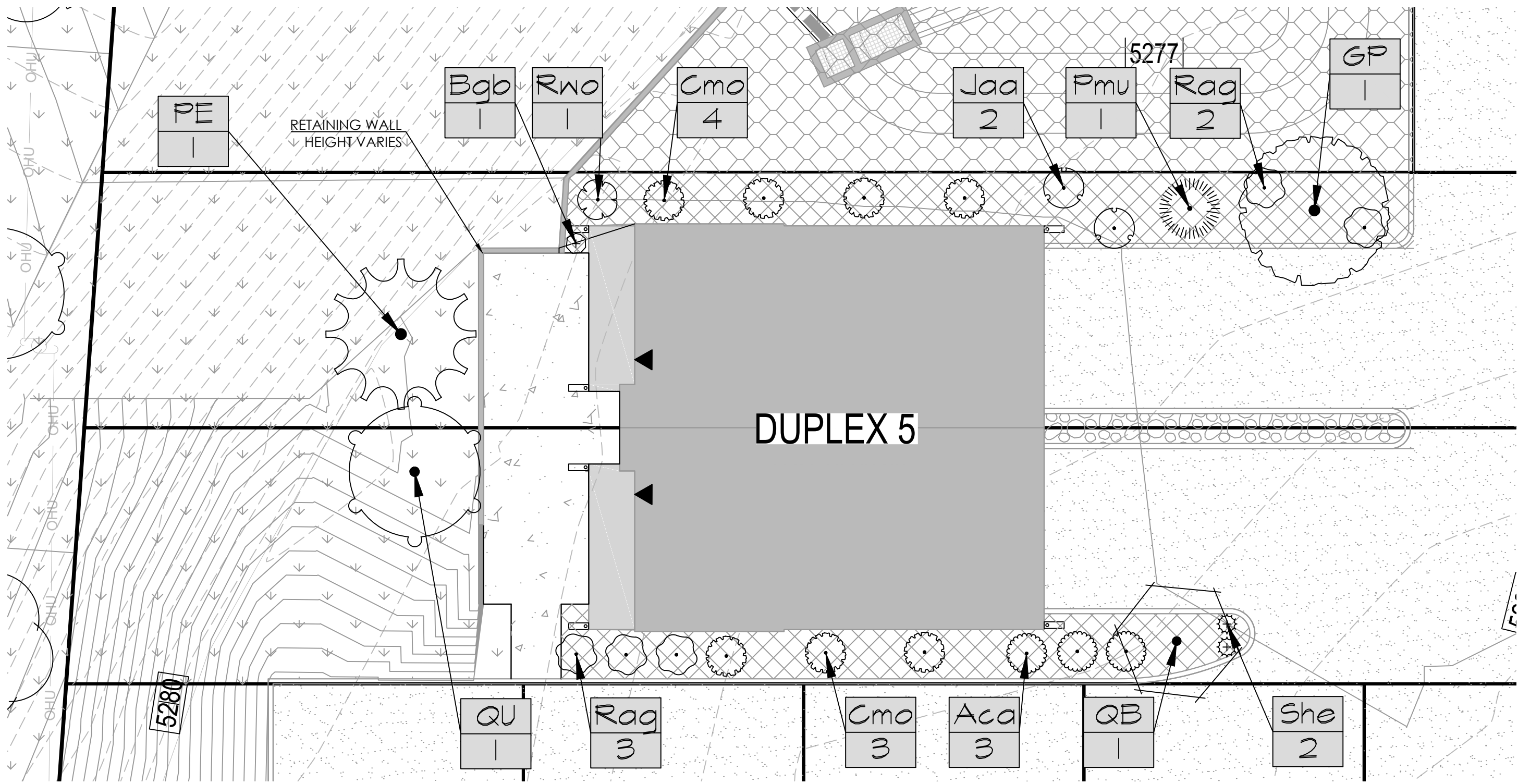
PLANT SCHEDULE: LOT TYP-DUPLEX 1,2,3,4,6,7,8

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER SIZE	MATURE SIZE
	CP	1	Celtis occidentalis `JFS-KSU1` TM / Prairie Sentinel Hackberry	2' Cal	15' X 40'H
	GC	1	Gleditsia triacanthos inermis `Continental` / Continental Honey Locust	2' Cal.	15' X 35'H
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	Aca	2	Amorpha canescens / Leadplant	#5	36" X 48"H
	Cmo	6	Cercocarpus montanus / Alderleaf Mountain Mahogany	#5	48" x 60"H
	Fpa	5	Fallugia paradoxa / Apache Plume	#5	60" X 60"H
	Jaa	1	Jamesia americana / Waxflower	#5	60" X 60"H
	Pbp	3	Prunus besseyi Pawnee Buttes / Creeping Western Sand Cherry	#5	60" X 12"H
	Rag	3	Rhus aromatica `Gro-Low` / Gro-Low Fragrant Sumac	#5	72" X 18"H
	Rgw	3	Ribes aureum `Gwen's Buffalo` / Gwen's Buffalo Golden Currant	#5	60" X 60"H
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	She	8	Sporobolus heterolepis / Prairie Dropseed	#1	24" x 24"H

GROUND COVER SCHEDULE: LOT TYP-DUPLEX 1,2,3,4,6,7,8

GROUND COVERS	QTY	DESCRIPTION	SIZE
	597 sf	Festuca arundinacea `Rhizomatous RTF` / RTF Tall Fescue	sod
	869 sf	Shredded Organic Tree Mulch	3" depth

LOT TYP (DUPLEX 5)



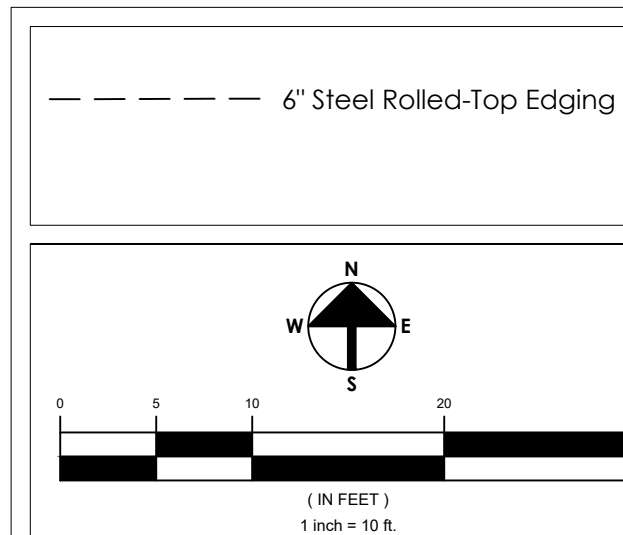
PLANT SCHEDULE: LOT TYP-DUPLEX 5

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER SIZE	MATURE SIZE
	GP	1	Ginkgo biloba `Princeton Sentry` / Princeton Sentry Ginkgo	2' Cal	15' X 35'H
	QB	1	Quercus bicolor `Bonnie and Mike` TM / Beacon Oak	2' Cal	12' X 30'H
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER SIZE	MATURE SIZE
	PE	1	Pinus edulis / Pinon Pine	2' Cal	15' X 35'H
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	Aca	3	Amorpha canescens / Leadplant	#5	36" X 48"H
	Cmo	3	Cercocarpus montanus / Alderleaf Mountain Mahogany	#5	48" x 60"H
	Jaa	2	Jamesia americana / Waxflower	#5	60" X 60"H
	Pmu	1	Pinus mugo pumilio / Dwarf Mugo Pine	#5	8" X 48" H
	Rag	5	Rhus aromatica `Gro-Low` / Gro-Low Fragrant Sumac	#5	72" X 18"H
	Rwo	1	Rosa woodsii / Mountain Rose	#5	36" X 48"H
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	Bgb	1	Bouteloua gracilis `Blonde Ambition` / Blonde Ambition Blue Grama	#1	12" X 18"H
	She	2	Sporobolus heterolepis / Prairie Dropseed	#1	24" x 24"H

GROUND COVER SCHEDULE: LOT TYP-DUPLEX 5

GROUND COVERS	QTY	DESCRIPTION	SIZE
	107 sf	3/4" River Rock	3" depth
	2,079 sf	Low Grow mix 30% Ephraim Crested Wheatgrass, 25% Sheep Fescue, 20% Perennial Rye, 15% Chewings Fescue	seed
	899 sf	Shredded Organic Tree Mulch	3" depth

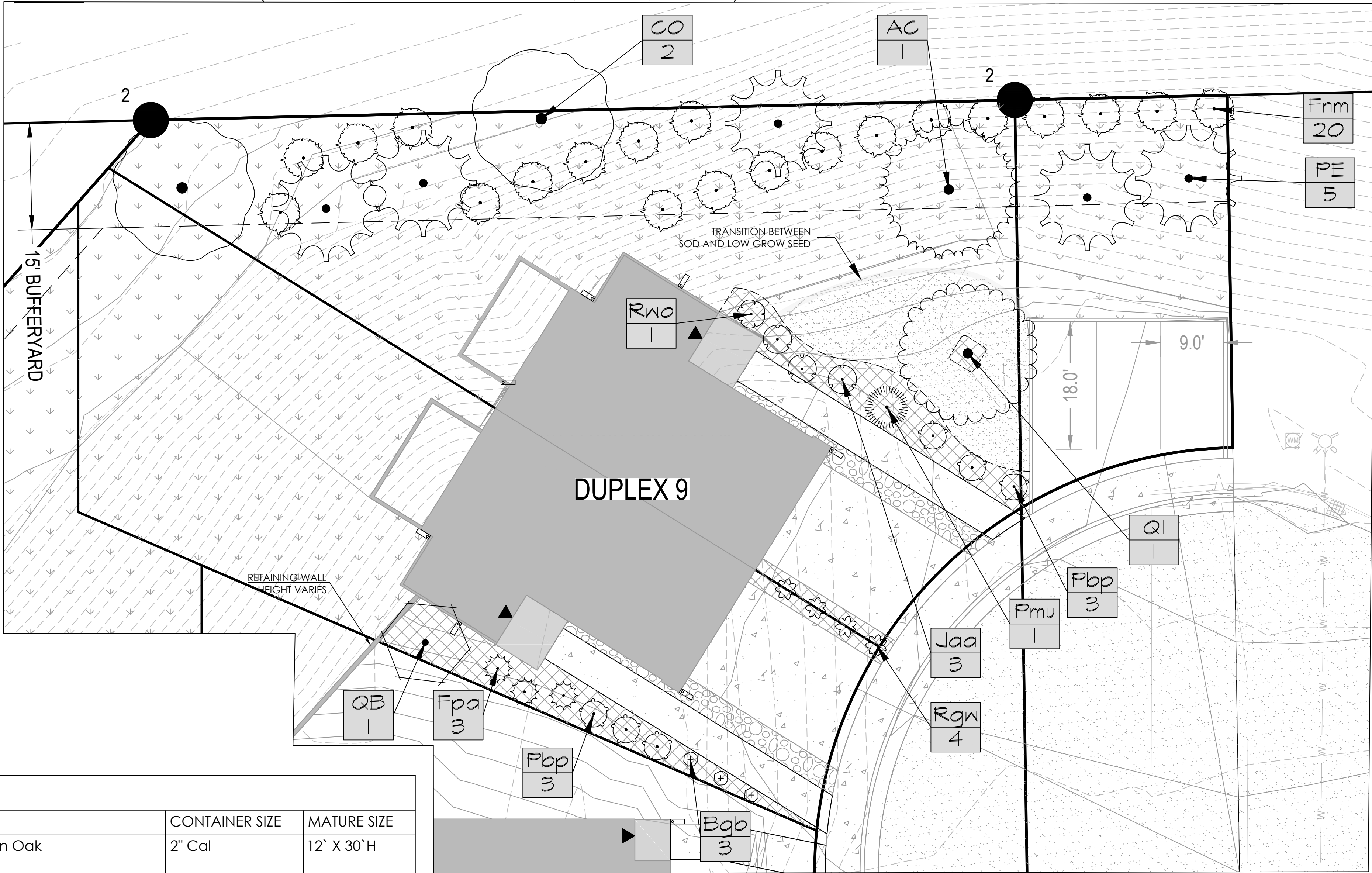
LEGEND:





53RD AND TENNYSON ROW - LANDSCAPE PLAN

A PART OF THE NORTHEAST ¼ OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.  
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO.  
(LOCATED AT: 4301 WEST 53RD AVENUE, DENVER, CO 80212.)



PLANT SCHEDULE: LOT TYP-DUPLEX 9

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER SIZE	MATURE SIZE
	QB	1	Quercus bicolor `Bonnie and Mike` TM / Beacon Oak	2" Cal	12" X 30" H
	QI	1	Quercus imbricaria / Shingle Oak	2" Cal	50" x 50" H
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	Fpa	3	Fallugia paradoxa / Apache Plume	#5	60" X 60"H
	Jaa	3	Jamesia americana / Waxflower	#5	60" X 60"H
	Pmu	1	Pinus mugo pumilio / Dwarf Mugo Pine	#5	8" X 48" H
	Pbp	6	Prunus besseyi Pawnee Buttes / Creeping Western Sand Cherry	#5	60" X 12"H
	Rgw	4	Ribes aureum `Gwen`s Buffalo` / Gwen`s Buffalo Golden Currant	#5	60" X 60"H
	Rwo	1	Rosa woodsii / Mountain Rose	#5	36" X 48"H
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	Bgb	3	Bouteloua gracilis `Blonde Ambition` / Blonde Ambition Blue Grama	#1	12" X 18"H

GROUND COVER SCHEDULE: LOT TYP-DUPLEX 9

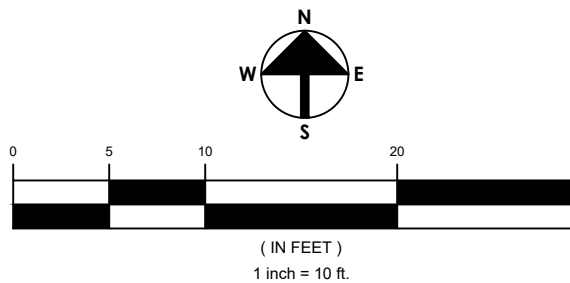
GROUND COVERS	QTY	BOTANICAL NAME	SIZE
	218 sf	3/4" River Rock	3" depth
	542 sf	Festuca arundinacea `Rhizomatous RTF`	sod
	3,844 sf	Low Grow mix 30% Ephraim Crested Wheatgrass, 25% Sheep Fescue, 20% Perennial Rye, 15% Chewings Fescue	seed
	690 sf	Shredded Organic Tree Mulch	3" depth

Lot Landscaping Requirements - Section 4-16-07													
Duplex	Lot area (SQ FT)	Required landscape 10% of lot area (SQ FT)	Provided landscape (SQ FT)*	Required ROW landscape 50% of required landscape (SQ FT)	Provided ROW landscape (SQ FT)	Trees Required	Trees Provided	Shrubs required	Shrubs provided	Live cover (≥75% of landscape area) (SQ FT)	Non-live cover (≤25% of landscape area) (SQ FT)	Total Backyard Setback area (SQ FT)	Backyard Setback landscape area (≥30% of landscape area) (SQ FT)*
Duplex Typ (1,2,3,4,6,7,8)	3710	371	1705	186	1004	2	2	10	23	1705 (100%)	0	197	75 (38%)
Duplex 5	6561	656	1318	328	507	2	4	10	19	1211 (82%)	107 (8%)	2598	1279 (49%)
Duplex 9	11904	1190	2906	595	738	2	2	10	14	2688 (92%)	218 (8%)	2792	489 (18%)**

\*This area includes only landscape areas with a slope of 100:1 to 4:1, per Code Section 4-16-14.  
\*\*100% of the backyard setback is landscaped; however, only 18% qualifies per Code Section 4-16-14. Additional landscape area is provided in the side setback.

LEGEND:

--- 6" Steel Rolled-Top Edging



CIVIL | SURVEY | PLANNING | LANDSCAPE  
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2727 N. CASCADE AVE., SUITE #160  
COLORADO SPRINGS, CO 80907  
  
720.594.9494  
INFO@ALTITUDELANDCO.COM  
WWW.ALTITUDELANDCO.COM

53RD AND TENNYSON ROW  
LANDSCAPE PLAN  
ADDRESS: 4301 W. 53RD AVENUE, DENVER, CO 80212  
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO

18-213

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REVISION:		
NO.	DATE	BY

DATE: 05.29.2020  
DRAWN BY: TPL  
CHECKED BY: KAW

LOT TYP.  
LANDSCAPE  
PLAN 1.2

LS-4

SHEET 4 OF 5

# 53RD AND TENNYSON ROW - LANDSCAPE PLAN

A PART OF THE NORTHEAST ¼ OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.  
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO.  
(LOCATED AT: 4301 WEST 53RD AVENUE, DENVER, CO 80212.)

## Landscape Notes:

### General Notes:

- Contractor shall provide all labor, materials, tools and service necessary to furnish and install all work specified and as shown on these plans.
- Existing tree stumps on site shall be grinded and removed unless otherwise noted. When existing trees are to be removed from the site, tree stumps shall be grinded and removed.
- Contractor shall verify final boundaries for the tree protection zone (TPZ) with Forestry staff prior to commencement of construction/demolition activities.
- Landscape plan is intended for city Site Development Plans purposes only and not indented for construction.

### Trees, Shrubs, Perennials and Ornamental Grasses:

- Cultivate the subsoil on all planting beds, sod and seed areas per the landscape detail provided.
- The tilling of planting beds and placement of backfill is to occur just prior to planting; thereafter, protection from compaction and construction traffic shall be provided.
- All plant materials shall have backfill carefully placed around the base and sides of ball to two-thirds (2/3) depth of the ball, then thoroughly soak with water to allow settlement. All wire, burlap fasteners and loose burlap around base of trunk shall be removed at this time. Remainder of the pit shall then be backfilled, allowing for depth of mulch, saucer and settlement of backfill. Backfill shall then be thoroughly watered again.
- All shrubs and trees shall be planted a minimum of 12" inside of all edging and away from walls and other permanent structures.
- All plant locations are approximate; adjust locations prior to installing plant material as necessary to avoid conflicts with unforeseen elements missing from the landscape drawing or elements added during construction.
- Quantities of materials shown on the planting plan take precedence over quantities shown on the Plant Schedule. Landscape Contractor shall be responsible for verifying all quantities on the planting plan. Report any discrepancies in the planting plan immediately to the Owner's Representative.
- Plants are to be sized as shown per species on the Plant Schedule.
- For conditions where trees are located within 8' of pavement or utilities, use century root barrier, or equal substitute, along the perimeter of the pavement or utility.

### Weed Barrier, Edging, and Ground Plane Treatment:

- An evenly placed layer of gravel mulch, cobble mulch, or breeze shall be placed on all areas designated to receive the specified mulch. Minimum depths shall be achieved in accordance to the schedule by the type of mulch. Weed barrier fabric shall be completely covered and pinned.
- Weed barrier shall be a woven, porous mat as manufactured by American Excelsior Polyspun XL, Dupont Typar Style 3341 or Mirafi "Mirascape". The weed barrier shall be installed per manufacturer's recommendations.
- 4" Height by 3/16" width rolled-top steel edging shall be used to separate all planting beds from turfgrass. All edging shall be installed flush with grade. Avoid broken back curves and long tangents between curves. Obtain Owner's Representative approval prior to installation.

### Maintenance and Warranty:

- The Contractor shall provide all water, watering devices and labor needed to irrigate plant materials until provisional acceptance of the project. The Contractor shall supply enough water to maintain the plant's healthy condition.
- Contractor to remove tree stakes, tree wrap, and all dead wood on trees and shrubs one year after the commencement of the planting installation.
- At the completion of planting operations, all plants shall be inspected by the owner and owner's representative. Contractor shall replace immediately any plants not in healthy and vigorous condition at that time at no expense to the owner. Any plants not in healthy condition during the One-Year Warranty Period shall be replaced as per the original specifications, free of charge to the Owner.
- Remove all rubbish, equipment and material and leave the area in a neat, clean condition each day. Maintain paved areas utilized for hauling equipment and materials by other trades in a clean and unobstructed conditions at all times.
- Contractor to apply fertilizer in Spring and again in Late September. Water thoroughly after application of fertilizers. All seeded and sodded areas to have recommended fertilizer applications: Added 2-3 weeks after seeding emergence; once in Mid- to late-June; In early- to mid-August; and once in Late September. Seeded and Sodded areas are also to receive 0.5 lbs of elemental sulfur (or equivalent material) per 1,000 sq. ft. applied in late September. Water thoroughly after application of fertilizers.

### Implementation and Coordination of Landscape Plan:

- The shown utility locations are approximate. Contractor shall locate all utilities before work. Locate exact utility locations by contacting "CALL BEFORE YOU DIG" at (800) 922-1987. The Contractor is responsible for the repair of any damage caused to utilities.

- Contractor is responsible for maintaining existing erosion control measures as per the City and County of Denver specifications during the duration of work on-site.
- All existing top soil is to be stripped and stockpiled for use in the proposed landscape. All stockpiled soil must be clear of weeds, rocks, and debris before reapplication. All bermed planting beds to be clear of weeds, rocks, and debris before re-application. All bermed planting beds to be created with imported topsoil. See Civil Engineering drawings for location of the stockpile.
- Contractor shall provide 4" of topsoil at all sod and planting areas. Grade shall be adjusted for sod thickness. Landscape Contractor shall perform all finish grading.
- The Finish Grades, See Civil Engineering Construction Drawings, shall provide positive drainage away from Walls and Buildings. All landscape areas shall have a minimum of 2% slope. For Proposed Site Grading, See Grading Plan.

### Turfgrass:

- Contractor is to provide verification that all sod is of the species shown on this plan. No substitutions will be allowed. Sod to be laid with tight staggered edges and be rolled after installation.
- Fine grade sod and seed areas to eliminate irregularities on the surface. Roll or perform additional fine grading.
- Roll sod after installation to insure roots are in contact with the soil surface. Immediately begin watering of sodded areas.

### City of Denver Landscape Notes:

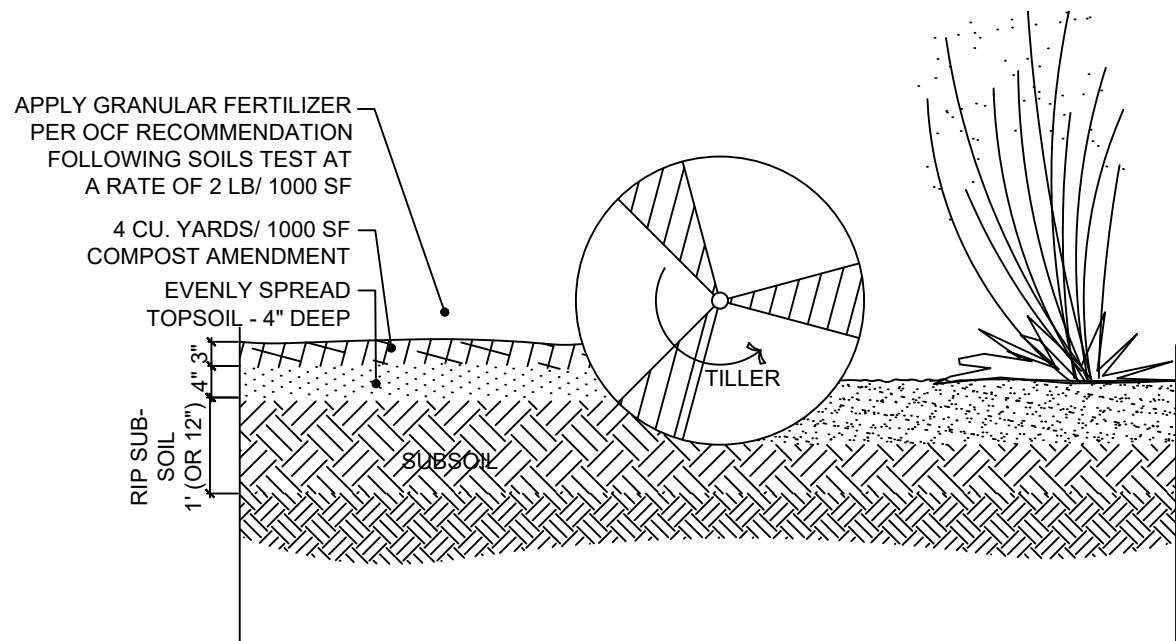
- Proposed trees in the R.O.W. shall be pre-approved (permitted) by the City Forester's Office and shall be a minimum of 20' from property corners at intersections, 25' from street lights, 20' from curb ramps, and 10' from edge of driveways.
- All proposed landscaping in the R.O.W. shall be per the Streetscape Design Manual. With the exception of tree planting, this shall be in accordance with current Forestry rules and regulations.
- All plant material shall meet or exceed current American Standard for Nursery Stock ANSI Z60.1 and the Colorado Nursery Act and accompanying Rules and Regulations.
- Per City Code, all tree removals in Denver limits must be performed by property owner or a tree contractor licensed by Office of the City Forester, including trees in ROW's and on private property. For a current list of licensed tree contractors, visit [www.denvergov.org/Forestry](http://www.denvergov.org/Forestry).
- A. For Forestry-approved tree removals in public right(s) of way: A tree removal permit issued by the Office of the City Forester is required prior to removal. Tree removal permits are not included with building permits and must be obtained separately from the Office of the City Forester. To obtain free removal permit, contact Office of the City Forester ([Forestry@denvergov.org](mailto:Forestry@denvergov.org)) with name of licensed contractor or property owner performing removal. Include D-Log number (PRC2020-00005) when requesting removal permit.  
B. For trees on private property: A Forestry-issued tree removal permit is not required prior to removal. However, per City Code, all tree removals in Denver must be performed by property owner or a tree contractor licensed by the Office of the City Forester.
- A Forestry-issued tree planting permit is required for all trees to be planted in public rights of way. Contact Office of the City Forester ([Forestry@denvergov.org](mailto:Forestry@denvergov.org)) with name of contractor or property owner performing planting. Include D-Log number (PRC2020-00005) when requesting permit. Tree planting permits are not included with building permits and must be obtained separately from the Office of the City Forester prior to installation.
- Existing trees to be preserved in public right of way shall be protected per Office of the City Forester standards & practices. Tree protection shall be installed prior to issue of demolition/building permit, approved by the Office of the City Forester, and shall remain in place throughout construction. No construction activities or storage of construction materials/debris/equipment shall take place within tree protection zones without prior written authorization from the Office of the City Forester.
- Existing ROW trees approved for removal by the Office of the City Forester must be protected in place per Forestry standards & specifications until removed by a Forestry-licensed tree contractor. A tree removal permit is required from the Office of the City Forester prior to removal. Failure to protect such trees until removal, or removing ROW trees without a Forestry-issued permit will result in notice of violation and may include citations/fines.

Common Name	Scientific Name	Variety	PLS <sup>2</sup> lbs per Acre	Ounces per Acre
Sand bluestem	Andropogon hallii	Garden	3.5	
Sidcoats grama	Bouteloua curtipendula	Butte	3	
Prairie sandreed	Calamovilfa longifolia	Goshen	3	
Indian ricegrass	Oryzopsis hymenoides	Paloma	3	
Switchgrass	Panicum virgatum	Blackwell	4	
Western wheatgrass	Pascopyrum smithii	Ariba	3	
Little bluestem	Schizachyrium scoparium	Patura	3	
Alkali sacaton	Sporobolus airoides		3	
Sand dropseed	Sporobolus cryptandrus		3	
Pasture sage <sup>1</sup>	Artemisia frigida			2
Blue aster <sup>2</sup>	Aster laevis			4
Blanket flower <sup>1</sup>	Gaillardia aristata			8
Prairie coneflower <sup>1</sup>	Ratibida columnifera			4
Purple prairieclover <sup>1</sup>	Dalea (Petalostemum) purpurea			4
Sub-Totals:			27.5	22
Total lbs per acre:				28.9

<sup>1</sup> Wildflower seed (optional) for a more diverse and natural look.

<sup>2</sup> PLS = Pure Live Seed.

## B1 MHFD/UDFCD Native Seed Mix for Rain Gardens



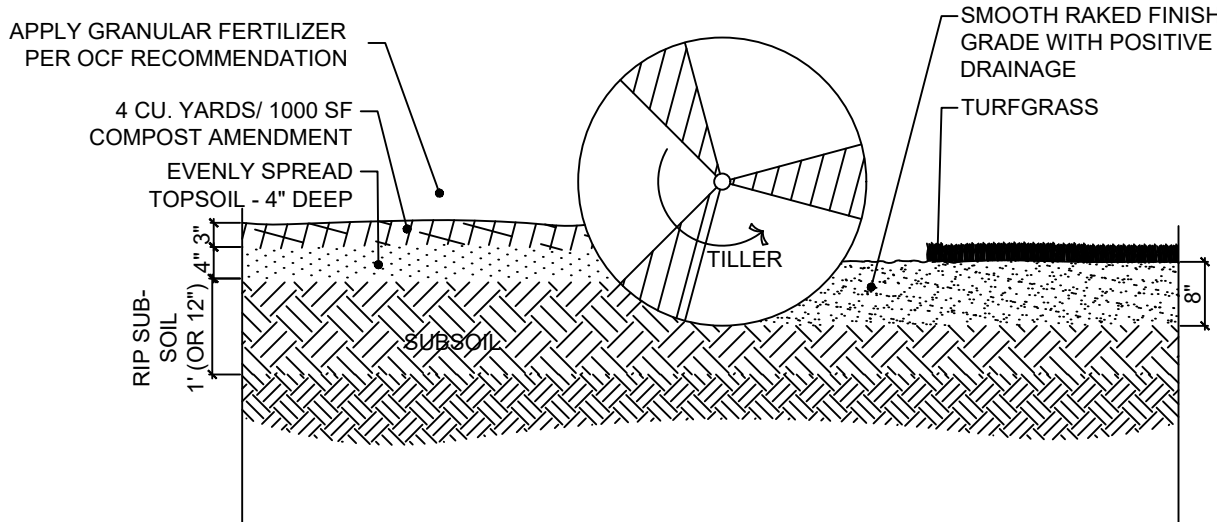
### NOTES:

- TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ROCKS, ROOTS, AND OTHER FOREIGN MATERIALS.
- PROVIDE SOILS TEST AND RESULTS FROM COLORADO STATE UNIVERSITY LAB. SOIL AMENDMENT SHALL BE PROVIDED PER RECOMMENDATION FROM COLORADO STATE UNIVERSITY. THE FERTILIZER APPLICATION SHOULD BE DELAYED IF PLANTING DOES NOT OCCUR WITHIN 2-3 DAYS OF FERTILIZING.
- THE FERTILIZER APPLICATION SHOULD BE DELAYED IF PLANTING DOES NOT OCCUR WITHIN 2-3 DAYS OF FERTILIZING.
- COMPOST TO CONSIST OF 1-YEAR OLD PLANT-BASED ORGANIC MATERIAL.
- FROZEN MATERIALS OR MATERIALS GREATER THAN 1" DIA. SHOULD BE REMOVED.
- FINISH GRADE FOR ALL PLANTING BEDS ALONG WALKS OR CURBS SHOULD BE 4" LOWER THAN THE SURFACE.
- LAWNS WITHIN THE BOUNDARIES OF EXISTING TREE DRIPLINES SHALL NOT BE ROTOTILLED AT ANY TIME. ROTOTILLING IS ONLY PERMITTED IN AREAS OUTSIDE OF EXISTING TREE DRIPLINES WHERE CONCRETE AND HARDCAPE ARE REMOVED.

## A2 Soil Preparation-Plantings

## -Turfgrass (Sod)

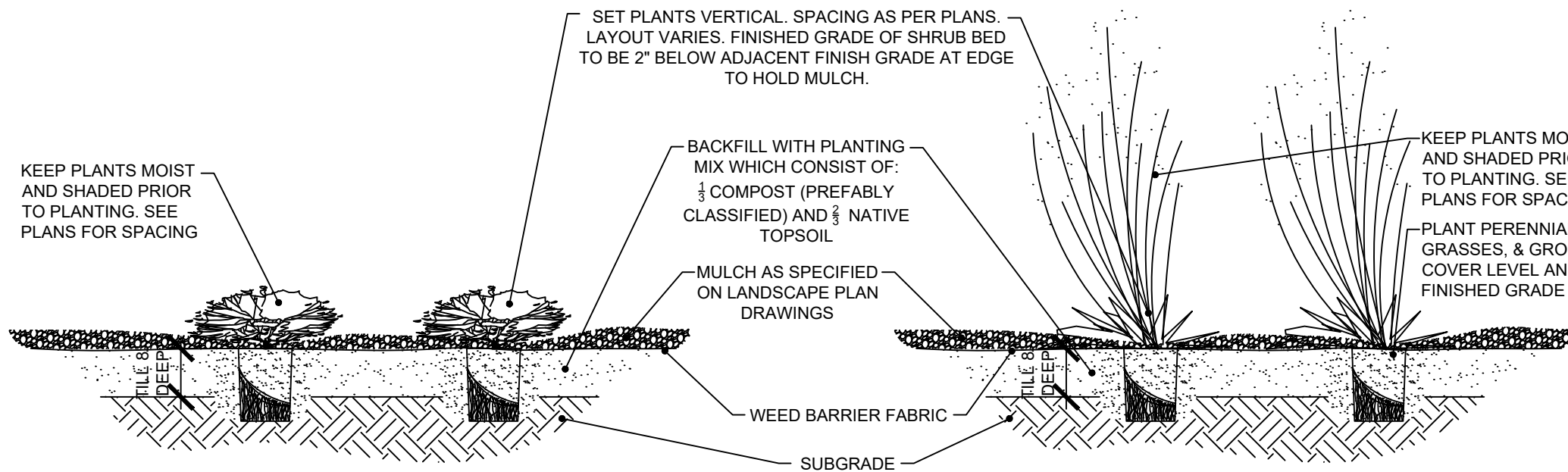
Scale 1/2" = 1'-0"



### NOTES:

- NOTES 1-5 FROM PLANT SOIL PREPARATION DETAIL APPLY.
- FINISH GRADE FOR ALL SOD AREAS ALONG WALKS OR CURBS SHOULD BE 4" LOWER THAN THE SURFACE OF THE WALK/CURB.

## B2 Shrub Detail: Scale 1/2" = 1'-0"

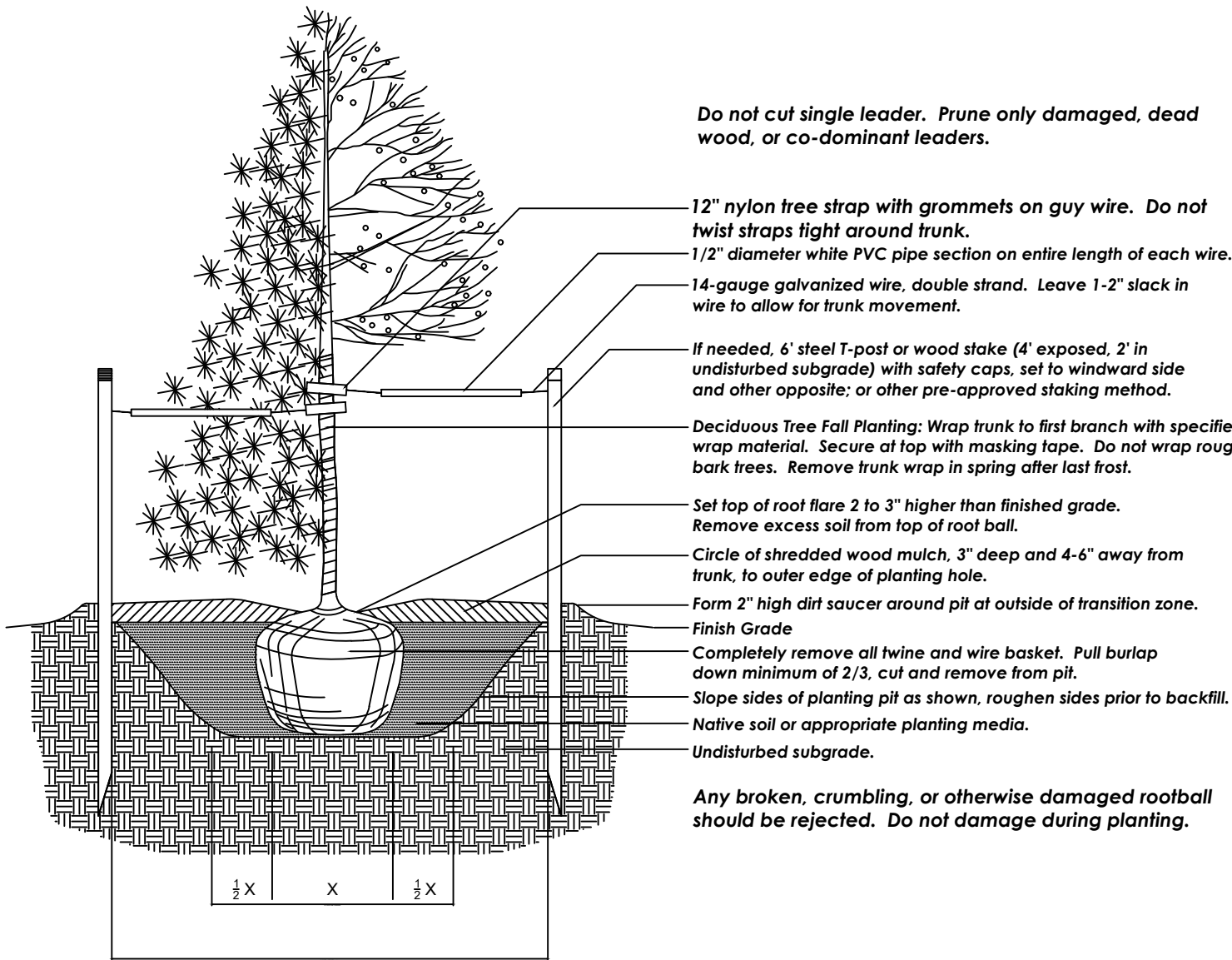


### SHRUB, GRASS & PERENNIAL NOTES:

- 3-4" SPECIFIED ORGANIC MULCH SHOULD BE PROVIDED. PROVIDE SAUCER ON DOWNHILL SIDE OF SLOPES. KEEP MULCH AWAY FROM CONTACT WITH WOODY TRUNK.
- ALL PLANTS IN ROCK AREAS TO RECEIVE SHREDDED MULCH RINGS, WHERE APPLICABLE.
- DEEP WATER ALL PLANTS AT TIME OF PLANTING.
- CONTRACTOR TO WATER PLANT MATERIAL DAILY UNTIL AN AUTOMATIC IRRIGATION SYSTEM IS OPERATIONAL OR OTHER IRRIGATION PROVISIONS ARE PROVIDED.
- THE FINISH GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM WALLS AND BUILDINGS.
- THE TILLING OF PLANTING BEDS AND PLACEMENT OF BACKFILL IS TO OCCUR JUST PRIOR TO PLANTING; THEREAFTER, PROTECTION FROM COMPACTION AND CONSTRUCTION TRAFFIC SHOULD BE PROVIDED.

- SCARIFY SIDES OF PLANTING PIT. BACKFILL WITH AMENDED SOIL MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL.
- PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
- REMOVE ALL PACKAGING MATERIAL.
- FOR POT BOUND PLANTS ONLY; MAKE 4-5 VERTICAL CUTS IN ROOTBALL 1" DEEP. PLANT IMMEDIATELY.
- FOR ROOT BIND AT BOTTOM OF BALL; SPLIT ROOTBALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN THE PLANTING HOLE.

## C2 Grass/Perennial Detail: Scale 1/2" = 1'-0"



### Trees planted upon park land, public property, or within the Public Right of Way (PRW) are subject to the following restrictions:

- An approved planting permit from the Office of the City Forester (OCF), regardless of approved plans, is required prior to planting.
- Administrative citations up to \$999 shall be issued for trees planted without an OCF issued permit.
- Only tree species approved by or listed on the OCF's approved street trees list shall be planted in the PRW.
- For a list of prohibited or suspended PRW trees, contact or visit the OCF website.
- If overhead utility wires exist in the PRW, only ornamental or trees maturing at 20 (twenty) feet maximum height shall be planted.
- Trees shall be centered in tree lawns and/or planting areas.
- Trees shall not be planted in tree lawns less than five feet wide unless authorized by the OCF.
- Where sidewalks are not present, trees shall be located as designated by Office of the City Forester.
- Planting in corner triangle formed by the first 30 (thirty) feet along the PRW in each direction from the corner is not permitted.
- Planting within 10 (ten) feet of alleys, driveways, or fire hydrants is not permitted.
- Planting within 25 (twenty-five) feet of stop signs is not permitted.
- Planting within 25 (twenty-five) feet of street lights is not permitted.
- Planting within five feet of water meters or pits is not permitted.
- Large shade trees shall be spaced 35 (thirty-five) feet o.c. and ornamental trees 25 (twenty-five) feet o.c. or as designated by OCF.
- Trees shall be pruned to maintain a clearance of 13'-6" over streets and alleys and 6'-4" over remaining portions of PRW, including sidewalk.

Prior to digging, the Utility Notification Center of Colorado shall be contacted at 811 to locate underground utilities.

## C1 Tree Detail: Scale 1/2" = 1'-0"

**ALTITUDE**  
LAND CONSULTANTS  
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COLORADO SPRINGS, CO 80907  
720.594.9494  
INFO@ALTITUDELANDCO.COM  
WWW.ALTITUDELANDCO.COM

53RD AND TENNYSON ROW  
LANDSCAPE PLAN  
ADDRESS: 4301 W. 53RD AVENUE, DENVER, CO 80212  
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO

18-213

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NO. DATE REVISION: BY

DATE: 05.29.2020  
DRAWN BY: TPL  
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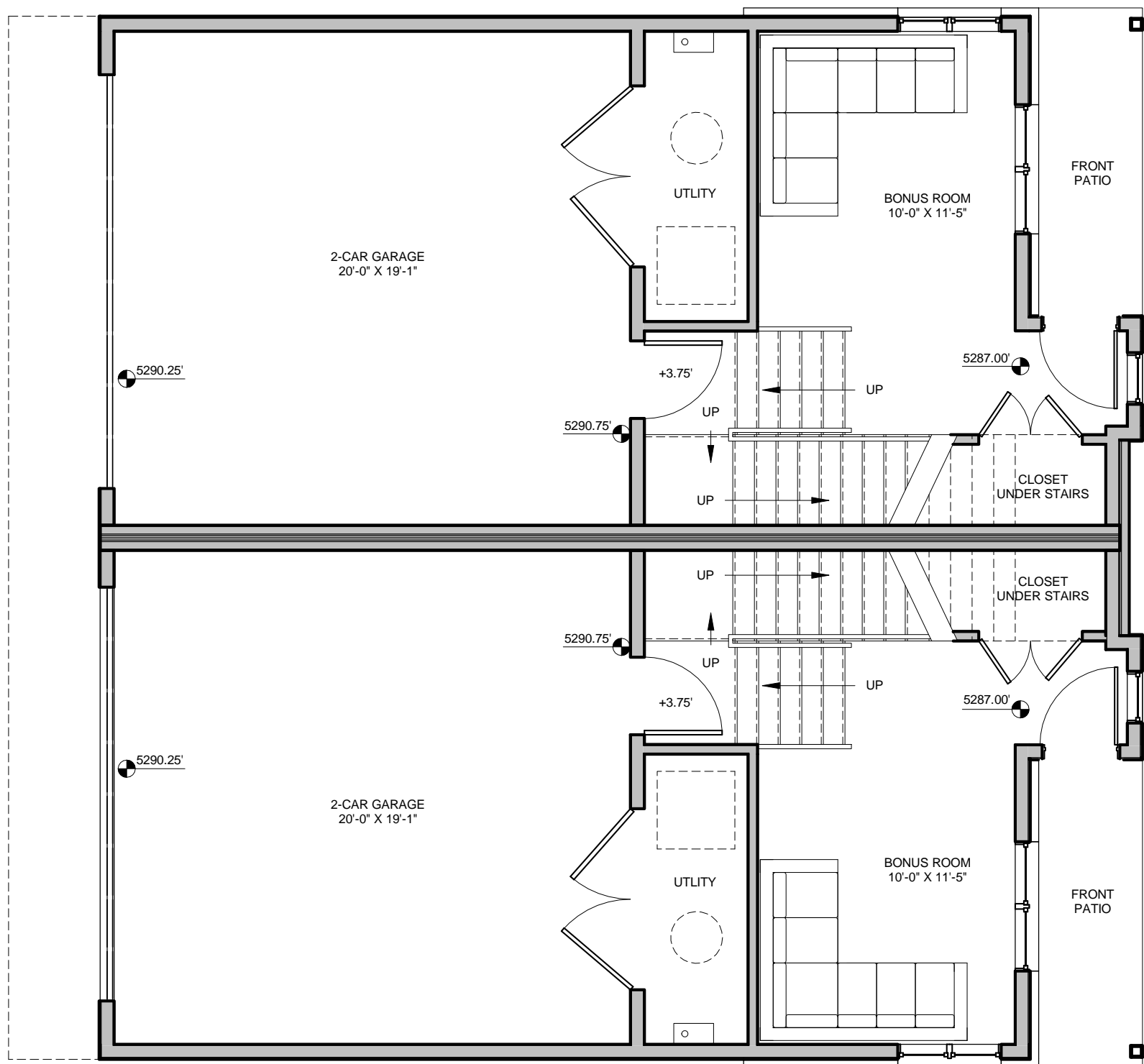
**LANDSCAPE**  
**NOTES &**  
**DETAILS**

**LS-5**

SHEET 5 OF 5

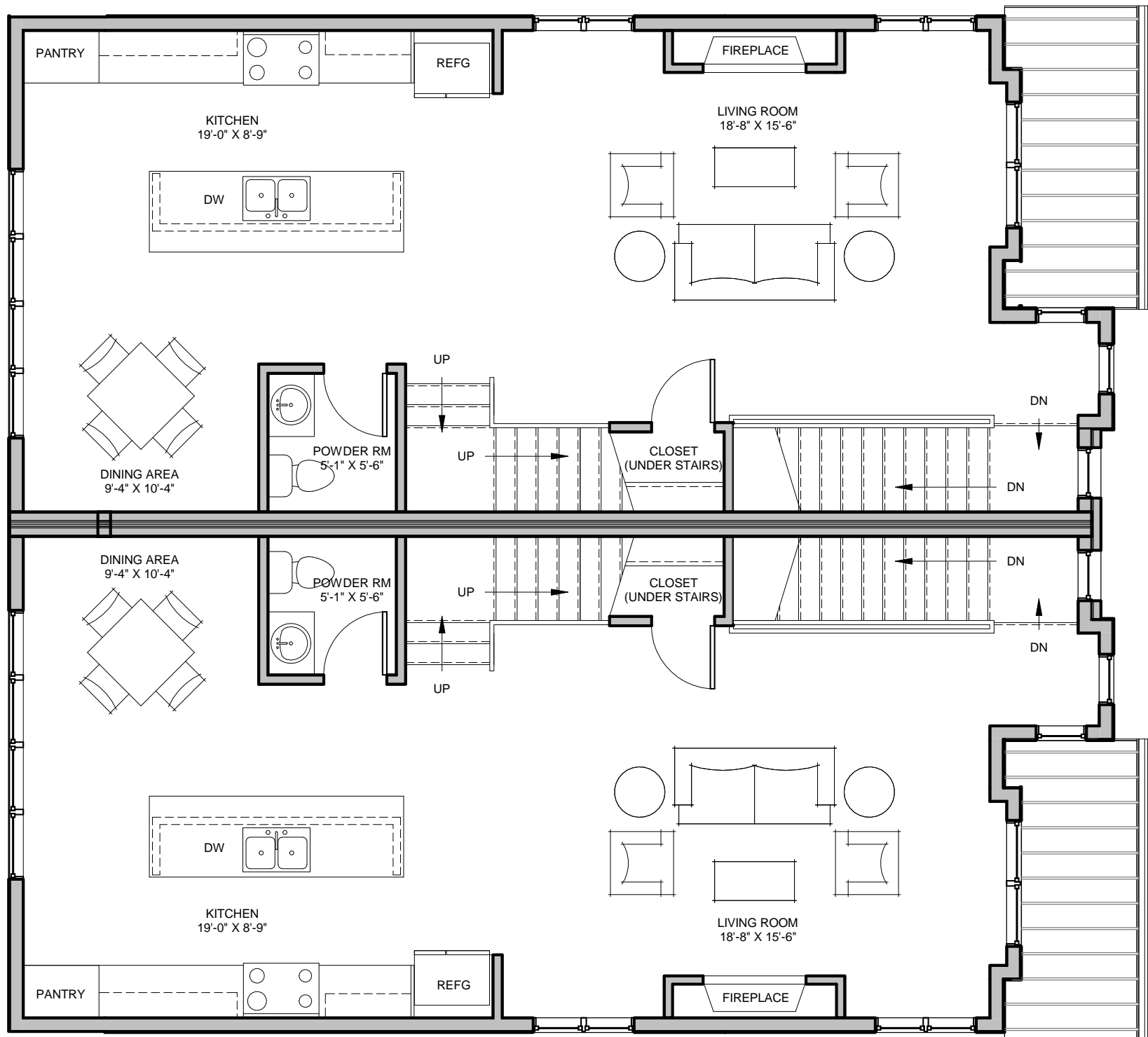
53RD & TENNYSON DUPLEXES





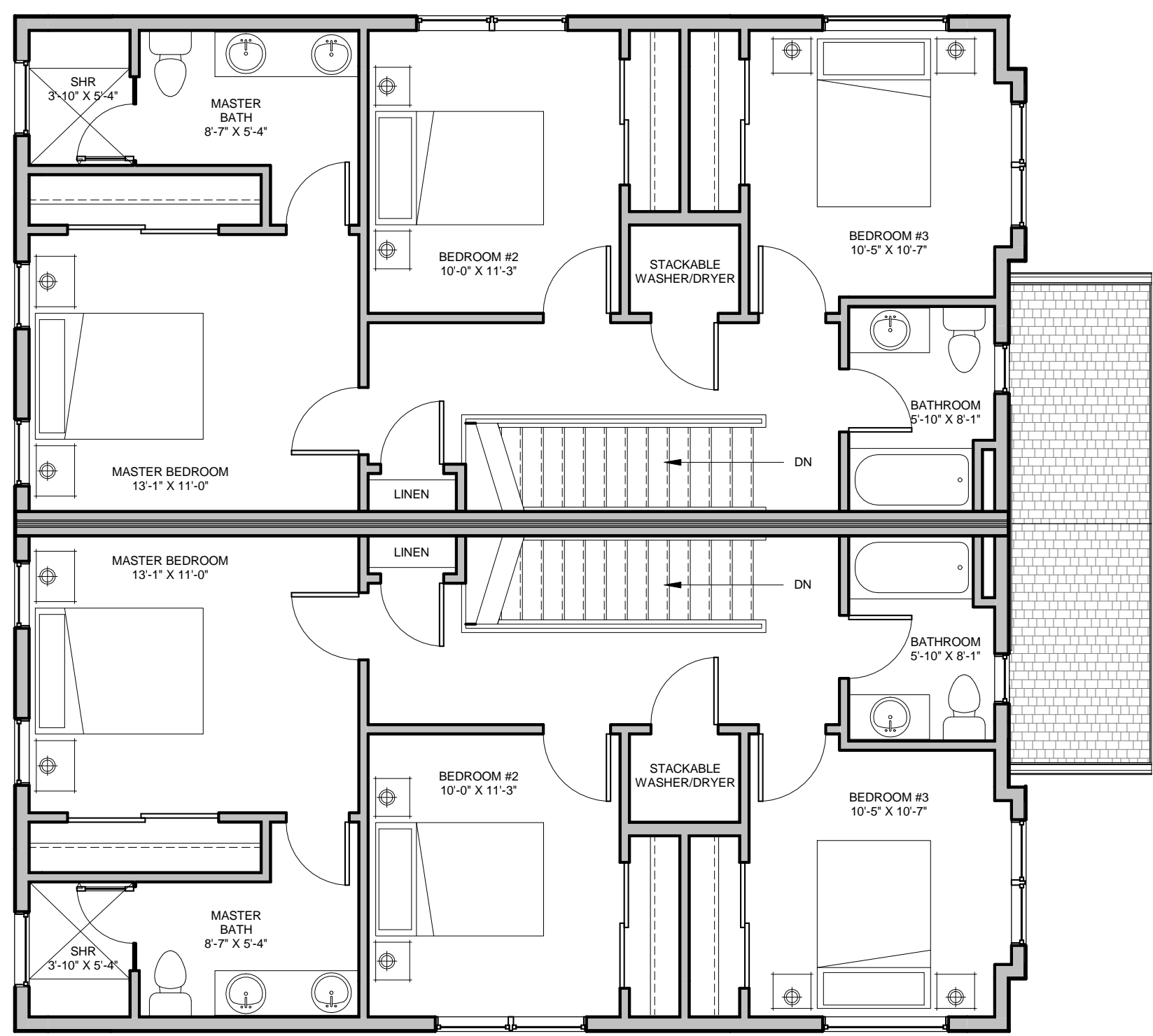
1 GRADE LEVEL PLAN  
SCALE: 3/16" = 1'-0"

342 S.F. - EACH  
GARAGE - 412 S.F. - EACH



2 MAIN LEVEL PLAN  
SCALE: 3/16" = 1'-0"

829 S.F. - EACH



3 2ND FLOOR LEVEL PLAN  
SCALE: 3/16" = 1'-0"

795 S.F. - EACH

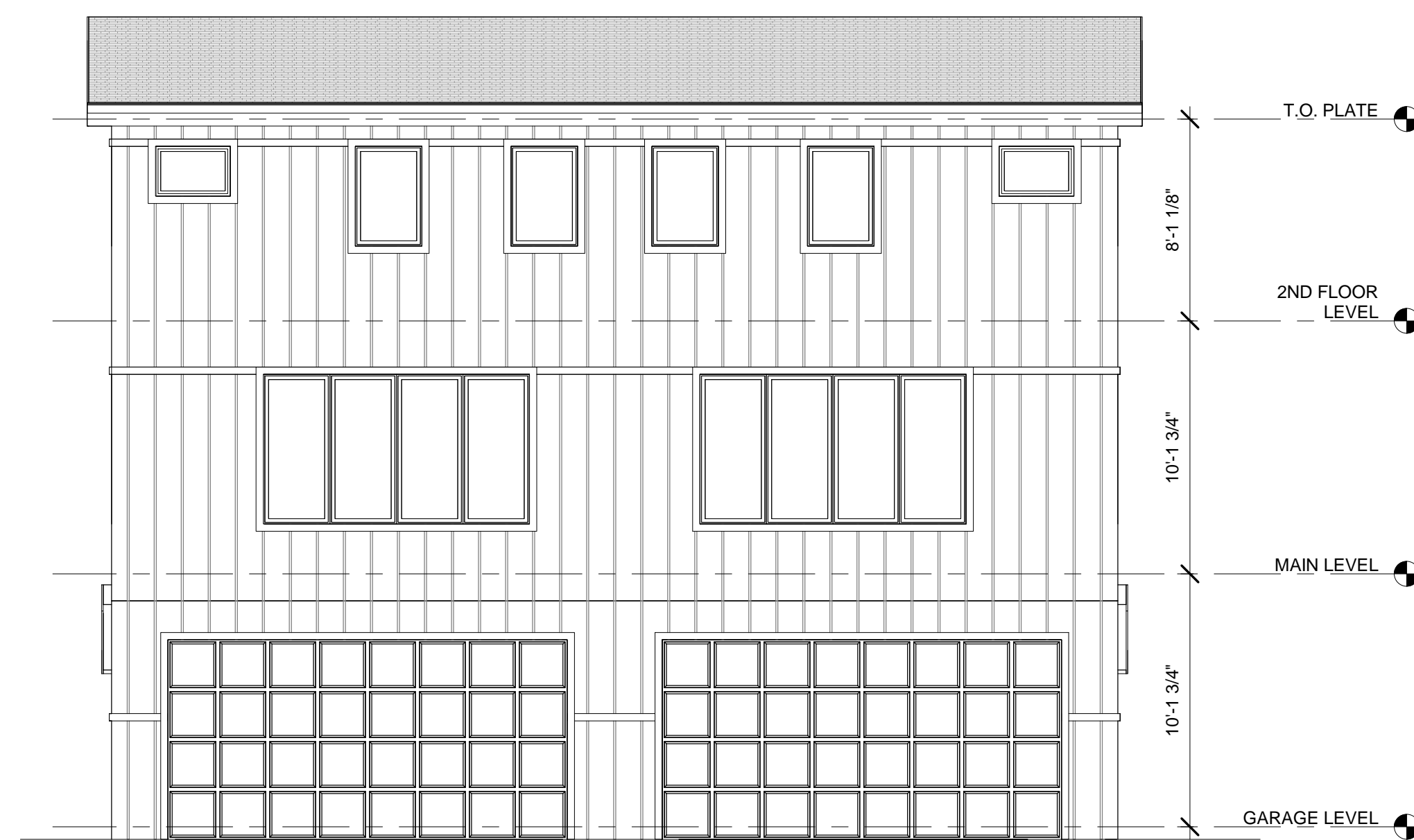




**1 FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"

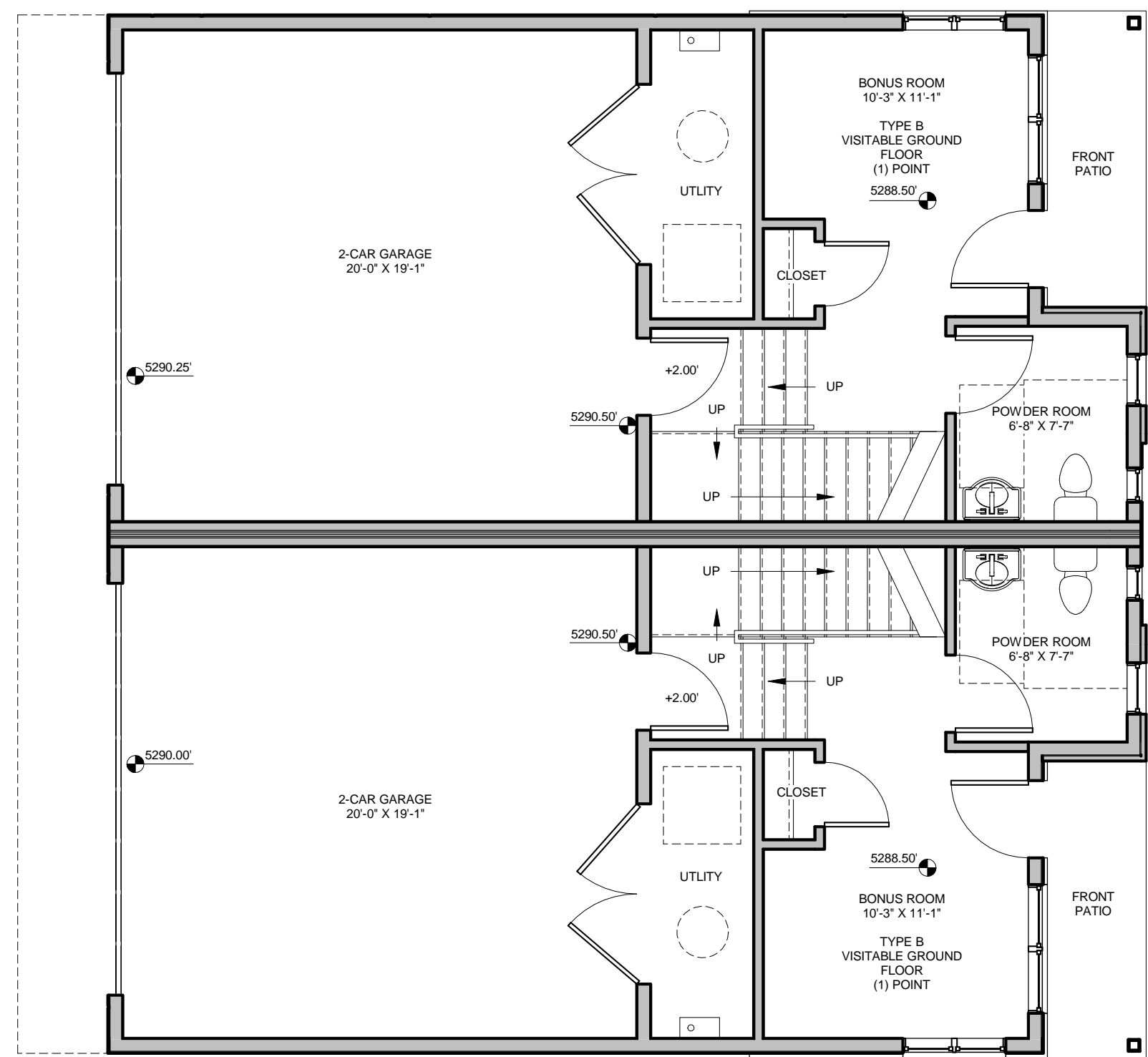


**2 TYPICAL SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"

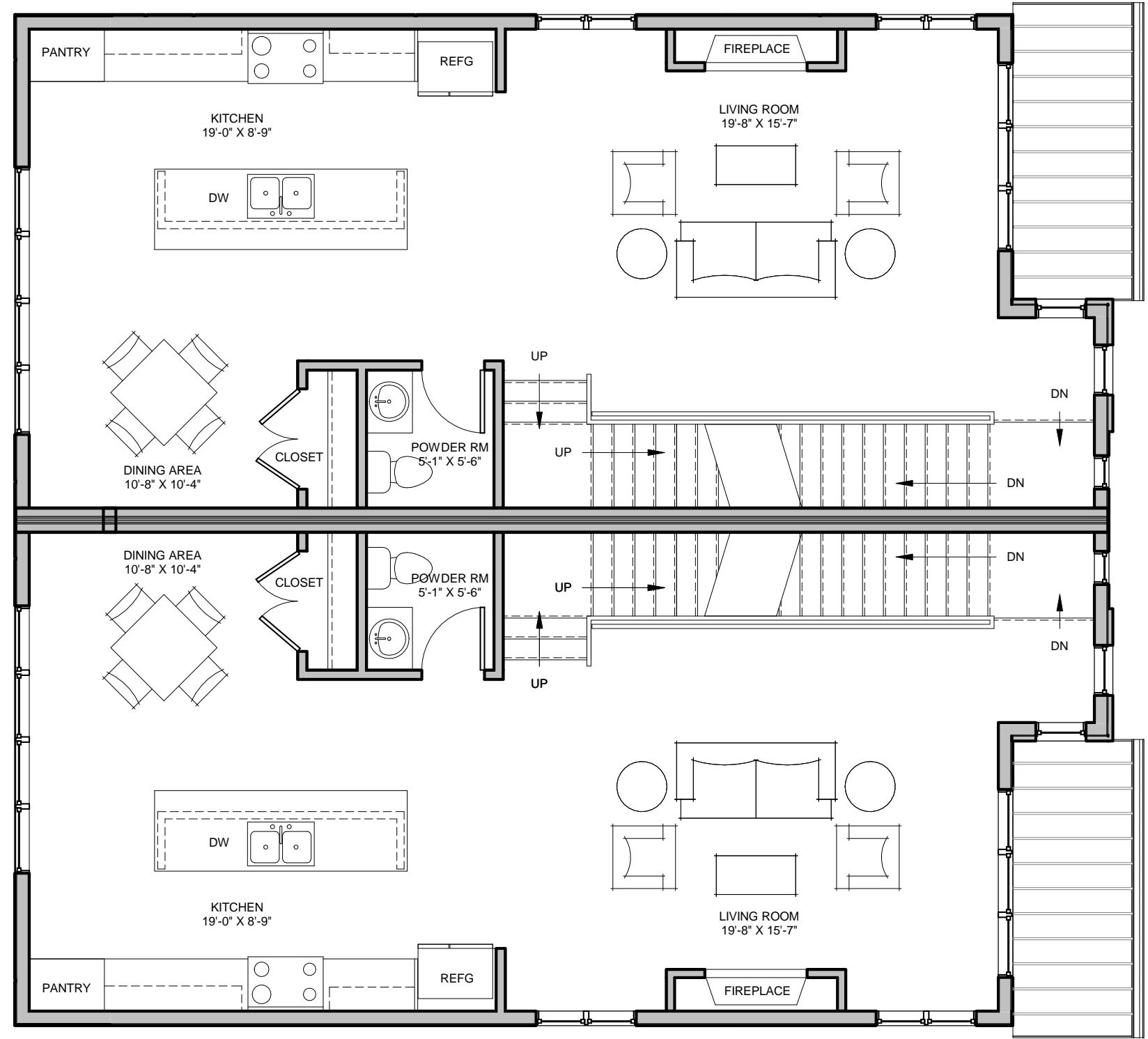


**3 REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

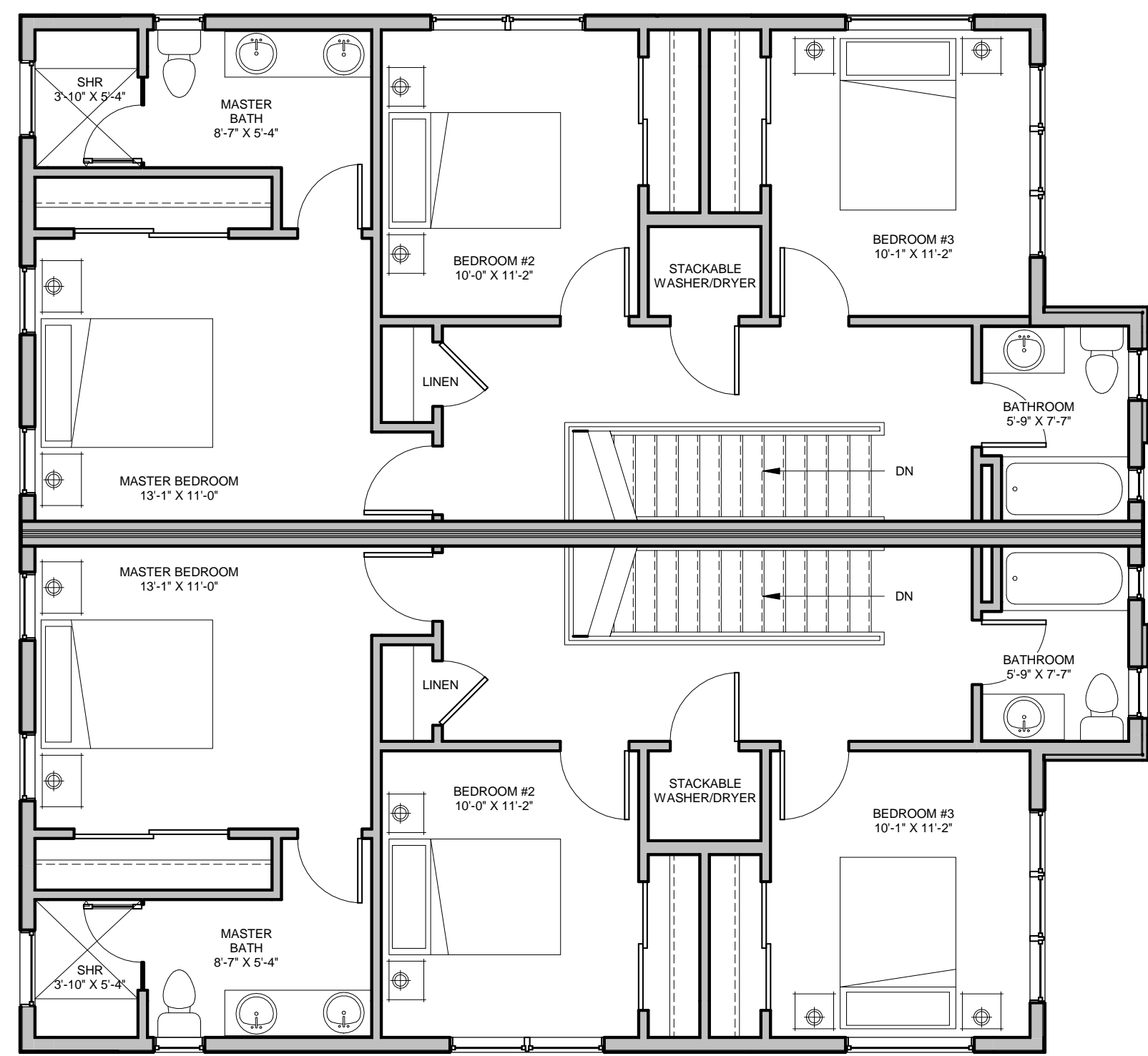




**1 GRADE LEVEL PLAN - ACCESSIBLE**  
SCALE: 3/16" = 1'-0"  
348 S.F. - EACH  
GARAGE - 412 S.F. - EACH



**2 MAIN LEVEL PLAN**  
SCALE: 3/16" = 1'-0"  
830 S.F. - EACH

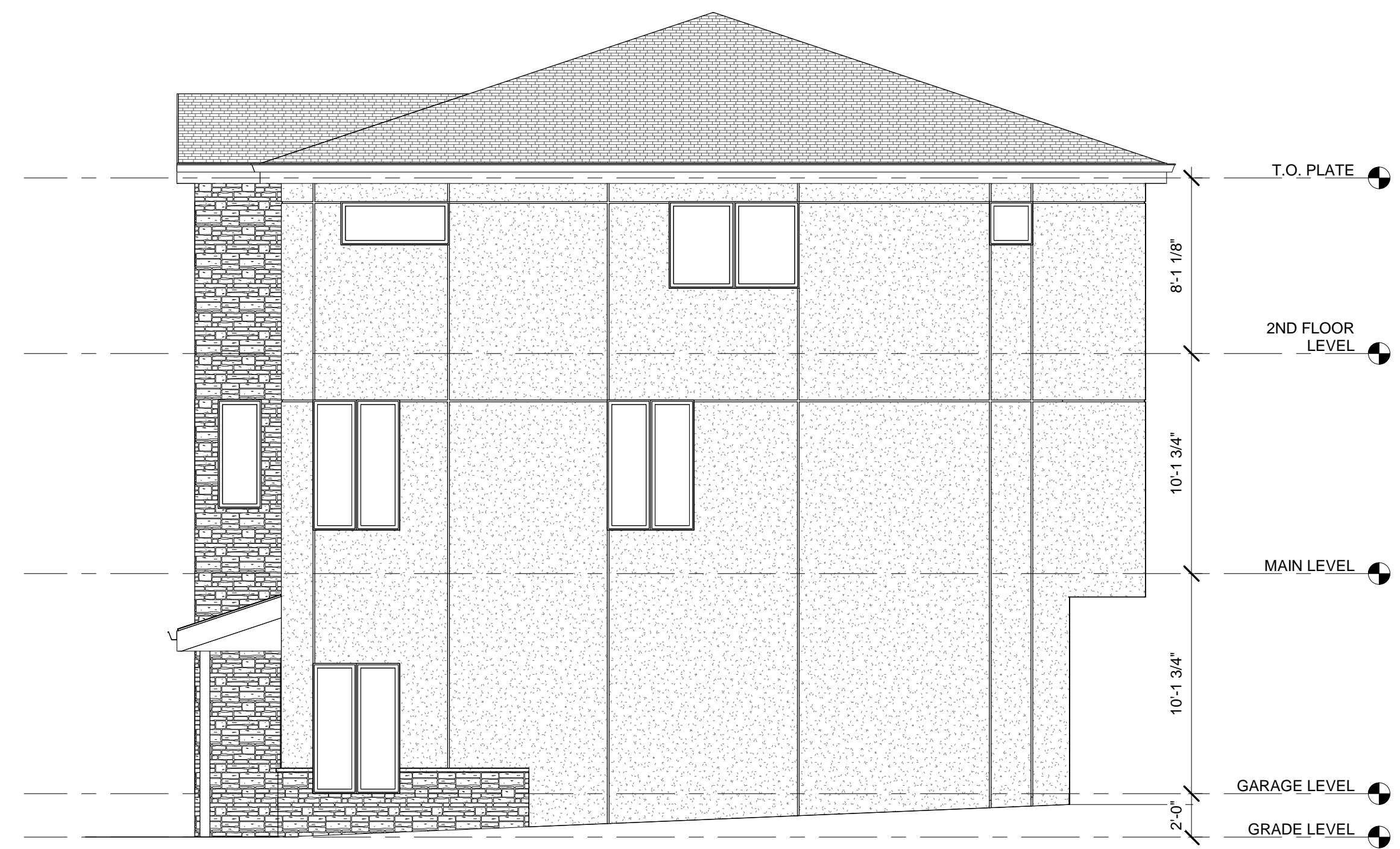


**3 2ND FLOOR LEVEL PLAN**  
SCALE: 3/16" = 1'-0"  
830 S.F. - EACH





**1 FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"

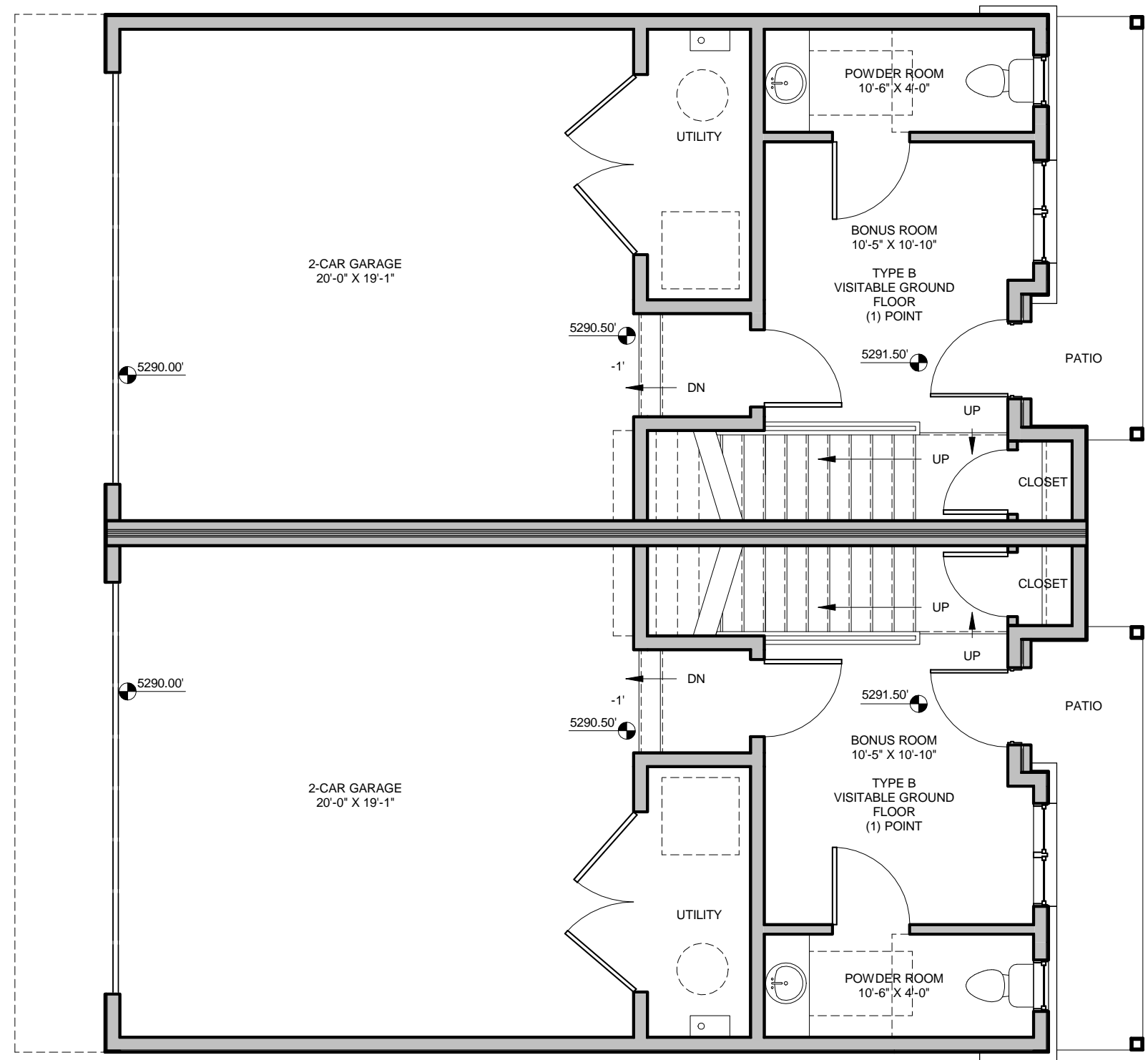


**2 TYPICAL SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"



**3 REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

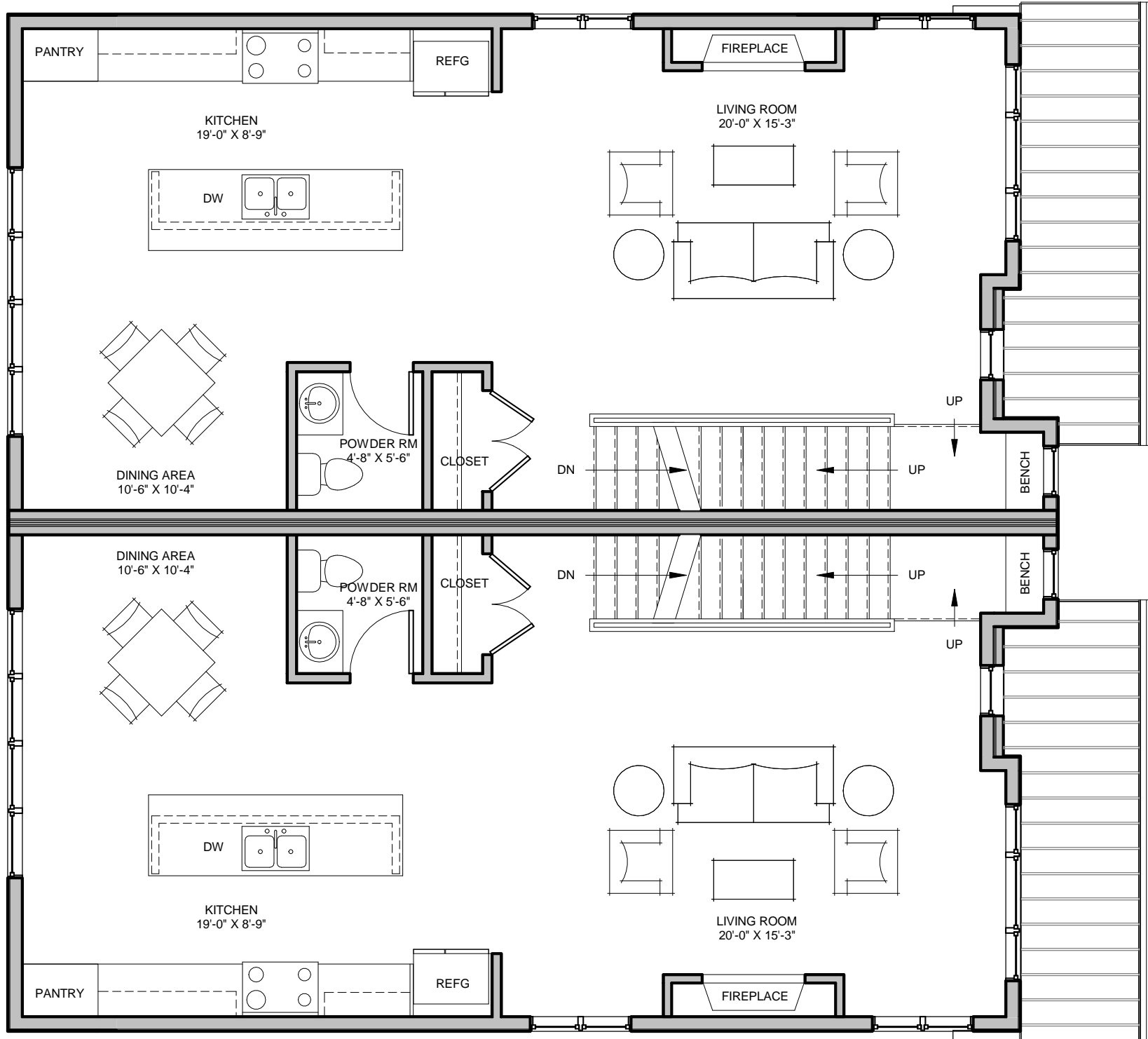




**1** GRADE LEVEL PLAN - ACCESSIBLE

SCALE: 3/16" = 1'-0"

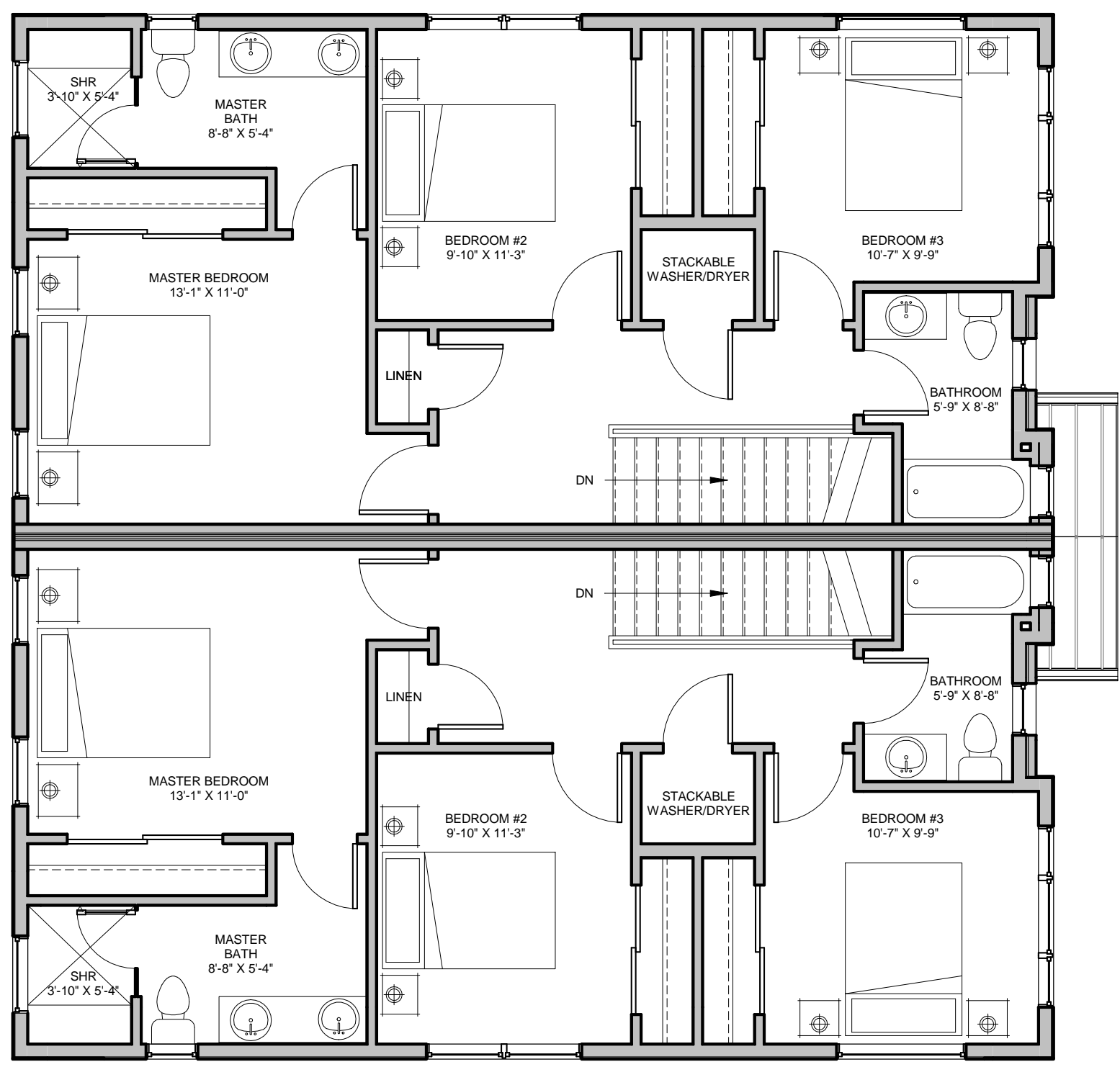
304 S.F. - EACH  
GARAGE - 430 S.F. - EACH



**2** MAIN LEVEL PLAN

SCALE: 3/16" = 1'-0"

804 S.F. - EACH



**3** 2ND FLOOR LEVEL PLAN

SCALE: 3/16" = 1'-0"

798 S.F. - EACH



## STUART PLACE RESIDENCES - DUPLEX 3

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

### FLOOR PLANS

Project Number: 2019.12

Date: 4-30-2020

Drawn By: KAM

A-301



STUART PLACE RESIDENCES - DUPLEX 3

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

ELEVATIONS

Project Number: 2019.12

Date 4-30-2020

Drawn By KAM

A-302

4/30/2020 10:00:16 AM



1 FRONT ELEVATION  
SCALE: 3/16" = 1'-0"

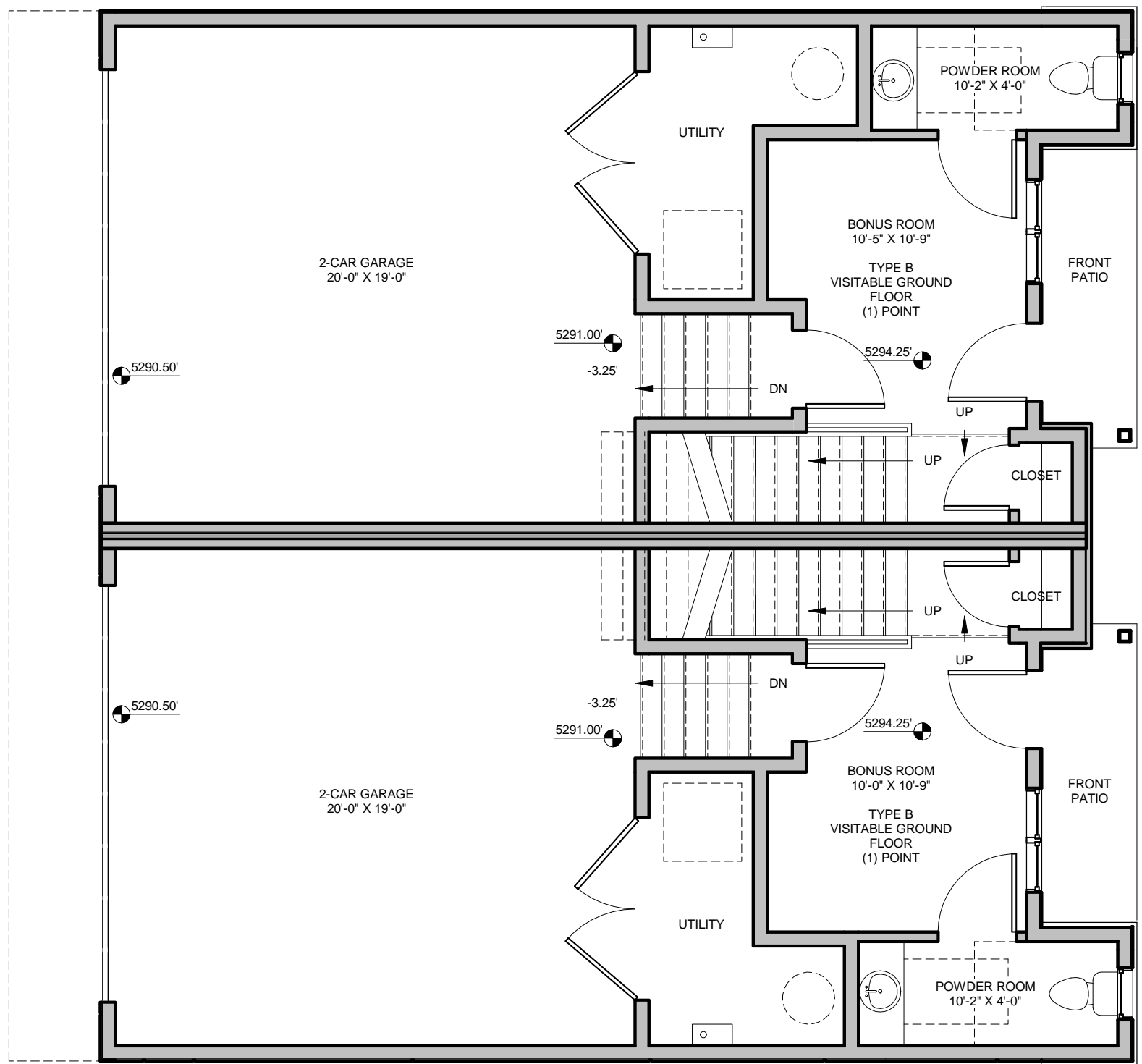


2 TYPICAL SIDE ELEVATION  
SCALE: 3/16" = 1'-0"

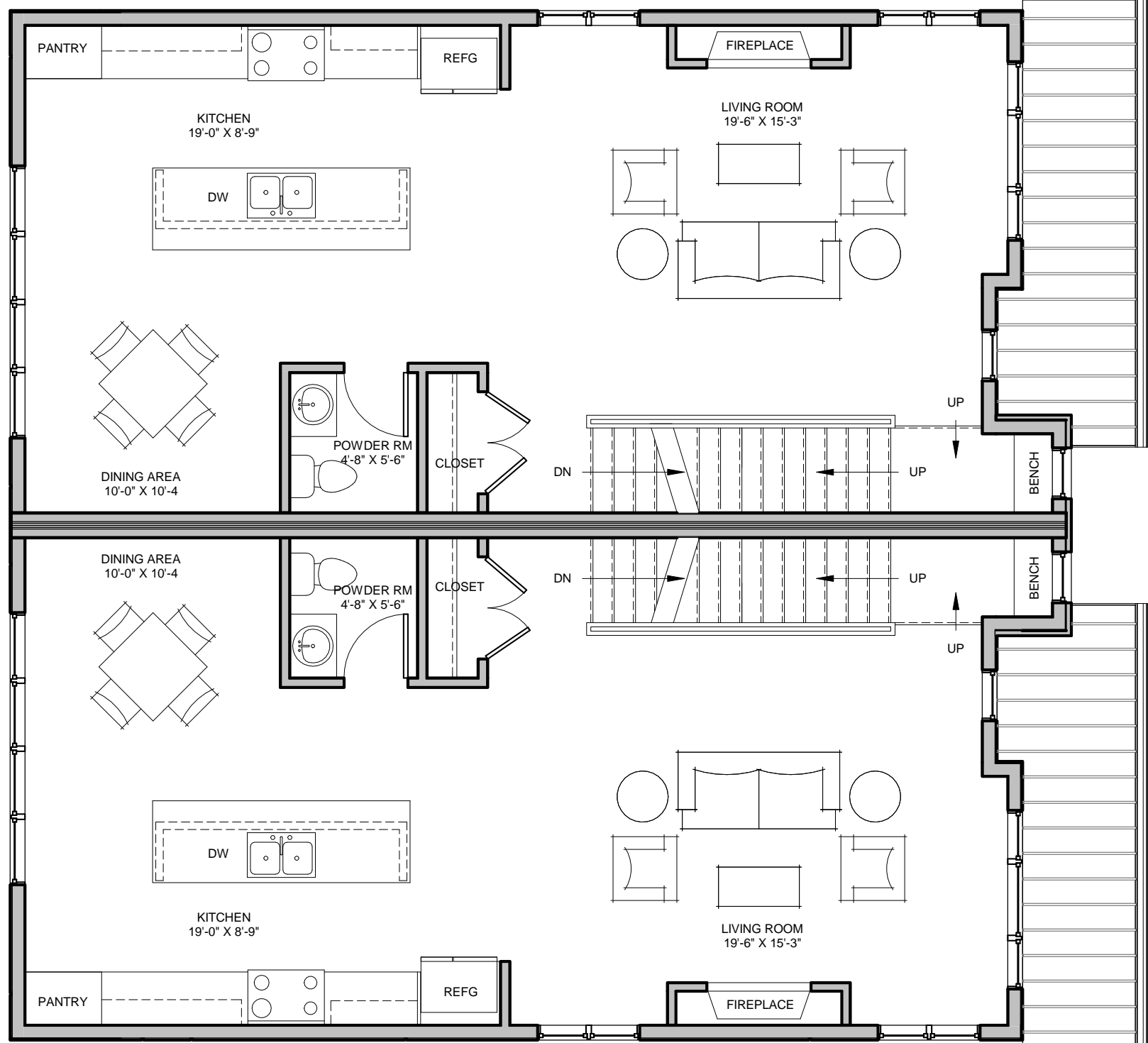


3 REAR ELEVATION  
SCALE: 3/16" = 1'-0"

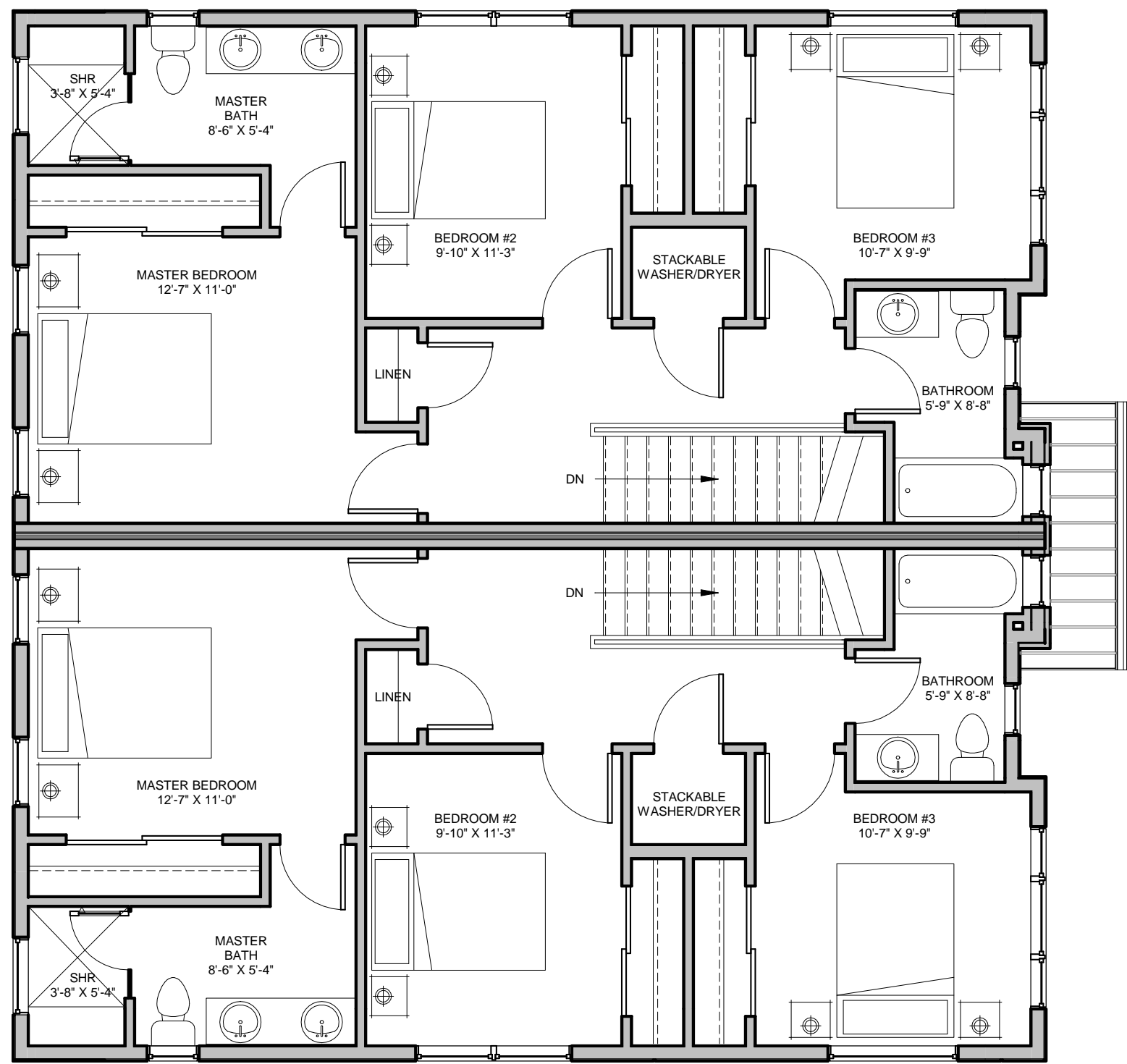




**1 GRADE LEVEL PLAN - ACCESSIBLE**  
SCALE: 3/16" = 1'-0"  
311 S.F. - EACH  
GARAGE - 436 S.F. - EACH



**2 MAIN LEVEL PLAN**  
SCALE: 3/16" = 1'-0"  
795 S.F. - EACH



**3 2ND FLOOR LEVEL PLAN**  
SCALE: 3/16" = 1'-0"  
788 S.F. - EACH

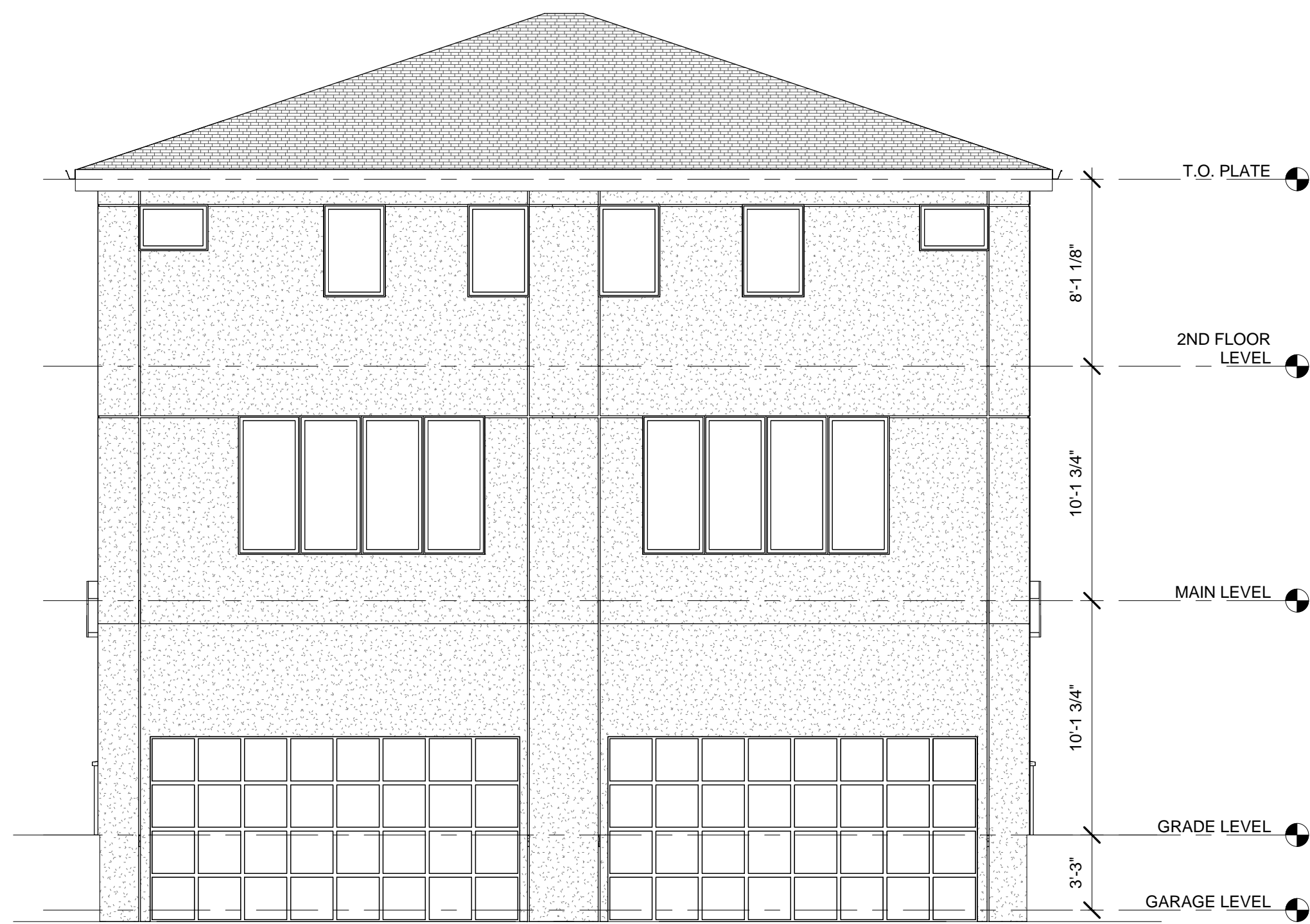




1 FRONT ELEVATION  
SCALE: 3/16" = 1'-0"

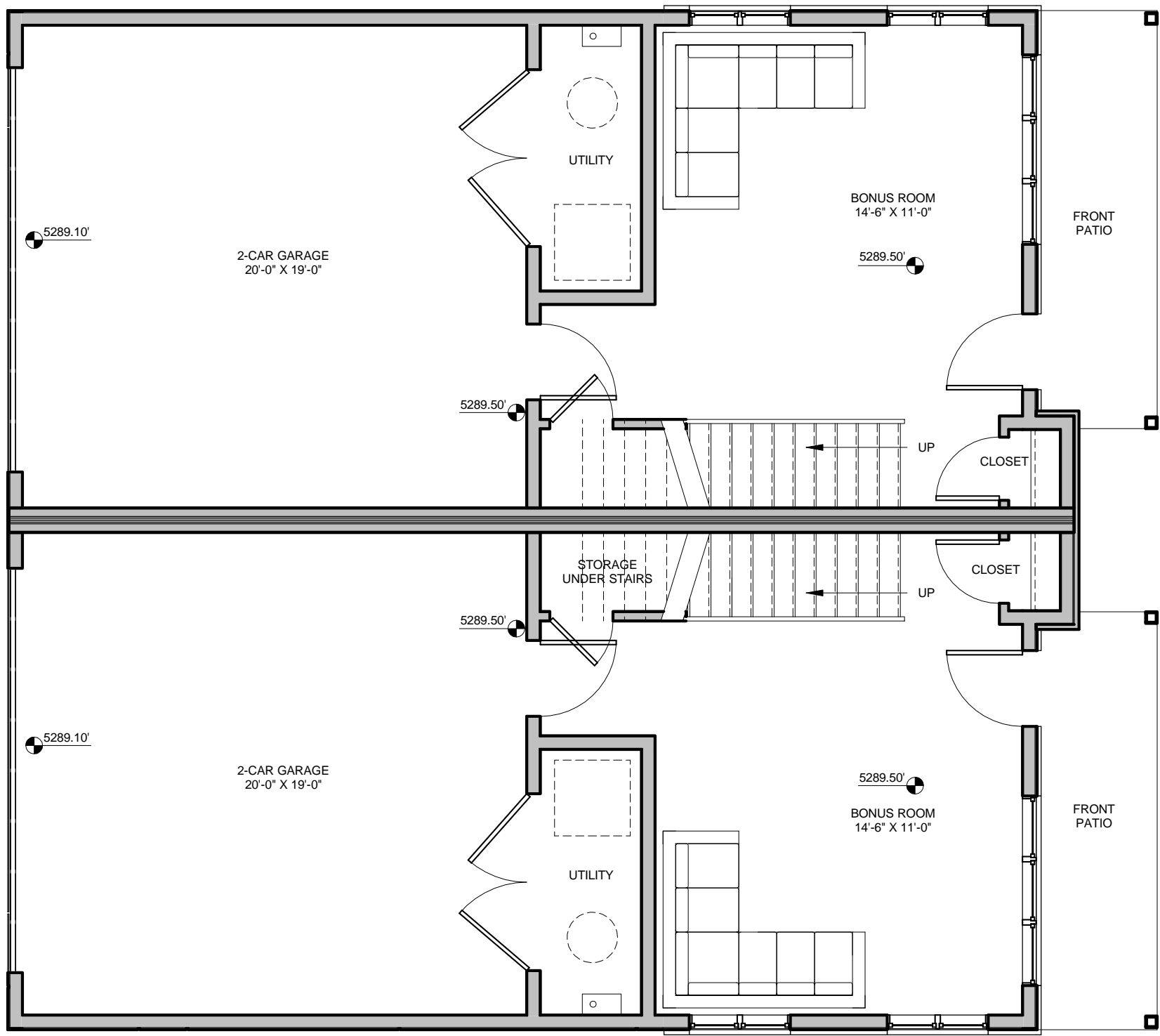


2 TYPICAL SIDE ELEVATION  
SCALE: 3/16" = 1'-0"

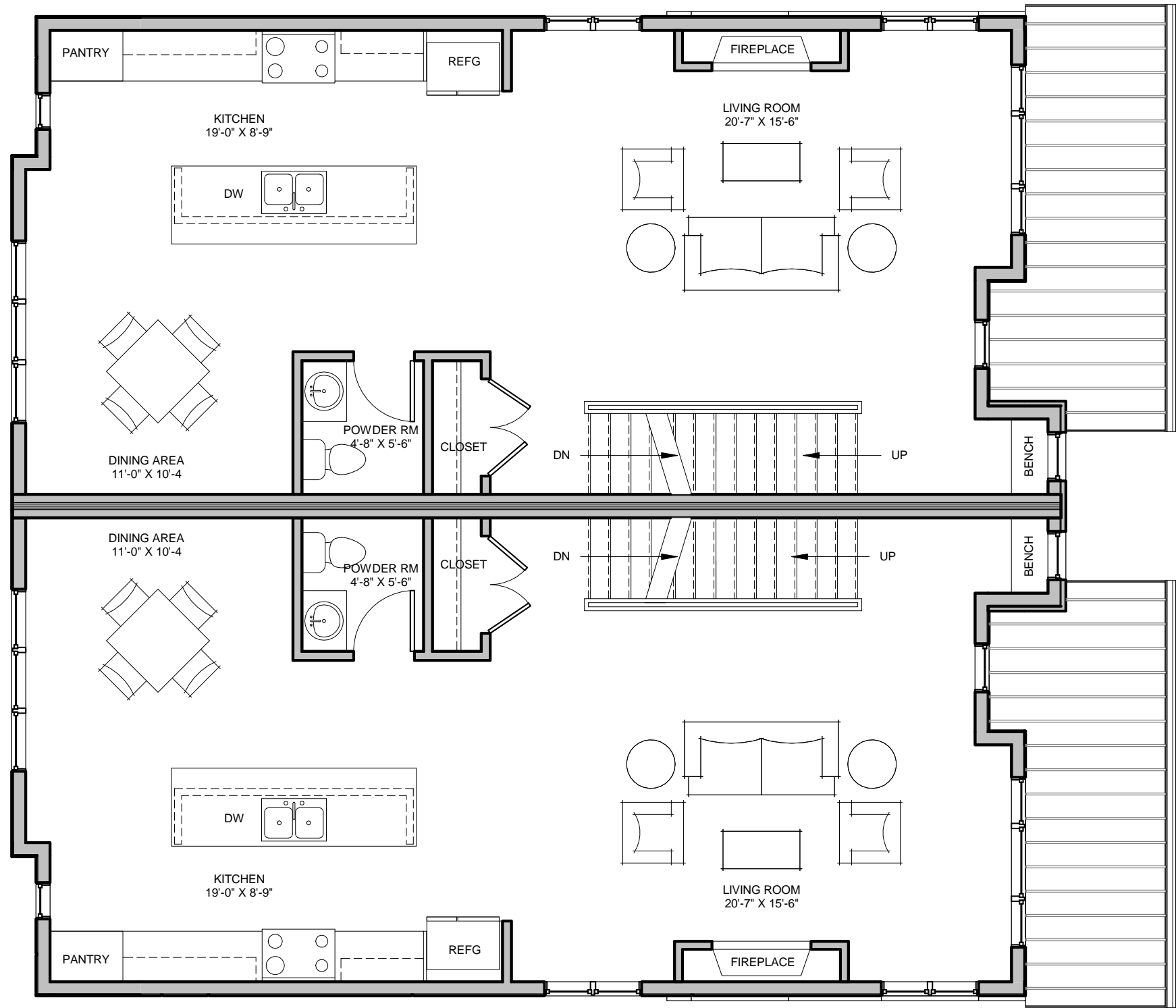


3 REAR ELEVATION  
SCALE: 3/16" = 1'-0"

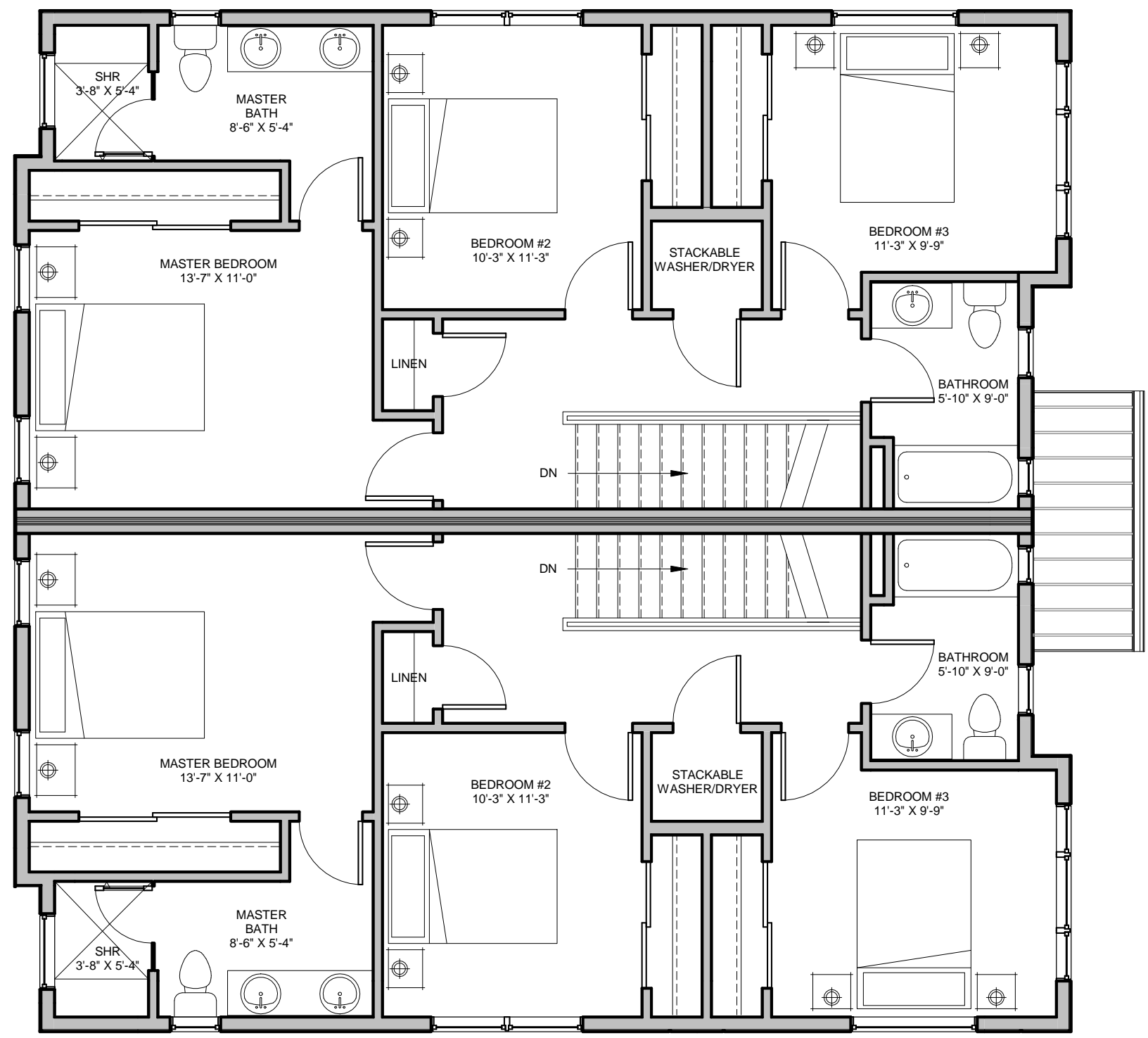




**1 GRADE LEVEL PLAN**  
SCALE: 3/16" = 1'-0"  
409 S.F. - EACH  
GARAGE - 412 S.F. - EACH



**2 MAIN LEVEL PLAN**  
SCALE: 3/16" = 1'-0"  
828 S.F. - EACH



**3 2ND FLOOR LEVEL PLAN**  
SCALE: 3/16" = 1'-0"  
815 S.F. - EACH





1 FRONT ELEVATION  
SCALE: 3/16" = 1'-0"

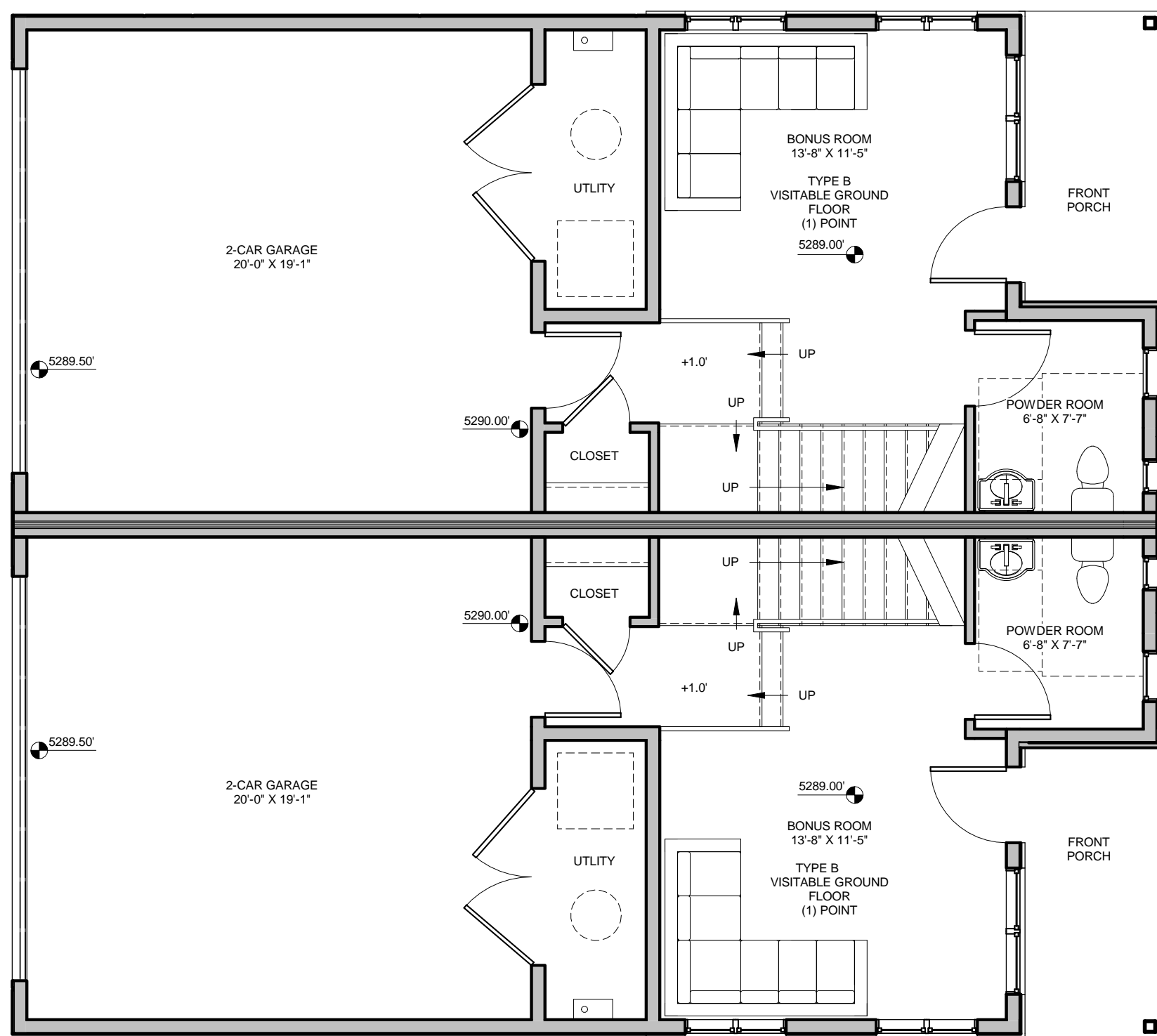


2 TYPICAL SIDE ELEVATION  
SCALE: 3/16" = 1'-0"



3 REAR ELEVATION  
SCALE: 3/16" = 1'-0"

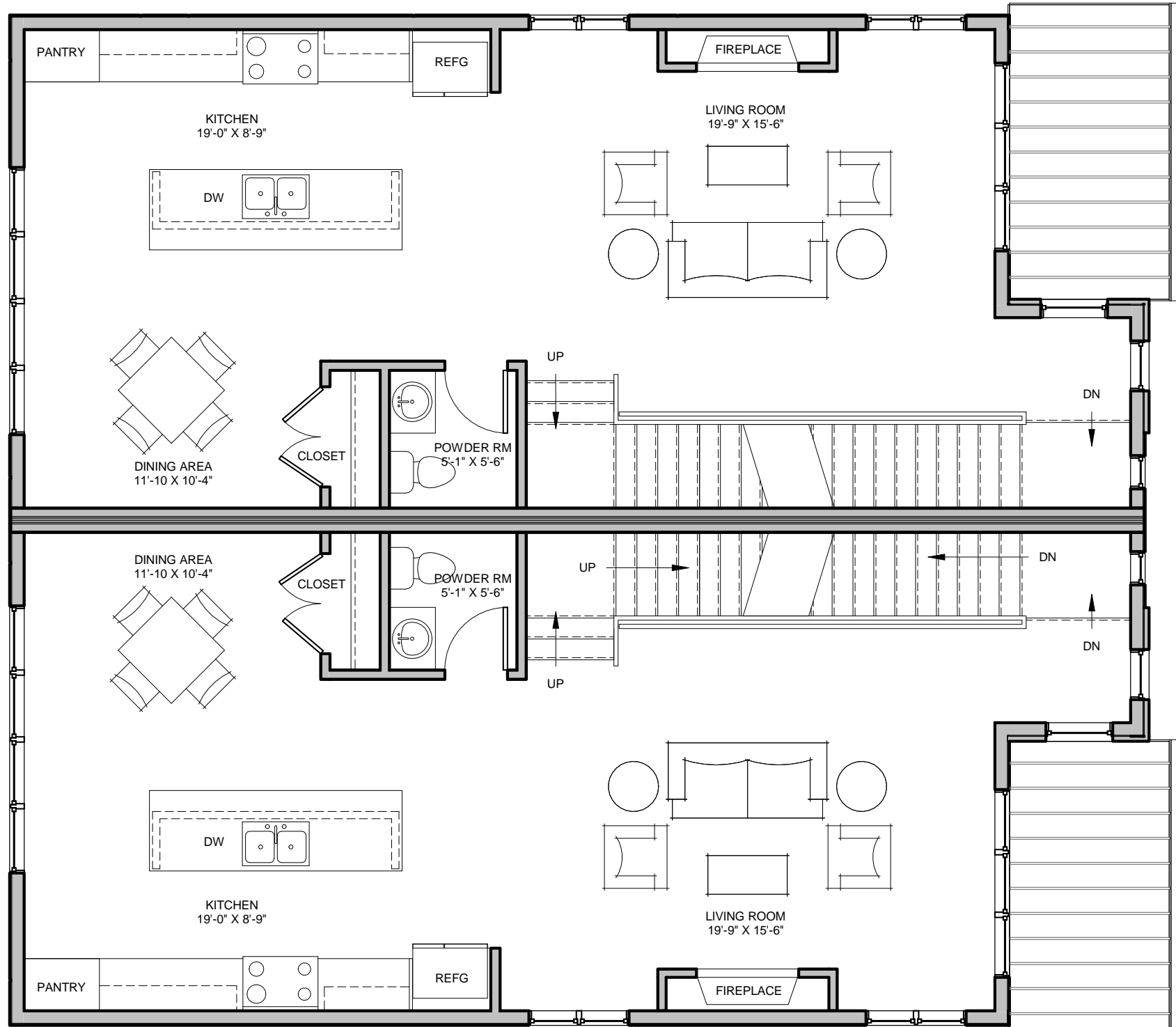




**1** GRADE LEVEL PLAN - ACCESSIBLE

SCALE: 3/16" = 1'-0"

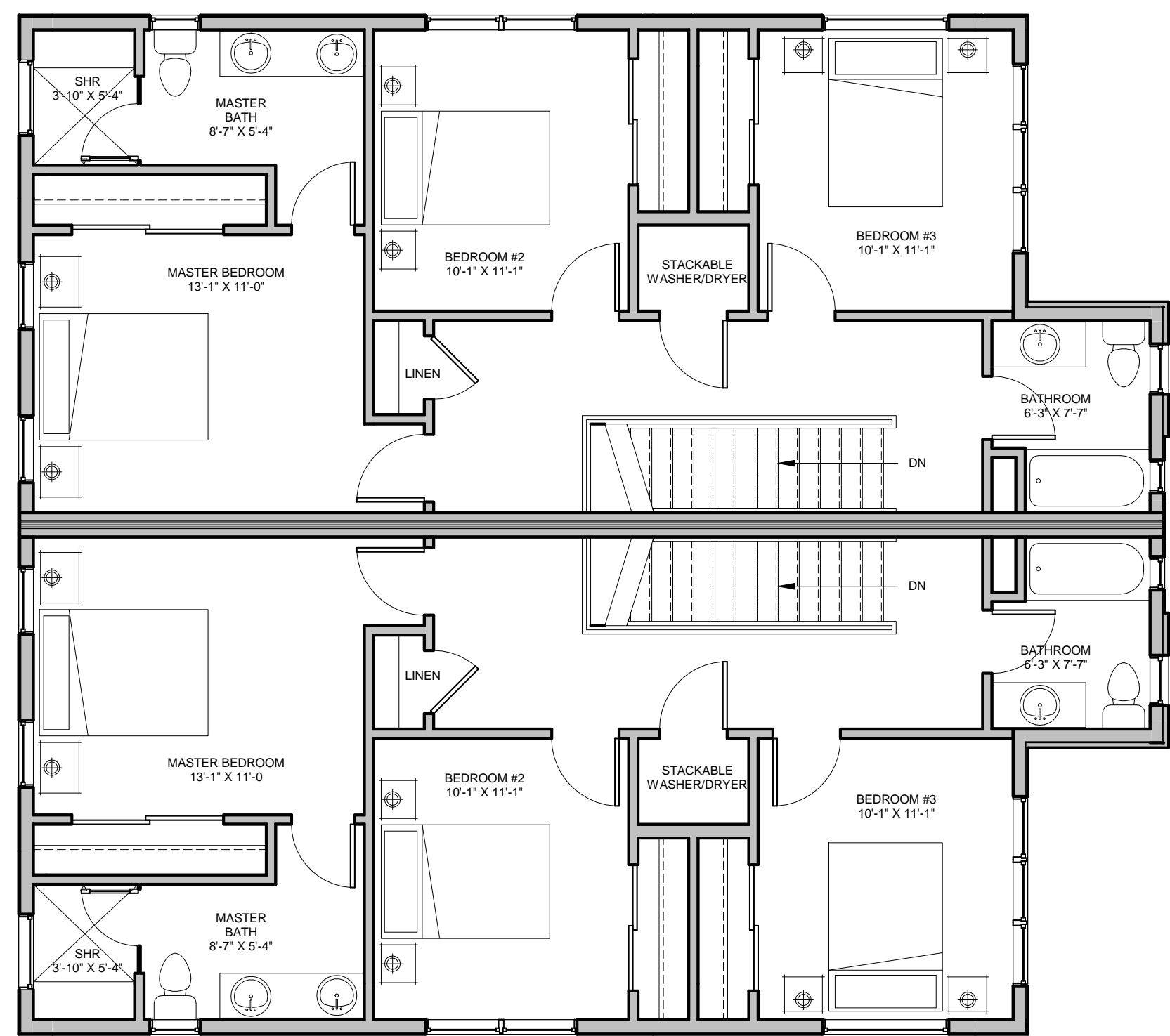
433 S.F. - EACH  
GARAGE - 412 S.F. - EACH



**2** MAIN LEVEL PLAN

SCALE: 3/16" = 1'-0"

845 S.F. - EACH



**3** 2ND FLOOR LEVEL PLAN

SCALE: 3/16" = 1'-0"

845 S.F. - EACH





1 FRONT ELEVATION  
SCALE: 3/16" = 1'-0"

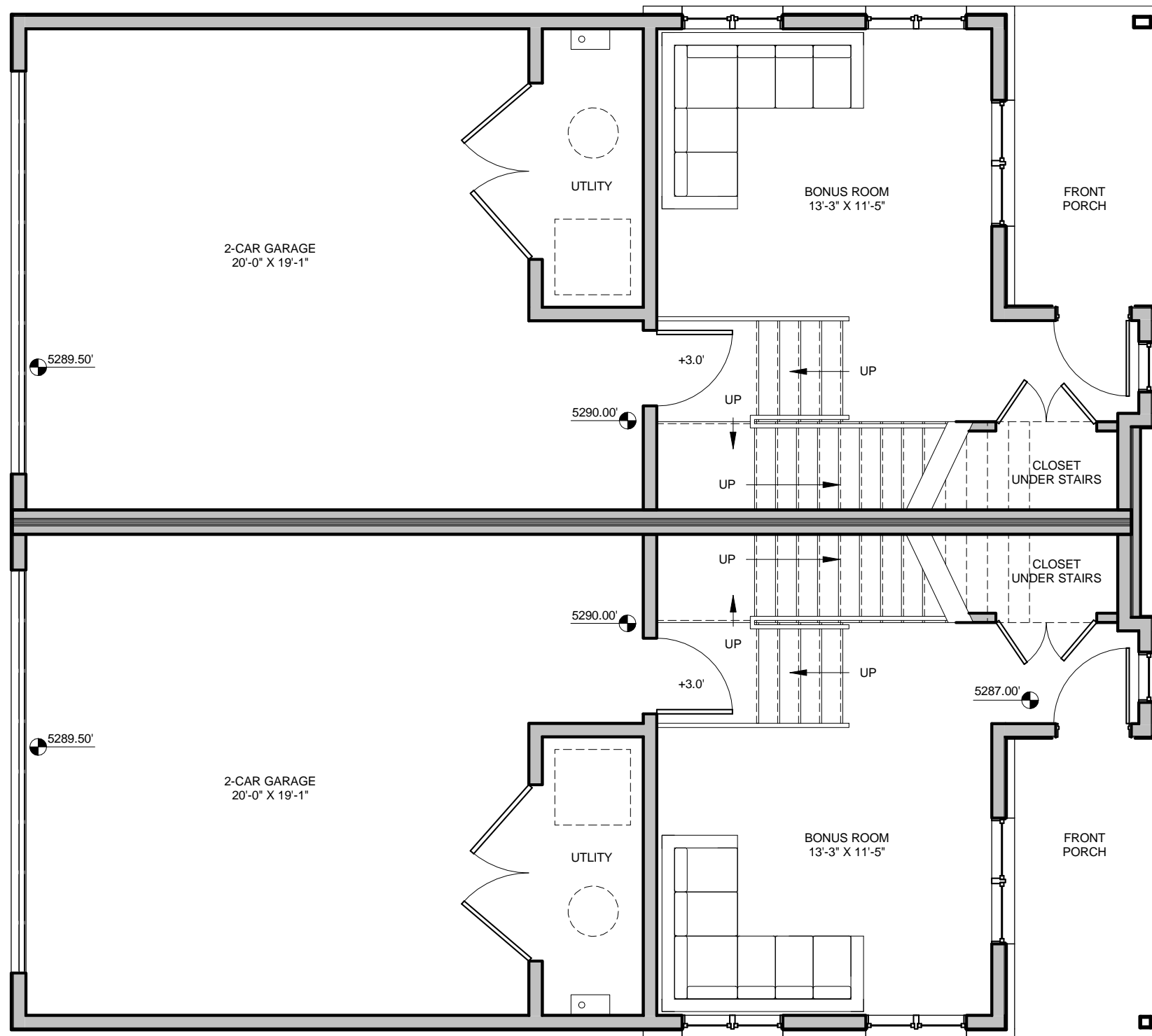


2 TYPICAL SIDE ELEVATION  
SCALE: 3/16" = 1'-0"

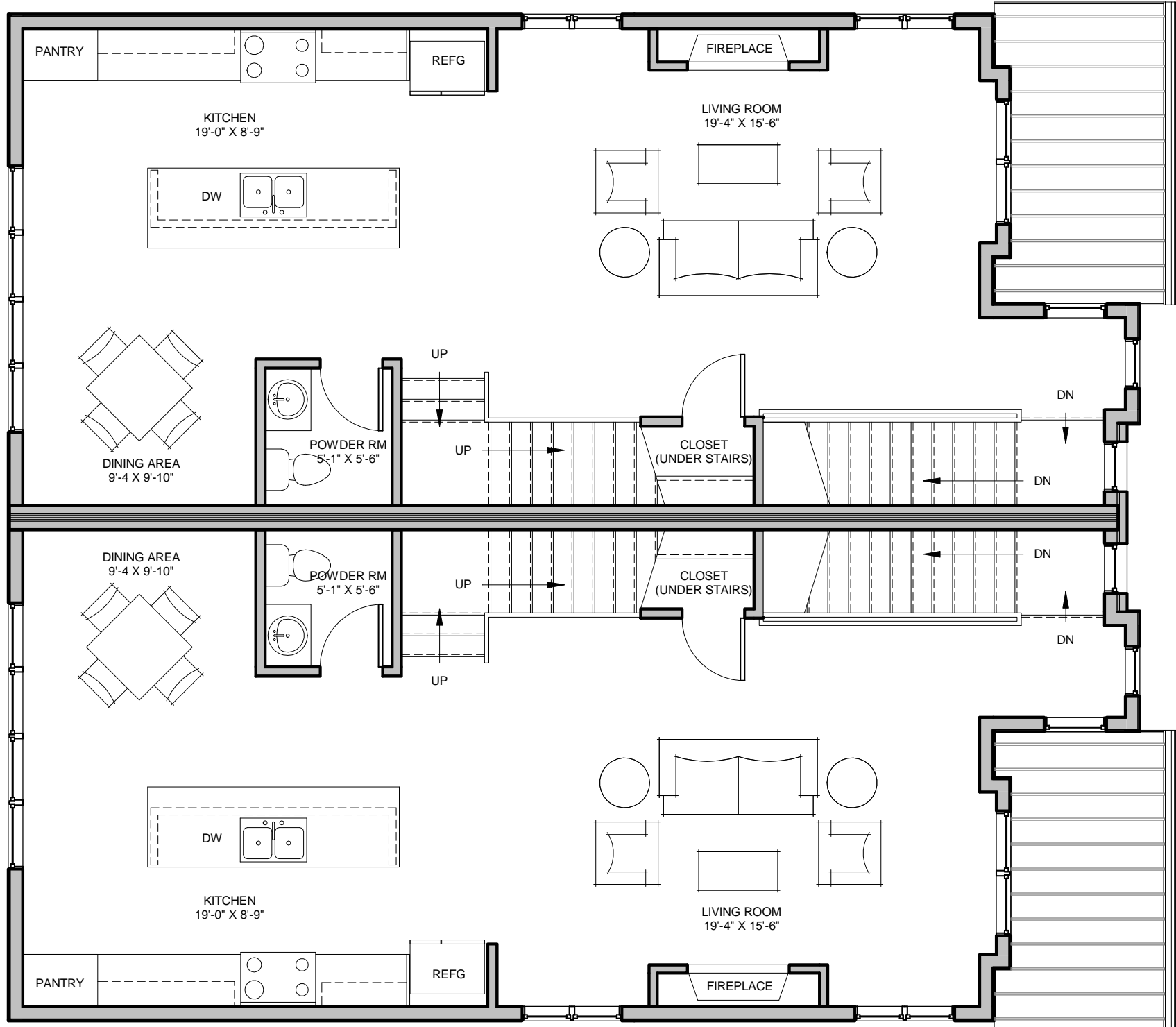


3 REAR ELEVATION  
SCALE: 3/16" = 1'-0"

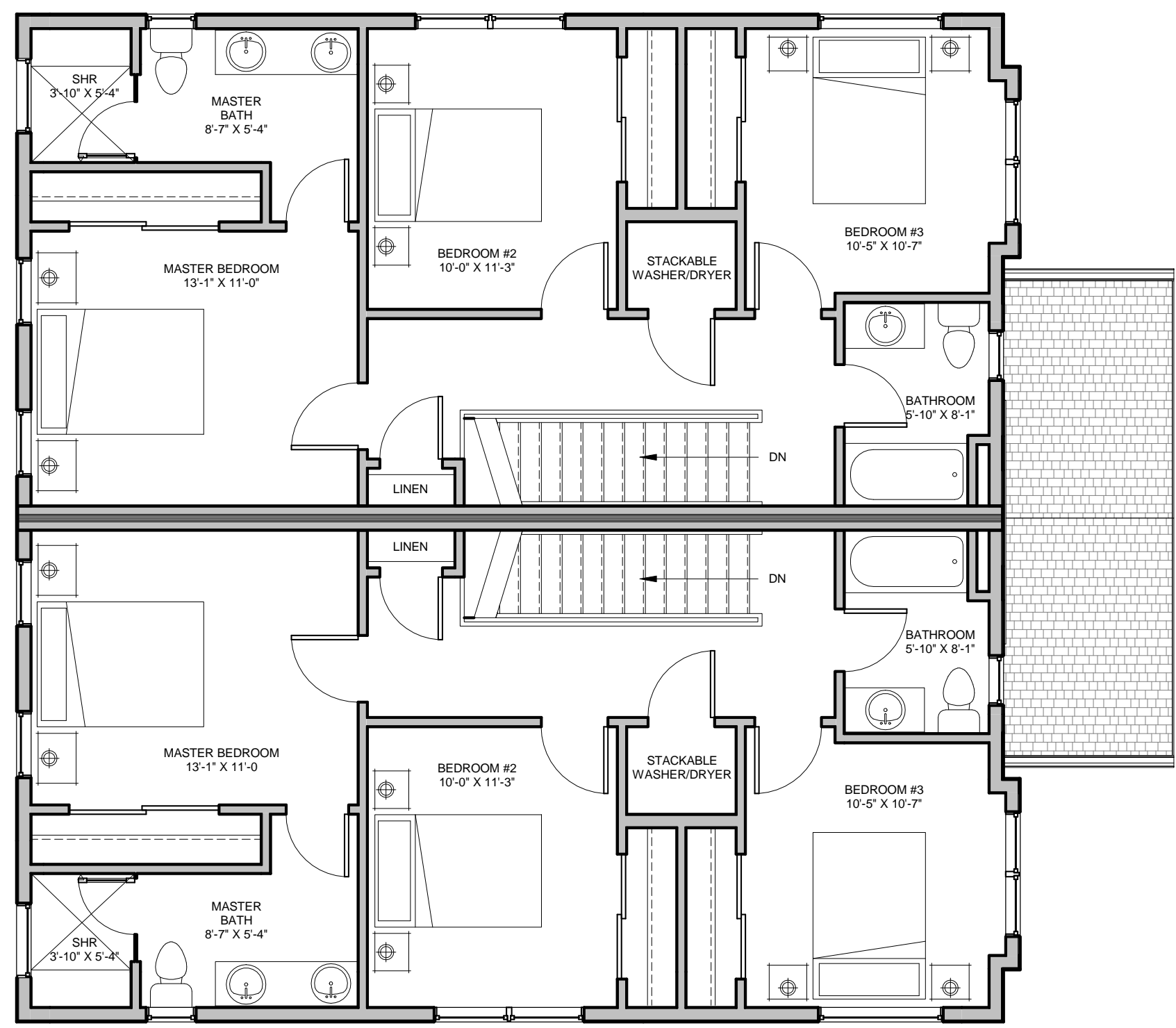




**1 GRADE LEVEL PLAN**  
SCALE: 3/16" = 1'-0"  
388 S.F. - EACH  
GARAGE - 448 S.F. - EACH



**2 MAIN LEVEL PLAN**  
SCALE: 3/16" = 1'-0"  
841 S.F. - EACH



**3 2ND FLOOR LEVEL PLAN**  
SCALE: 3/16" = 1'-0"  
795 S.F. - EACH



## STUART PLACE RESIDENCES - DUPLEX 7

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

### FLOOR PLANS

Project Number: 2019.12

Date: 4-30-2020

Drawn By: KAM

A-701



STUART PLACE RESIDENCES - DUPLEX 7

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

ELEVATIONS

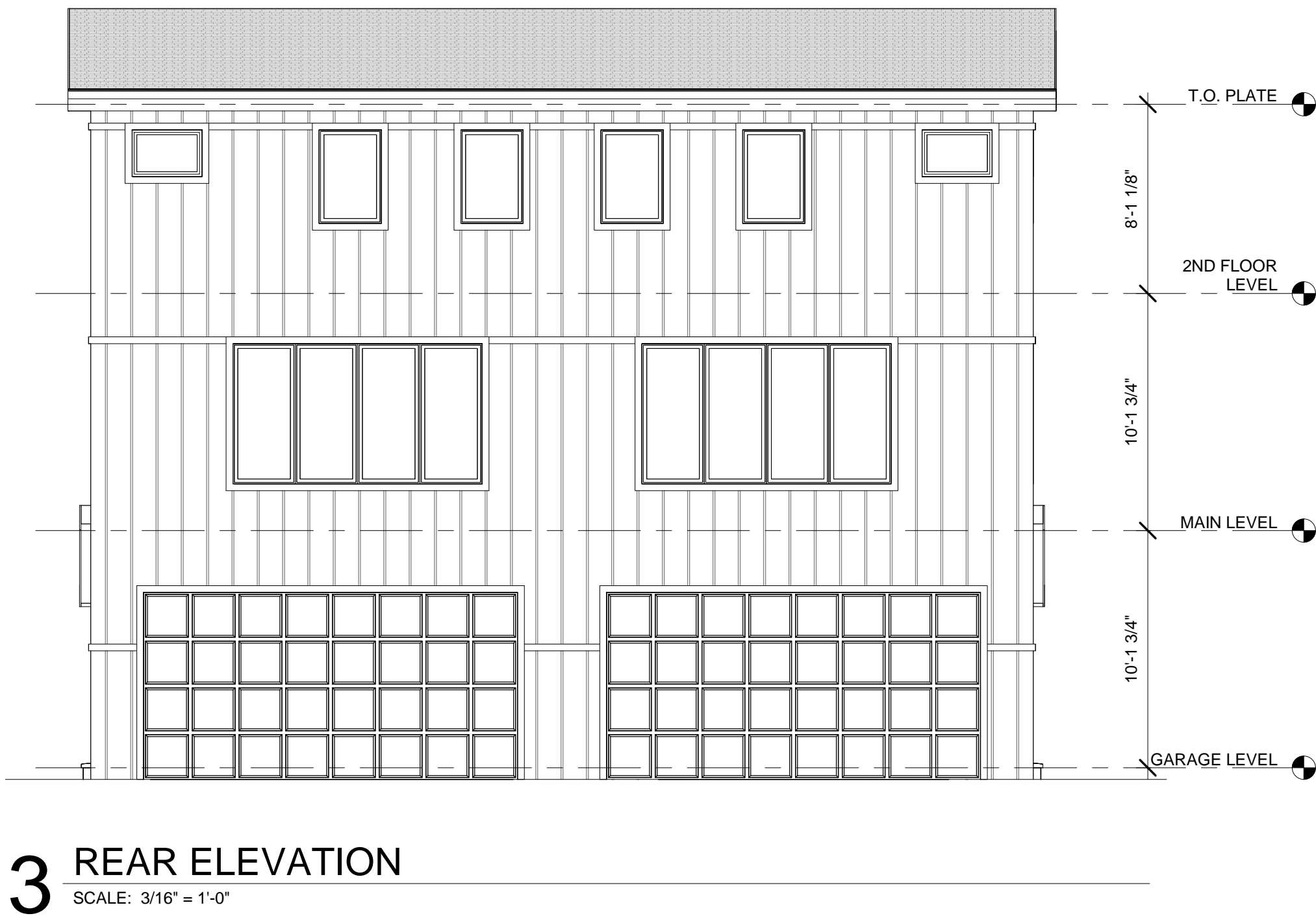
Project Number: 2019.12

Date 4-30-2020

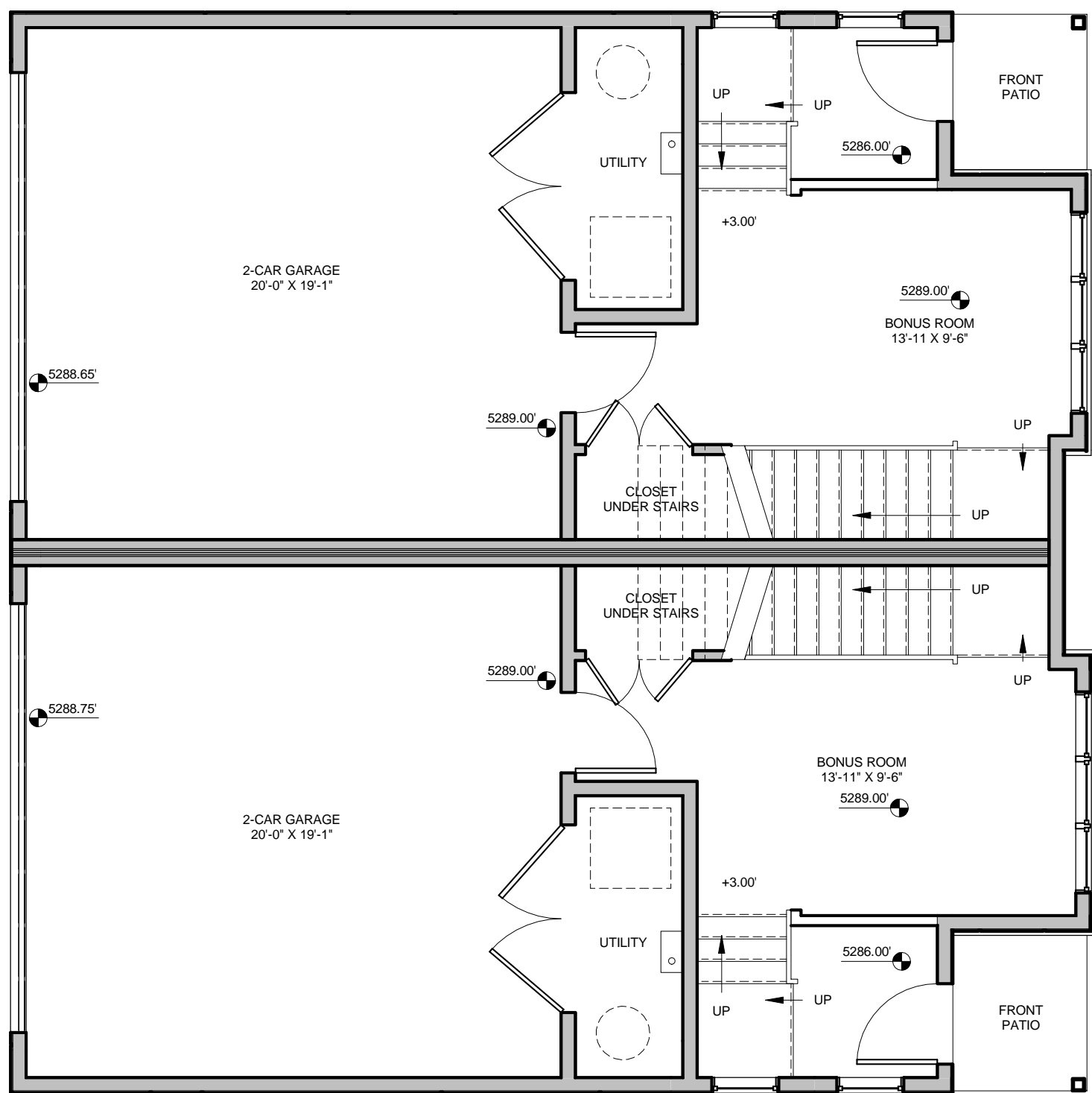
Drawn By KAM

A-702

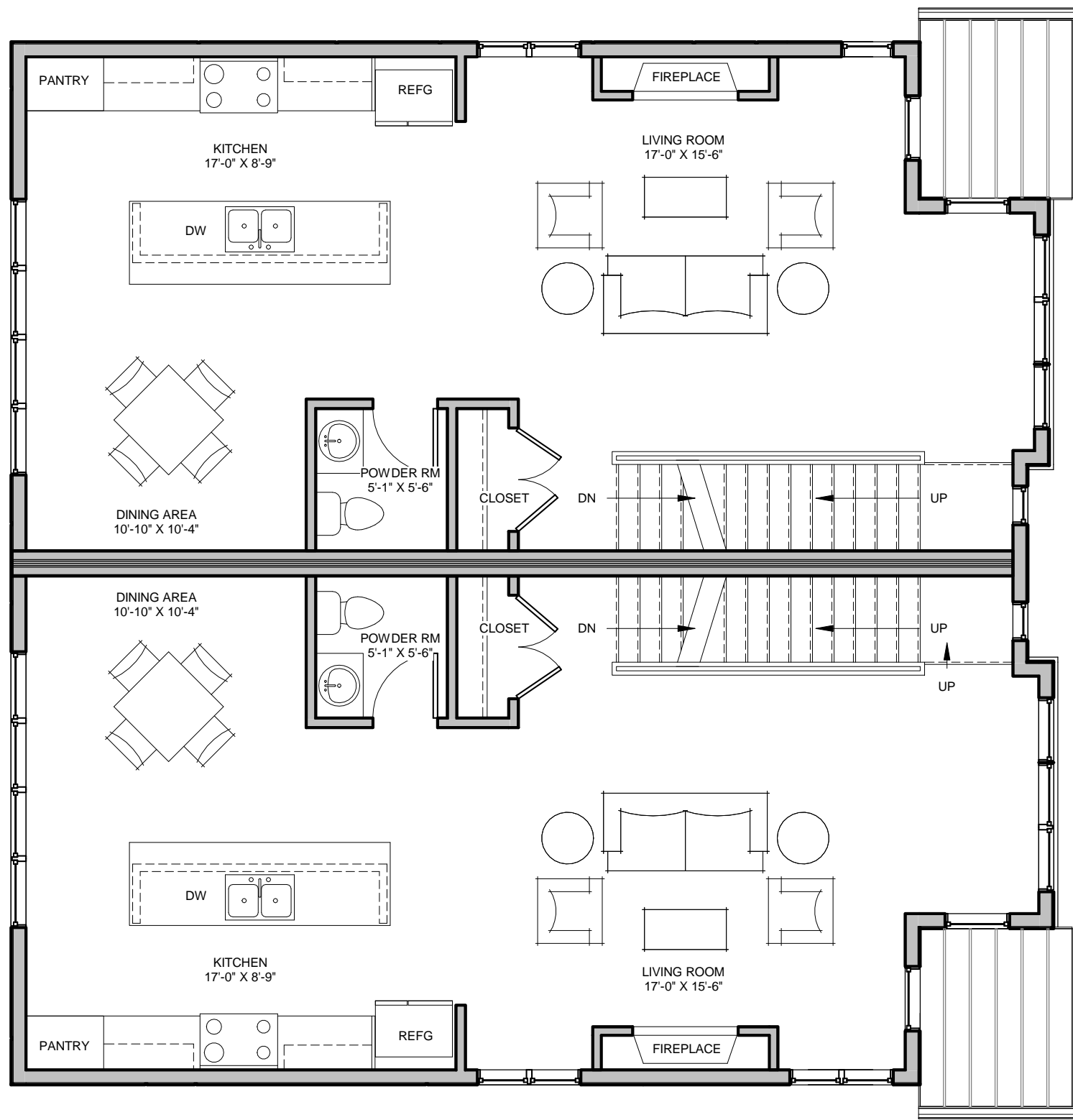
4/30/2020 10:35:03 AM



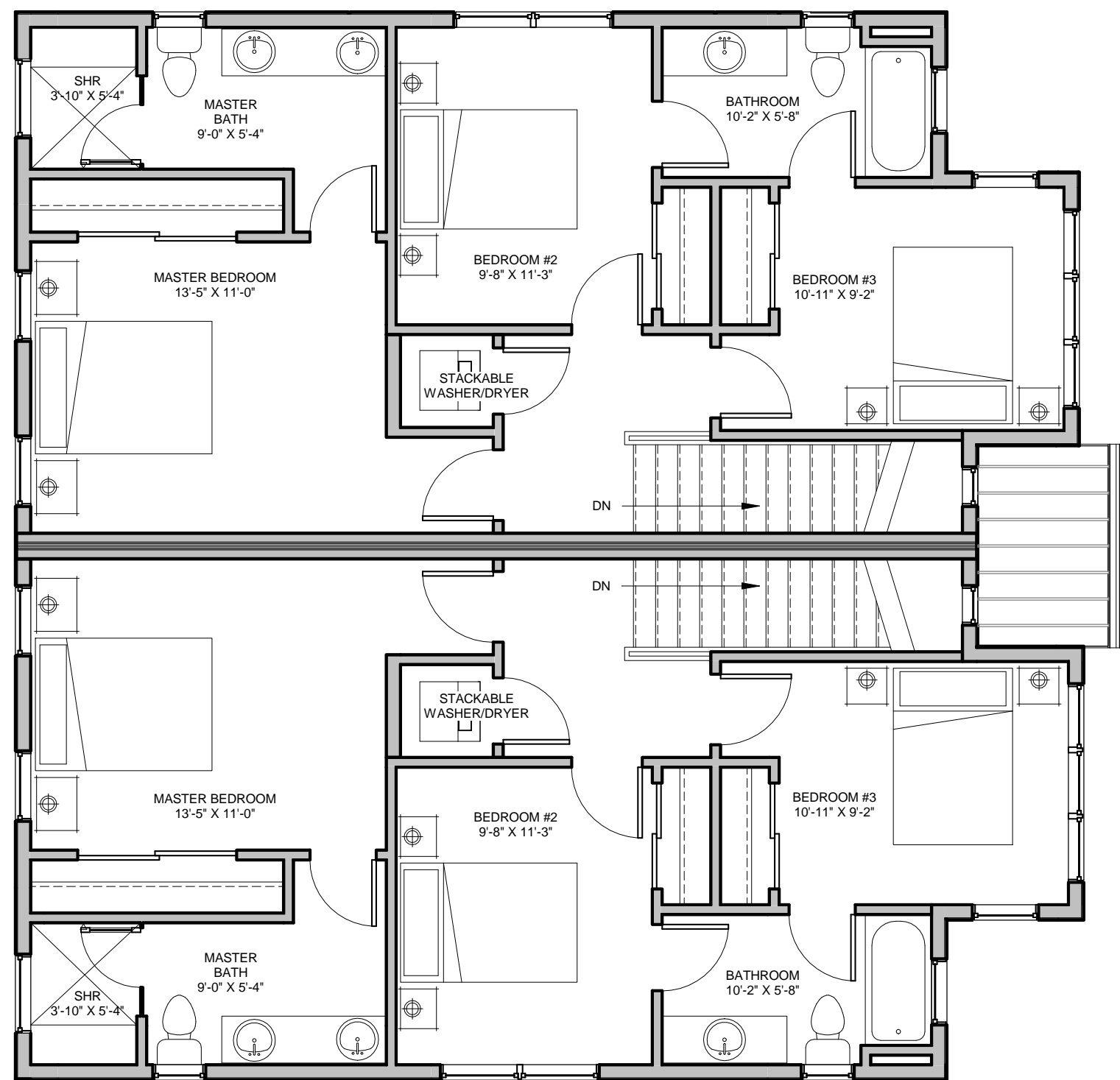




**1 ENTRY AND GARAGE LEVEL PLAN**  
SCALE: 3/16" = 1'-0"  
360 S.F. - EACH  
GARAGE - 412 S.F. - EACH



**2 MAIN LEVEL PLAN**  
SCALE: 3/16" = 1'-0"  
772 S.F. - EACH



**3 2ND FLOOR LEVEL PLAN**  
SCALE: 3/16" = 1'-0"  
760 S.F. - EACH



## STUART PLACE RESIDENCES - DUPLEX 4

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

### FLOOR PLANS

Project Number: 2019.12

Date: 5-20-2020

Drawn By: KAM

A-801

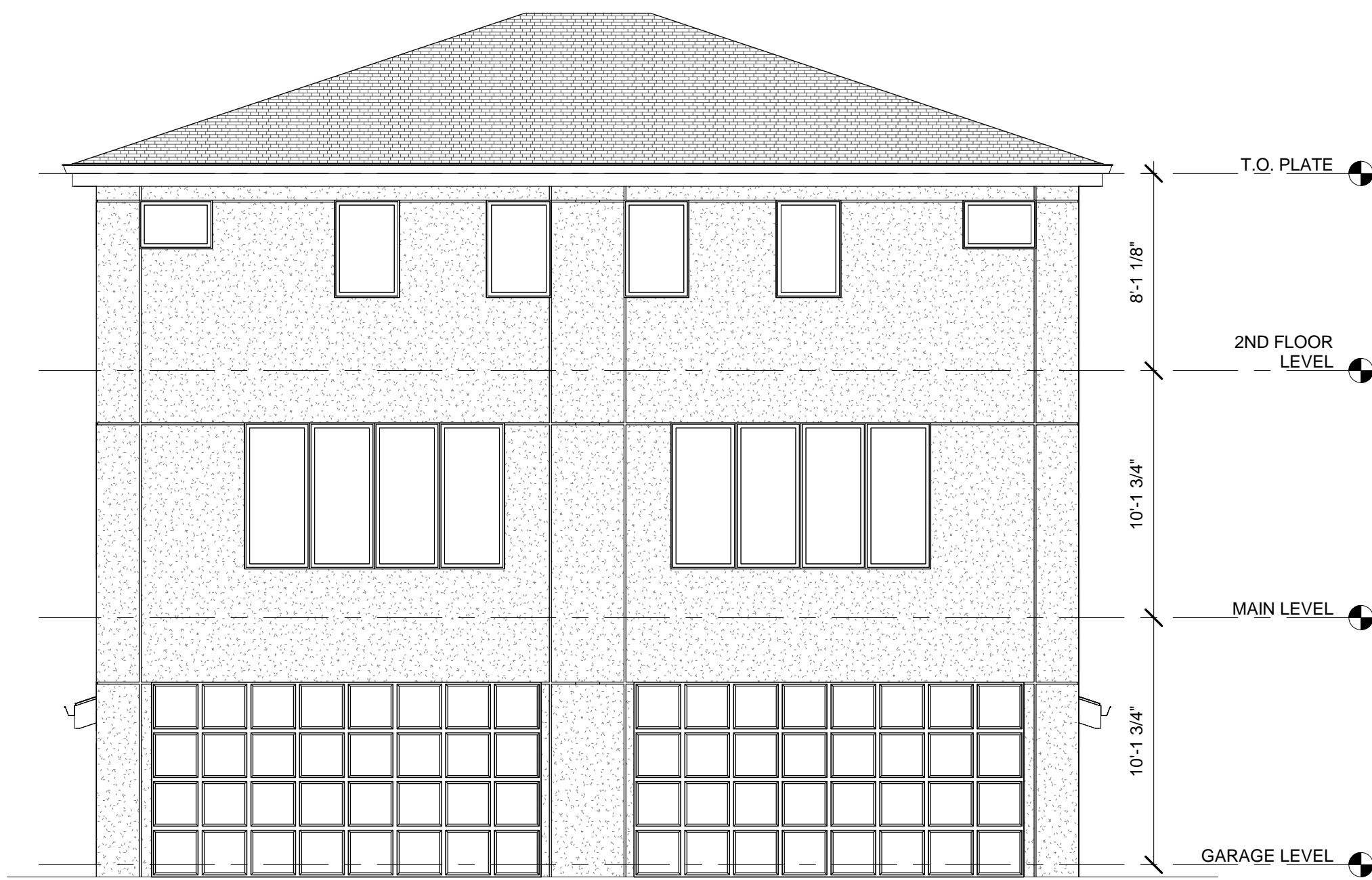




1 FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



2 TYPICAL SIDE ELEVATION  
SCALE: 3/16" = 1'-0"



3 REAR ELEVATION  
SCALE: 3/16" = 1'-0"





STUART PLACE RESIDENCES - DUPLEX 9

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

RENDERINGS

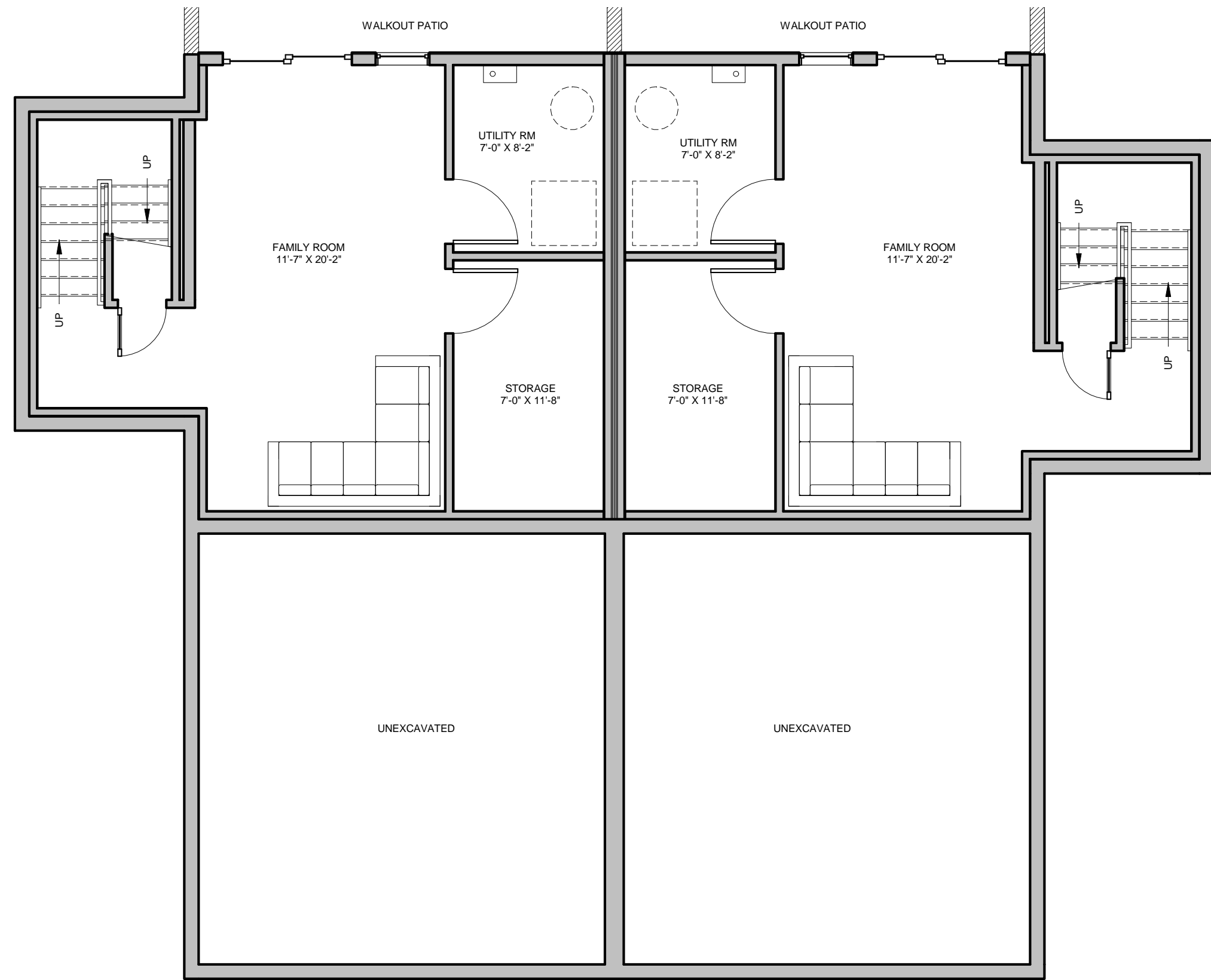
Project Number: 2019.12

Date 5-6-2020

Drawn By KAM

A-900

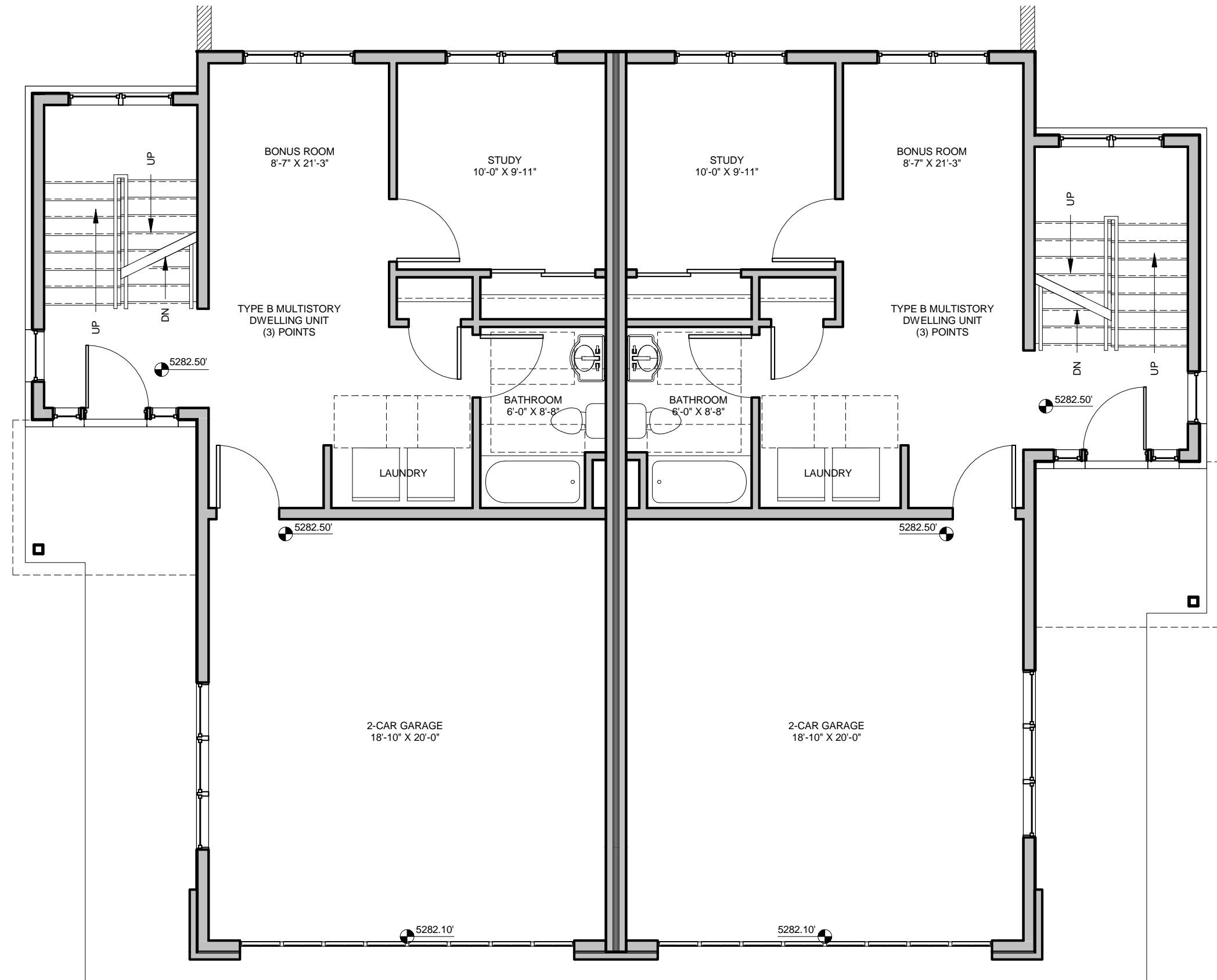




**1 LOWER LEVEL PLAN**

SCALE: 3/16" = 1'-0"

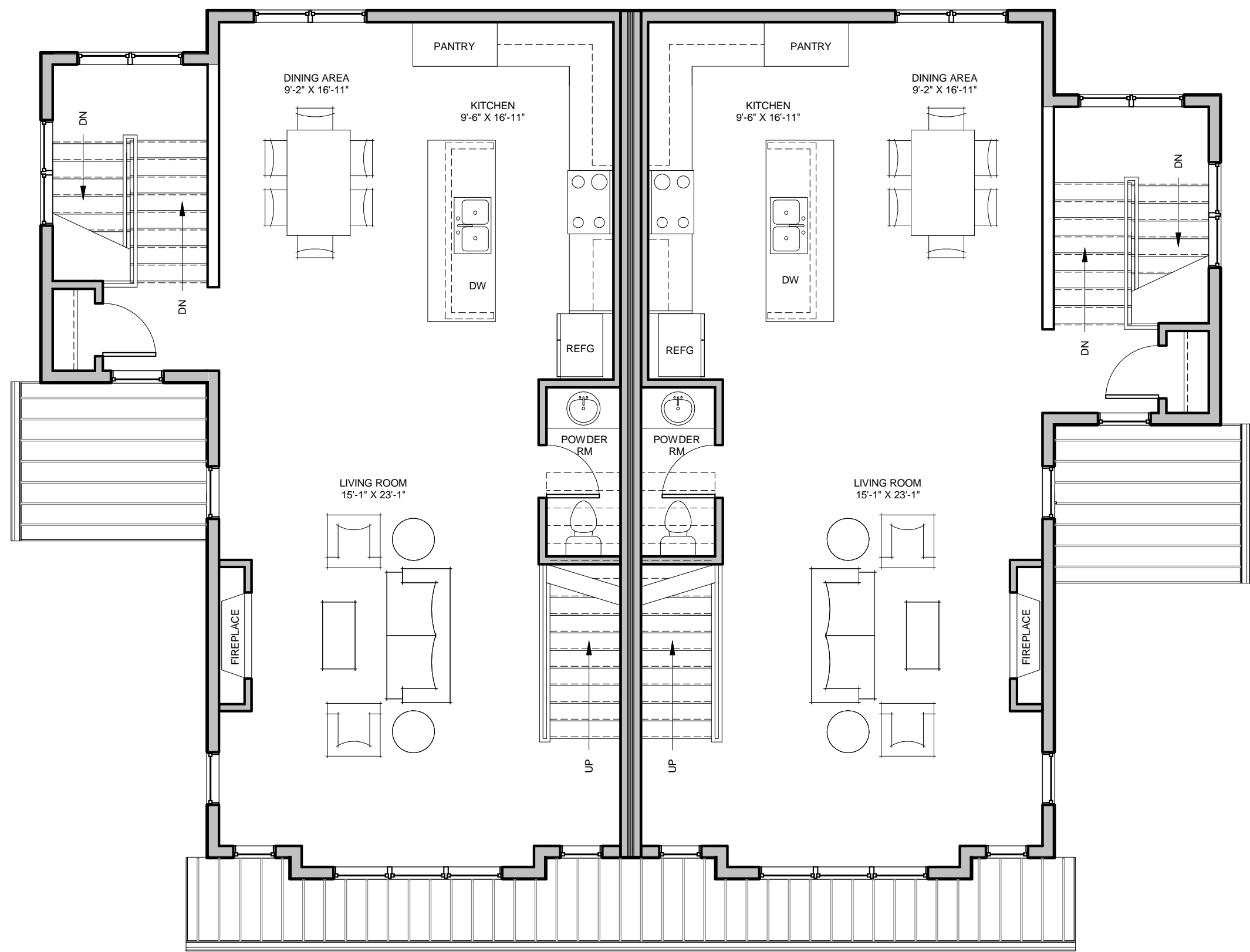
568 S.F. - EACH



**2 GRADE LEVEL PLAN - ACCESSIBLE**

SCALE: 3/16" = 1'-0"

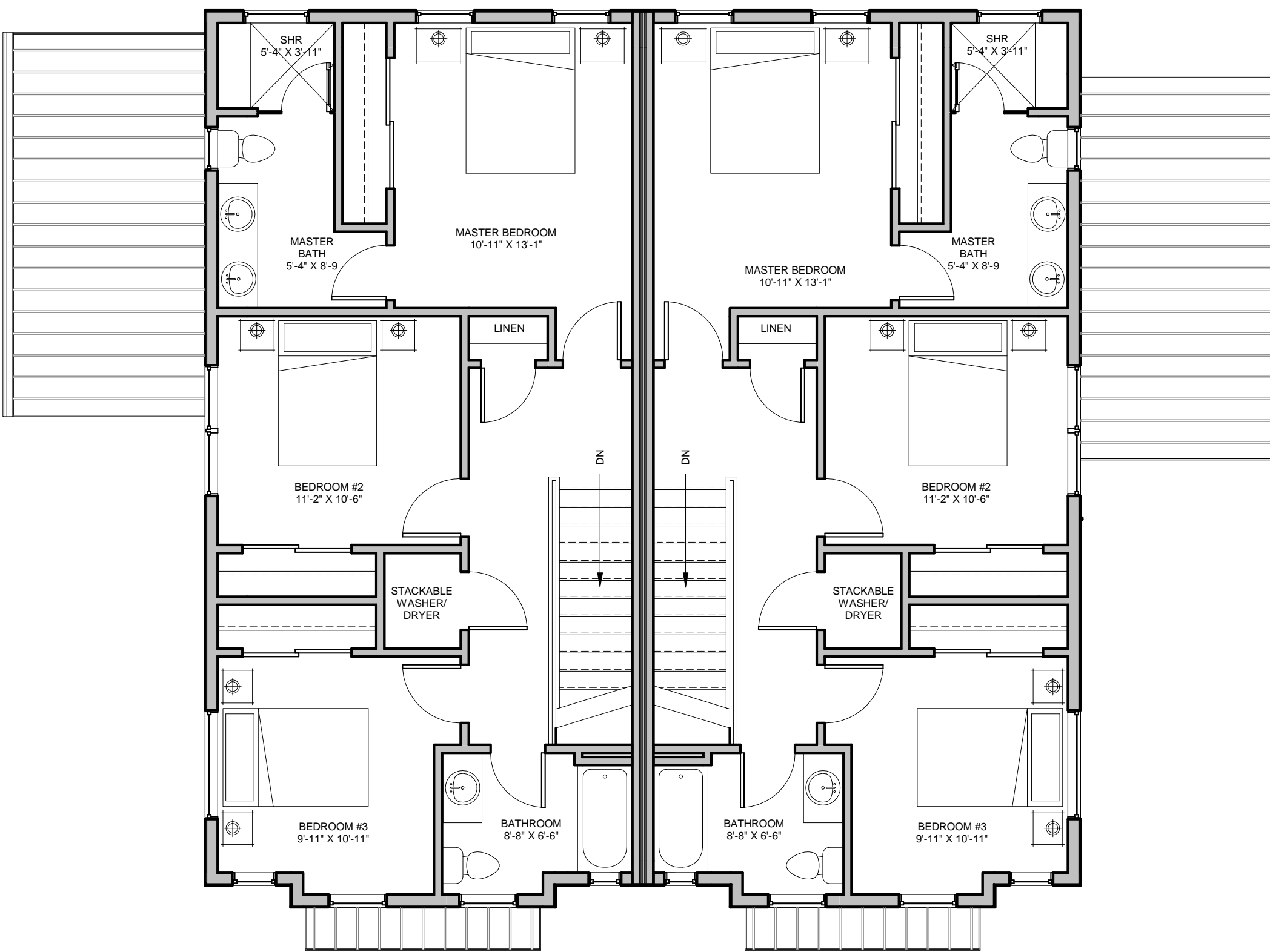
568 S.F. - EACH  
GARAGE - 414 S.F. - EACH



**3 MAIN LEVEL PLAN**

SCALE: 3/16" = 1'-0"

934 S.F. - EACH



**4 2ND FLOOR LEVEL PLAN**

SCALE: 3/16" = 1'-0"

812 S.F. - EACH



STUART PLACE RESIDENCES - DUPLEX 9

53RD & TENNYSON - ADAMS COUNTY, CO

XX-XX-2020 FOR PERMIT

FLOOR PLANS

Project Number: 2019.12

Date 5-6-2020

Drawn By KAM

A-901





1 FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



2 TYPICAL SIDE ELEVATION  
SCALE: 3/16" = 1'-0"



3 REAR ELEVATION  
SCALE: 3/16" = 1'-0"

# Comment Response

**Date: 05.13.20**

**To:** Adams County  
Community & Economic Development Department  
Planning Review  
ATTN.: Alan Sielaff, Planner II & Holden Pederson, Planner I  
4430 South Adams County Parkway  
Brighton, Colorado 80601-8204

**Re:** PRC2020-00005  
53<sup>rd</sup> and Tennyson Row

Dear Mr. Sielaff and Mr. Pederson:

The following letter responds to your plan review and comments for the project at **4301 W. 53<sup>rd</sup> Avenue, Denver, CO 80212**, Application #PRC2020-00005 and EGR2020-00007. Responses are listed below in **red**. Please call or email if you have any questions or require additional information.

## **Major Subdivision Plat (PLT) Process**

1. PLTs follow the process laid out in Section 2-02-19 and requires a two-step process for a Preliminary and Final Plat.

**Response:**

This has been noted, we will follow that process.

2. Preliminary Plat requires public hearings with the Planning Commission (PC) for recommendation and final approval by the Board of County Commissioners (BoCC). A Preliminary Plat expires two years following approval if a Final Plat has not been submitted.

**Response:**

We will provide an updated Preliminary Plat for PC.

**Denver Office:**  
3461 Ringsby Court, #125  
Denver, Colorado 80216  
720.594.9494

**Colorado Springs Office:**  
2727 North Cascade, #160  
Colorado Springs, CO 80907  
719.231.3959



3. Final Plat requires only final approval by the BoCC along with a Subdivision Improvements Agreement (SIA) and approved construction plans for any required public improvements.

**Response:**

This has been noted. Thank you.

**Preliminary Major Plat Comments**

1. Criteria of Approval to be considered by the Planning Commission and Board of County Commissioners can be found in Section 2-02-19-03-05 as a Preliminary Plat.

**Response:**

The Preliminary Plat meets the requirements set forth in Section 2-02-19-03-05.

2. Subdivision name should be preceded by "Preliminary Plat". This can be in smaller font just above the main title block.

**Response:**

Preliminary Plat has been added to the title.

3. Lot numbers on site plan and subdivision plat do not match. Please ensure consistency.

**Response:**

Lot numbers are now consistent with the site plan.

4. There is a discrepancy in the site area. The County Assessor indicates property is 2.16 acres, application materials have the property at 1.938 acres. Please verify size.

**Response:**

The area has been verified to be 2.144 acres total. Before any dedications and excluding the east 30 feet of Stuart St. the subject site is 1.903 acres. After dedicating Tracts A & B and Vacating the north 30 feet section of Stuart St., the subject site is 1.732 acres.

5. Please submit documentation ensuring adequate water supply is available as required by the Colorado Division of Water Resources (CDWR) comment letter.

**Response:**

Document ensuring adequate water supply has been provided. We are working with Denver water to propose a 6" water main loop through the drive aisle.

6. Existing structure to northwest of site under separate ownership indicated to be removed in Plat. Site Plan indicates it will be in an existing building easement. Existing buildings cannot cross properties lines without an an Encroachment Agreement between the two property owners. If this is to remain; such agreement will be required prior to public hearings.

**Response:**

An easement will not be provided. An existing building encroachment agreement will be provided.

**Denver Office:**  
3461 Ringsby Court, #125  
Denver, Colorado 80216  
720.594.9494

**Colorado Springs Office:**  
2727 North Cascade, #160  
Colorado Springs, CO 80907  
719.231.3959



7. How will common areas and site infrastructure be maintained? It is presumed an HOA will oversee this, and if so, will need to be referenced in any SIA to be included at the time of Final Plat. Without an HOA, it will be difficult to prove the proposal meets the criterion for adequate drainage of the subdivision (and ability to properly maintain).

**Response:**

A covenant/maintenance agreement in lieu of an HOA will be provided.

8. Engineering Review for the land use approval phase will focus on anticipated off-site impacts from drainage and traffic generation, and site design such as access and grading. Final construction documents of any required public improvements will be required at time of the Final Plat.

**Response:**

We are currently addressing the civil comments. Final construction documents will be provided at the time of the Final Plat.

9. General Subdivision Standards – Section 5-03

a. 5-03-03-06 LOT DEPTH TO WIDTH RATIO - No lot shall have an average depth greater than three times the average width unless the lot width is a minimum of four-hundredtwenty-five (425) feet.

i. Majority of lots do not meet this requirement.

**Response:**

An application for a waiver from this Subdivision Design Standard has been provided with this submittal.

ii. An application for a Waiver from Subdivision Design Standards is required with the next submittal to allow for this narrow lot configuration. This can be found on the Current Planning Applications Packets page. See Section 2-02-17 for process and approval criteria.

**Response:**

An application for a waiver from Subdivision Design Standards has been provided with this submittal.

b. 5-03-03-10 ACCESS TO LOTS BY PRIVATE ROADS - All lots with private access need to be specifically approved by the BoCC, which shall make written findings supporting the use of private roads in the form of a waiver from these standards and regulations.

i. An application for a Waiver from Subdivision Design Standards is required with the next submittal to allow this rear alley access configuration. This can be found on the Current Planning Applications Packets page. See Section 2-02-17 for process and approval criteria.

**Response:**

An application for a waiver from Subdivision Design Standards has been provided with this submittal.

**Denver Office:**  
3461 Ringsby Court, #125  
Denver, Colorado 80216  
720.594.9494

**Colorado Springs Office:**  
2727 North Cascade, #160  
Colorado Springs, CO 80907  
719.231.3959



ii. Multiple requests for waivers from subdivision standards require separate applications for each. This also will be taken into account in consideration of approval criteria for a Preliminary Plat, specifically #3.

**Response:**

Multiple applications for a waiver from Subdivision Design Standards has been provided with this submittal.

10. Land Dedication Standards – Section 5-05

a. Land dedication for parks and schools is required by code. Cash-in-lieu is preferred for a development of this size to satisfy the requirements. Calculation of fees will be done with any Final Plat application and expected to be paid prior to final recording. An estimate of fees based on the proposal is included following the comment letter. At this time, two estimates are provided (~\$22,000 and ~ \$29,000) based on the applicable housing type and zone district. Staff will need to further look into the applicability of dedication fees at time of Final Plat.

**Response:**

This has been noted. Thank you.

11. Roadway (Right-of-Way) Vacation application required: While Tracts A and B can be conveyed to the County on the Plat, right-of-way vacations, such as the piece at the northeast of the site at the end of the Stuart St. cul-de-sac, need to be specifically approved through a Roadway Vacation. This application can be found on the Current Planning Applications Packets page. See Section 2-02-18-08 for process and approval criteria.

**Response:**

Roadway Vacation Application has been provided with this submittal.

12. Additional comments impacting the Subdivision are provided as part of the separate Right-of-Way Review section below.

**Response:**

Additional comments have been addressed.

ROW1: Title commitment submitted by applicant is dated December 30, 2019. Applicant must provide updated or amended title commitment with resubmittal. Please submit a title commitment which should be used to depict the applicable recordings on the plat. Send Adams County a copy of the title commitment with your application dated no later than 30 days to review in order to ensure that any other party's interests are not encroached upon. All applicable easements/exceptions should be accurately shown and labeled on the plat.

**Response:**

An update title commitment has been provided.



ROW2: Include any applicable part of the following Easement Statement as a plat note:

Six-foot (6') wide utility easements are hereby dedicated on private property adjacent to the front lot lines of each lot in the subdivision. In addition, eight-foot (8') wide dry utility easements are hereby dedicated around the perimeter of tracts, parcels and/or open space areas. These easements are dedicated to Adams County for the benefit of the applicable utility providers for the installation, maintenance, and replacement of utilities. Utility easements shall also be granted within any access easements and private streets in the subdivision. Permanent structures, improvements, objects, buildings, wells, water meters and other objects that may interfere with the utility facilities or use thereof (Interfering Objects) shall not be permitted within said utility easements and the utility providers, as grantees, may remove any Interfering Objects at no cost to such grantees, including, without limitation, vegetation.

**Response:**

Note has been added.

ROW3: Include the following Storm Drainage Facilities Statement as a plat note:

The policy of the County requires that maintenance access shall be provided to all storm drainage facilities to assure continuous operational capability of the system. The property owners shall be responsible for the maintenance of all drainage facilities including inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on their land unless modified by the subdivision development agreement. Should the owner fail to maintain said facilities, the County shall have the right to enter said land for the sole purpose of operations and maintenance. All such maintenance cost will be assessed to the property owners.

**Response:**

Note has been added

ROW4: Point of commencement and/or point of beginning shall be clearly labeled on the plat drawing.

**Response:**

Point of beginning has been clearly labeled on the plat drawing.

ROW5: All courses in the property (legal) description shall be shown and labeled on the plat drawing, with all bearings having the same direction as called out in the legal description. The only exception being where more than one description is required, going a different direction over the same course. The direction shall then hold for the description having more weight (i.e., the overall boundary) for purposes of the plat. If both record and "as-measured" dimensions are being used, show both and clearly label on the plat drawing.

**Response:**

All courses in the legal description are shown and labeled on the plat with bearings and distances. Recorded measurements are in parentheses, as measure are italicized.



ROW6: Applicant must provide information on the plat for the exclusive Denver Water easement and the existing building easement for the encroaching structure. Clearly show and label all existing easements, to include width and recording information, that cross, abut or are located within the subdivision boundary. Easements: Book and page and/or reception number for all existing and newly created easements.

**Response:**

Information has been provided for the exclusive Denver Water easement and the existing building encroachment agreement.

ROW7: Square Footage: The area in square feet of all lot and tracts sought to be platted. Lots and tracts shall be labeled with the area of the lot or tract.

**Response:**

Square footage has been provided for all lots and tracts.

ROW8: Additional redlines are shown on the plat. Additional comments may be required with resubmittal.

**Response:**

Redlines on the plat have been addressed.

**Xcel Energy Plat Comments**

6-feet wide for natural gas facilities with a minimum 5-foot clearance from any structure and where there is drivable pavement and space for service truck access

**Response:**

10-foot utility easement has been provided.

8-feet wide for electric facilities including space for transformers, pedestals, and cabling

**Response:**

10-foot utility easement has been provided.

if gas and electric are within the same trench, a 10-foot wide utility easement is required, not to overlap any wet utility easement.

**Response:**

10-foot utility easement has been provided. Easement has been removed where crossing Denver water easement.

PSCo also requests the following language or plat note be placed on the preliminary and final plats for the subdivision:

Utility easements are dedicated to Adams County for the benefit of the applicable utility providers for the installation, maintenance, and replacement of electric, gas, television,

**Denver Office:**  
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Colorado Springs, CO 80907  
719.231.3959





cable, and telecommunications facilities (Dry Utilities). Utility easements shall also be granted within any access easements and private streets in the subdivision. Permanent structures, improvements, objects, buildings, wells, and other objects that may interfere with the utility facilities or use thereof (Interfering Objects) shall not be permitted within said utility easements and the utility providers, as grantees, may remove any Interfering Objects at no cost to such grantees, including, without limitation, vegetation. Public Service Company of Colorado (PSCo) and its successors reserve the right to require additional easements and to require the property owner to grant PSCo an easement on its standard form.

**Response:**

Note has been added to the plat.

If there are any questions, please contact me at [karl@altitudelandco.com](mailto:karl@altitudelandco.com).

Sincerely yours,  
**Altitude Land Consultants, Inc.**

A handwritten signature in black ink, appearing to read "Karl W. Franklin", is written over a light blue horizontal line.

Karl W. Franklin, PE-PLS-EXW  
Principal

**Denver Office:**  
3461 Ringsby Court, #125  
Denver, Colorado 80216  
720.594.9494

**Colorado Springs Office:**  
2727 North Cascade, #160  
Colorado Springs, CO 80907  
719.231.3959

[AltitudeLandCo.com](http://AltitudeLandCo.com)



# 53RD AND TENNYSON ROW SUBDIVISION PRELIMINARY PLAT

A PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.  
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO.  
SHEET 1 OF 2

**DEDICATION AND LEGAL DESCRIPTION:**

KNOW ALL MEN BY THESE PRESENTS THAT JOHN HORVAT, BEING THE SOLE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND:

A PORTION OF THE SOUTHWEST  $\frac{1}{4}$  OF THE NORTHEAST  $\frac{1}{4}$  OF SECTION 18M T3S R68W;  
BEGINNING AT THE SOUTHWEST CORNER OF LOT 24, BLOCK 10 BERKELEY GARDENS;  
THENCE WESTERLY 30 FEET TO A POINT ON THE BOUNDARY LINE OF WEST 53RD AVE;  
THENCE NORTH 350 FEET TO A POINT 30 FEET WEST OF THE NORTHWEST CORNER OF LOT 11, SAID BLOCK 10;  
THENCE WEST 152 FEET;  
THENCE IN A SOUTHWESTERLY DIRECTION 195.7' MORE OR LESS TO THE EAST BOUNDARY OF PRESENT LOCATION OF TENNYSON ROAD;  
THENCE IN SOUTHWESTERLY ON AND NEAR EAST BOUNDARY OF SAID ROAD 210.8 FEET;  
THENCE EAST 325 FEET ALONG NORTH BOUNDARY OF WEST 53RD TO THE POINT OF BEGINNING EXCEPTING THE EAST 30' FOR ROAD(RECEPTION #406012)  
CITY OF DENVER;  
COUNTY OF ADAMS;  
STATE OF COLORADO.

CONTAINING 2.144 ACRES OR 93,381.8 SQUARE FEET OF LAND, MORE OR LESS.

HAVE LAID OUT, SUBDIVIDED AND PLATTED THE SAME INTO LOTS UNDER THE NAME AND STYLE OF 53RD AND TENNYSON ROW SUBDIVISION, COUNTY OF ADAMS, STATE OF COLORADO. THE UNDERSIGNED DO, BY THIS PLAT, GRANT AND CONVEY TO THE COUNTY OF ADAMS, ALL OF THE FOLLOWING AS SHOWN HEREON:

A: A 6 FOOT WIDE UTILITY EASEMENT IS HEREBY DEDICATED ALONG THE FRONT LINE OF EACH LOT & IN ADDITION AN 8 FOOT WIDE DRY UTILITY EASEMENT IS HEREBY DEDICATED LONG THE PERIMETER OF TRACTS, PARCELS AND OPEN SPACES WHERE APPLICABLE.

B: AN EXISTING BUILDING ENCROACHMENT AGREEMENT WILL BE PROVIDED FOR THE ENCROACHING BUILDING IN THE NORTHWEST PORTION OF TRACT C.

C: TRACTS A & B TO BE DEDICATED TO THE COUNTY OF ADAMS FOR RIGHT-OF-WAY PURPOSES.

D: TRACT C IS FOR DRAINAGE PURPOSES.

EXECUTED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

**OWNER:**

\_\_\_\_\_

SIGNATURE

PRINT NAME

PRINT TITLE

**NOTARY CERTIFICATE**

STATE OF \_\_\_\_\_ )  
 ) SS.  
COUNTY OF \_\_\_\_\_ )

ACKNOWLEDGED BEFORE ME ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
BY \_\_\_\_\_, AS \_\_\_\_\_  
OF \_\_\_\_\_

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

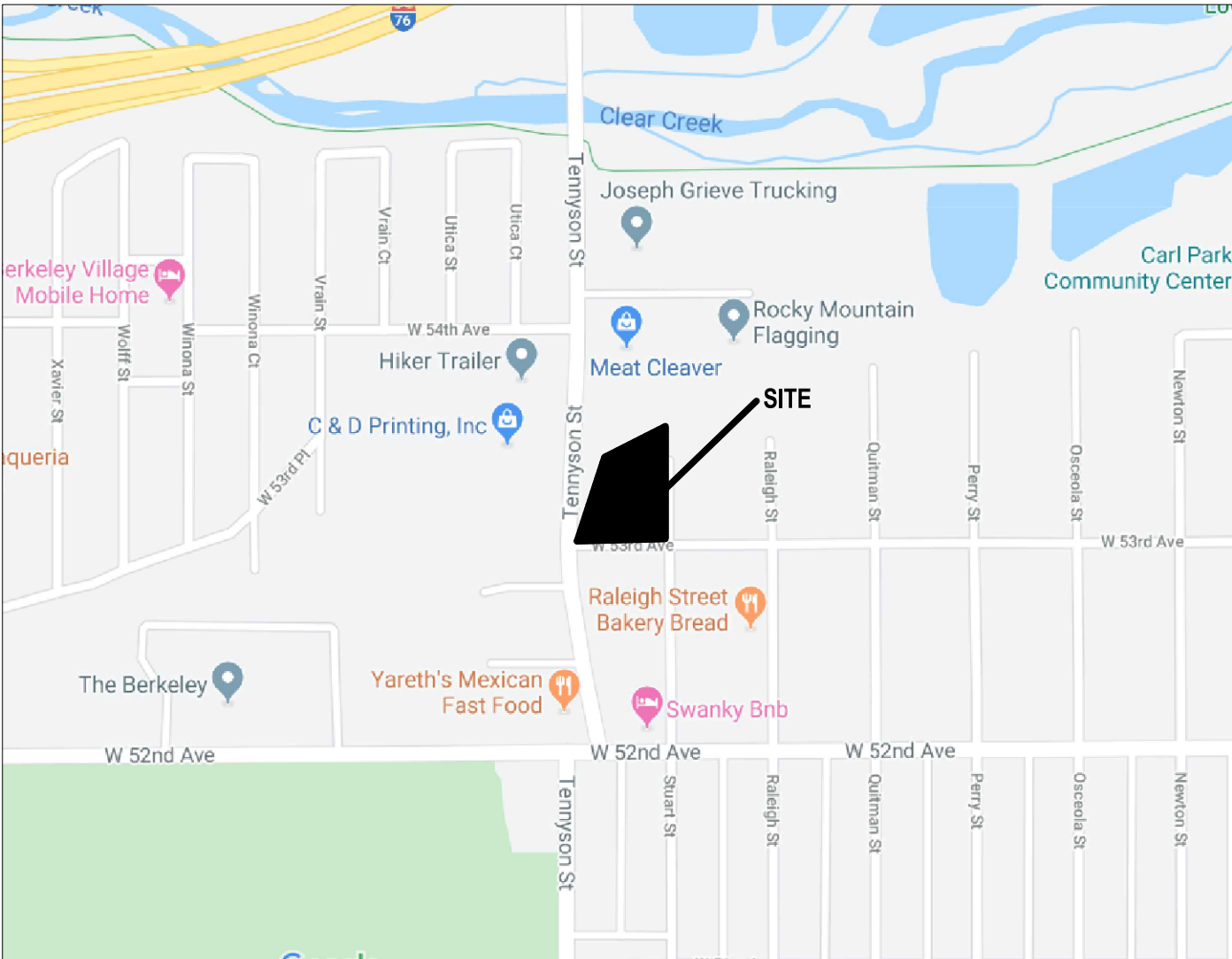
**CLERK & RECORDER:**

RECEPTION NO. \_\_\_\_\_

ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AT \_\_\_\_ O'CLOCK \_\_\_\_ M.

COUNTY CLERK AND RECORDER

BY: \_\_\_\_\_  
DEPUTY



VICINITY MAP:

SCALE 1" = 300'

**GENERAL NOTES:**

1. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY SUCH DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION.
2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508. COLORADO REVISED STATUTE.
3. THE TITLE COMMITMENT NUMBER 102-2000067-S DATED MAY 15, 2020 FROM FIRST INTEGRITY TITLE COMPANY AS AGENT FOR WESTCOR LAND TITLE INSURANCE COMPANY WAS RELIED ON FOR THIS LAND SURVEY PLAT.
4. BASIS OF BEARINGS: BEARINGS ARE BASED ON THE SOUTH LINE OF THE NORTHEAST ONE-QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST, BETWEEN A FOUND 2.5" ALUMINUM CAP (ILLEGIBLE) IN A RANGE BOX AT THE INTERSECTION OF 52ND AVENUE AND TENNYSON STREET AND A FOUND 2.5" ALUMINUM CAP (ILLEGIBLE) IN A RANGE BOX AT THE INTERSECTION OF 52ND AVENUE AND LOWELL BOULEVARD ASSUMED TO BEAR N 89° 23' 35" E.
5. ALL LINEAR MEASUREMENTS WERE TAKEN USING THE U.S. SURVEY FOOT.
6. A STRUCTURE EXTENDS 5.6' OVER THE NORTHWESTERLY BOUNDARY LINE, AN EXISTING BUILDING ENCROACHMENT AGREEMENT SHOWN HEREON, RECORDED AT RECEPTION NO. \_\_\_\_\_.
7. SIX-FOOT (6') WIDE UTILITY EASEMENTS ARE HEREBY DEDICATED ON PRIVATE PROPERTY ADJACENT TO THE FRONT LOT LINES OF EACH LOT IN THE SUBDIVISION. IN ADDITION, EIGHT-FOOT (8') WIDE DRY UTILITY EASEMENTS ARE HEREBY DEDICATED AROUND THE PERIMETER OF TRACTS, PARCELS AND/OR OPEN SPACE AREAS. THESE EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF UTILITIES.
8. UTILITY EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO (PSCO) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCO AND EASEMENT ON ITS STANDARD FORM.
9. THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE DOLE PURPOSE OF OPERATIONS AND MAINTENANCE. AL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.
10. 30 & 50 FOOT NON-EXCLUSIVE DENVER WATER EASEMENT, AS SHOWN HEREON, RECORDED AT RECEPTION NO. \_\_\_\_\_.

**CERTIFICATION OF SURVEY:**

I, KARL W. FRANKLIN, A LAND SURVEYOR LICENSED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THERE ARE NO EASEMENTS IN EVIDENE OR KNOWN BY ME TO EXIST ON OR ACROSS THE ABOVE-DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT I HAVE SURVEYED THIS PROPERTY AND THIS PLAT ACCURATELY AND PROPERTYLY SHOWS SAID PROPERTY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON. THIS LAND SURVEY PLAT COMPLIES WITH SECTION 38-51-106, COLORADO REVISED STATUTES.

KARL W. FRANKLIN,  
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR , P.L.S #37969  
FOR OR ON BEHALF OF ALTITUDE LAND CONSULTANTS

**PLANNING COMMISSION APPROVAL:**

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIR

**BOARD OF COUNTY COMMISSIONERS APPROVAL:**

APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIR



CIVIL|SURVEY|PLANNING|LANDSCAPE

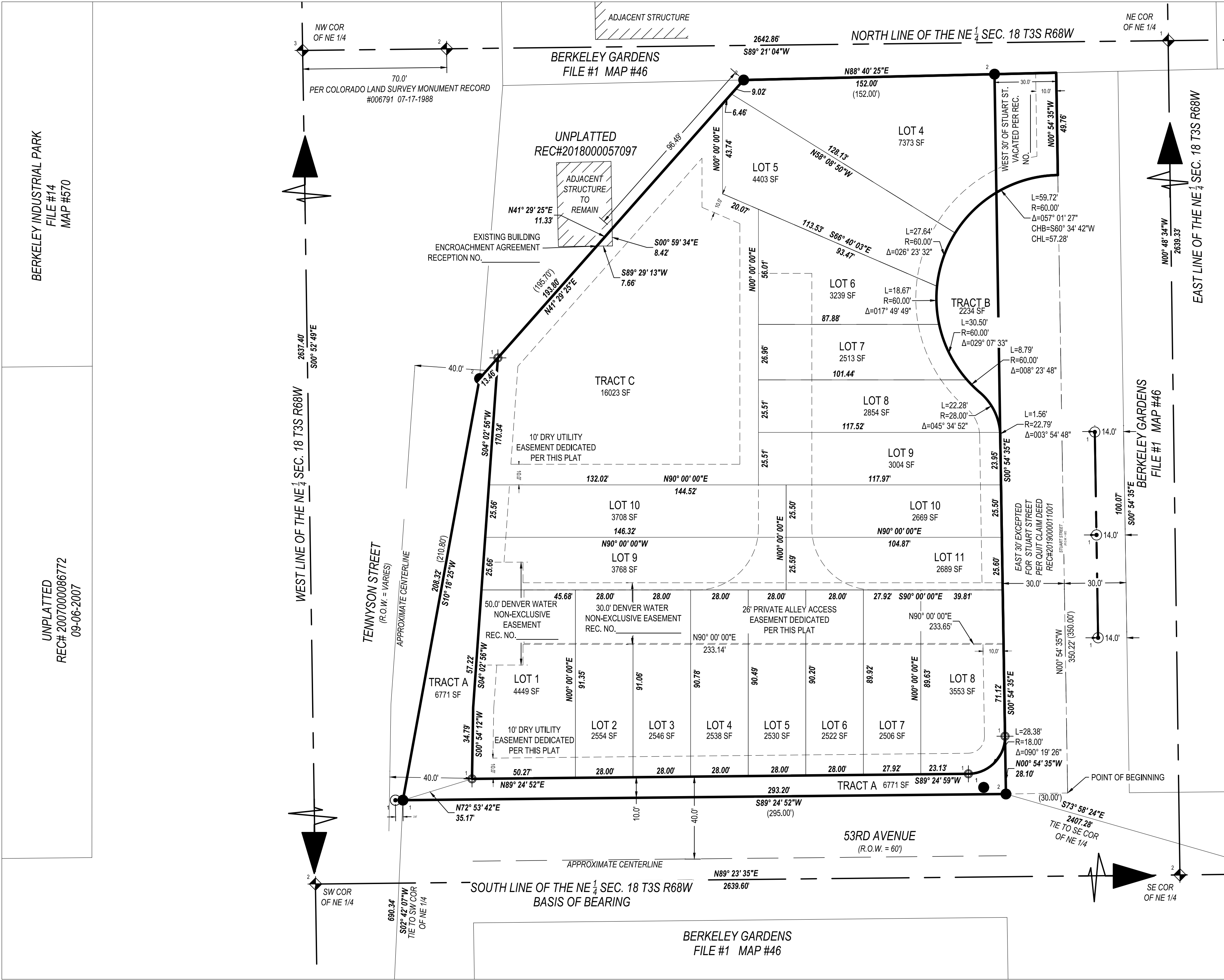
3461 Ringsby Ct, Suite 125  
Denver, CO 80216  
info@altitudelandco.com  
AltitudeLandCo.com

DATE: 01.15.2020  
JOB NO: 18-213

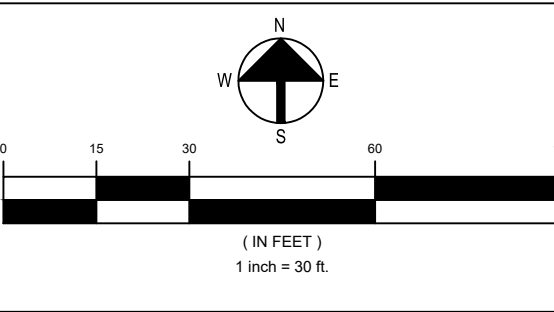
DRAWN BY: DLS  
CHECKED BY: KWF

# 53RD AND TENNYSON ROW SUBDIVISION PRELIMINARY PLAT

A PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.  
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO.  
SHEET 2 OF 2



- LEGEND:
- 1 SET #5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "ALC PLS 37969"
  - 2 SET MAG NAIL AND 1" BRASS TAG STAMPED "PLS 37969"
  - 1 FOUND #5 REBAR WITH YELLOW PLASTIC CAP "L.S. 9010"
  - 2 FOUND #5 REBAR WITH ORANGE PLASTIC CAP "L.S. 37969"
  - 1 FOUND 2.5" ALUMINUM CAP (ILLEGIBLE)
  - 2 FOUND 2.5" ALUMINUM CAP SECTION MONUMENT (ILLEGIBLE)
  - 3 SECTION CORNER CALCULATED PER MONUMENT RECORD
  - 1 FOUND NAIL AND WASHER (ILLEGIBLE)
  - ADJACENT PROPERTY LINE
  - PROPERTY LINE
  - EASEMENT
  - RANGE LINE



DATE: 01.15.2020  
JOB NO: 18-213

DRAWN BY: DLS &  
CHECKED BY: KWF

**ALTITUDE**  
LAND CONSULTANTS  
CIVIL | SURVEY | PLANNING | LANDSCAPE  
3461 Ringsby Ct, Suite 125  
Denver, CO 80216  
info@altitudelandco.com  
AltitudeLandCo.com

**ALTA Commitment Form (6-17-06)**

**COMMITMENT FOR TITLE INSURANCE**

***Issued by***  
**WestCor Land Title Insurance Company**

WestCor Land Title Insurance Company, a California corporation ("Company"), for a valuable consideration, commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the Proposed Insured named in Schedule A, as owner or mortgagee of the estate or interest in the land described or referred to in Schedule A, upon payment of the premiums and charges and compliance with the Requirements; all subject to the provisions of Schedules A and B and to the Conditions of this Commitment.

This Commitment shall be effective only when the identity of the Proposed Insured and the amount of the policy or policies committed for have been inserted in Schedule A by the Company.

All liability and obligation under this Commitment shall cease and terminate six (6) months after the Effective Date or when the policy or policies committed for shall issue, whichever first occurs, provided that the failure to issue the policy or policies is not the fault of the Company.

The Company will provide a sample of the policy form upon request.

IN WITNESS WHEREOF, WESTCOR LAND TITLE INSURANCE COMPANY has caused its corporate name and seal to be affixed and by these presents to be signed in facsimile under authority of its by-laws, effective as of the date of Commitment shown in Schedule A.

WESTCOR LAND TITLE INSURANCE COMPANY



By: Mary O'Vannelli  
President  
Attest: Patricia W. Power  
Secretary

## CONDITIONS

1. The term mortgage, when used herein, shall include deed of trust, trust deed, or other security instrument.
2. If the proposed Insured has or acquired actual knowledge of any defect, lien, encumbrance, adverse claim or other matter affecting the estate or interest or mortgage thereon covered by this Commitment other than those shown in Schedule B hereof, and shall fail to disclose such knowledge to the Company in writing, the Company shall be relieved from liability for any loss or damage resulting from any act of reliance hereon to the extent the Company is prejudiced by failure to so disclose such knowledge. If the proposed Insured shall disclose such knowledge to the Company, or if the Company otherwise acquires actual knowledge of any such defect, lien, encumbrance, adverse claim or other matter, the Company at its option may amend Schedule B of this Commitment accordingly, but such amendment shall not relieve the Company from liability previously incurred pursuant to paragraph 3 of these Conditions.
3. Liability of the Company under this Commitment shall be only to the named proposed Insured and such parties included under the definition of Insured in the form of policy or policies committed for and only for actual loss incurred in reliance hereon in undertaking in good faith (a) to comply with the requirements hereof, or (b) to eliminate exceptions shown in Schedule B, or (c) to acquire or create the estate or interest or mortgage thereon covered by this Commitment. In no event shall such liability exceed the amount stated in Schedule A for the policy or policies committed for and such liability is subject to the insuring provisions and Conditions and the Exclusions from Coverage of the form of policy or policies committed for in favor of the proposed Insured which are hereby incorporated by reference and are made a part of this Commitment except as expressly modified herein.
4. This Commitment is a contract to issue one or more title insurance policies and is not an abstract of title or a report of the condition of title. Any action or actions or rights of action that the proposed Insured may have or may bring against the Company arising out of the status of the title to the estate or interest or the status of the mortgage thereon covered by this Commitment must be based on and are subject to the provisions of this Commitment.
5. *The policy to be issued contains an arbitration clause. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. You may review a copy of the arbitration rules at <http://www.alta.org/>.*

**First Integrity Title Company  
as agent for  
WestCor Land Title Insurance Company**

Commitment No.: 102-2000067-S

**SCHEDULE A  
COMMITMENT FOR TITLE INSURANCE**

1. Effective Date: **May 15, 2020**

2. Policy or Policies to be issued:

	Amount	Premium
A. ALTA Owners Policy (06/17/06)	<b>\$0.00</b>	<b>\$0.00</b>

Proposed Insured: **TBD**

B. ALTA Loan Policy (06/17/06)	<b>\$0.00</b>	<b>\$0.00</b>
--------------------------------	---------------	---------------

Proposed Insured: TBD, its successors and/or assigns as their interests may appear.

TBD - Commitment	<b>\$115.00</b>
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3. The estate or interest in the land described or referred to in this Commitment and covered herein is Fee Simple and title thereto is at the effective date hereof vested in:

**53rd & Tennyson, LLC, a Colorado limited liability company**

4. The land referred to in this Commitment is situate in Adams County, State of Colorado and is described as follows:

See Exhibit A attached hereto and made a part hereof.

Also known by street and number as: 4301 W 53rd Ave, Denver, CO 80212-4020

This commitment is invalid unless the Insuring Provisions and Schedules A and B are attached.

## EXHIBIT A

A PORTION OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO, DESCRIBED AS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 24, BLOCK 10, BERKELEY GARDENS, THENCE WESTERLY 30 FEET TO A POINT ON THE NORTH BOUNDARY LINE OF WEST 53RD AVENUE, CORNER NO. 1;

THENCE NORTH 350 FEET ON A LINE PARALLEL WITH THE WEST BOUNDARY LINE OF SAID BLOCK 10, TO A POINT 30 FEET WEST OF THE NORTHWEST CORNER OF LOT 11, IN BLOCK 10, BERKELEY GARDENS, CORNER NO. 2;

THENCE WEST 152 FEET, FORMING AN INTERIOR ANGLE 89 DEGREES 35 MINUTES, CORNER NO. 3;

THENCE IN A SOUTHWESTERLY DIRECTION 195.7 FEET MORE OR LESS TO THE EAST BOUNDARY OF THE PRESENT LOCATION OF TENNYSON ROAD, FORMING AN INTERIOR ANGLE OF 132 DEGREES 49 MINUTES, CORNER NO. 4;

AND THENCE IN A SOUTHWESTERLY DIRECTION AND NEAR THE EAST BOUNDARY OF THE AFOREMENTIONED ROAD, 210.8 FEET FORMING AN INTERIOR ANGLE OF 148 DEGREES 49 MINUTES, CORNER NO. 5;

THENCE EAST 325 FEET ALONG THE NORTH BOUNDARY OF WEST 53RD AVENUE, FORMING AN INTERIOR ANGLE OF 78 DEGREES 22 MINUTES WEST TO CORNER NO. 1, THE PLACE OF BEGINNING, THE FIRST AND LAST COURSE GIVEN FROM AN INTERIOR ANGLE OF 90 DEGREES 25 MINUTES, EXCEPT THAT PORTION CONVEYED IN DEED RECORDED AUGUST 10, 1953 IN BOOK 472 AT PAGE 3, COUNTY OF ADAMS, STATE OF COLORADO.

For information purposes only: 4301 W 53rd Ave, Denver, CO 80212-4020  
APN/Parcel ID: 0182518100027

This commitment is invalid unless the Insuring Provisions and Schedules A and B are attached.



## **SCHEDULE B - SECTION I**

### **REQUIREMENTS**

The following are the requirements that must be met:

1. Pay the agreed amounts for the interest in the land and/or the mortgage to be insured.
2. Pay us the premiums, fees and charges for the policy.
3. Documents satisfactory to us creating the interest in the land and/or the mortgage to be insured must be signed, delivered and recorded.
4. You must tell us in writing the name of anyone not referred to in this Commitment who will get an interest in the land or who will make a loan on the land. We may then make additional requirements or exceptions.
5. Payment of all taxes, charges and assessments, levied and assessed against the subject premises which are due and payable.
6. Receipt by the Company of the appropriate affidavit and indemnity executed by the owners of the subject property.
7. Certificate of good standing from the Colorado Secretary of State for 53rd & Tennyson, LLC, a Colorado limited liability company, a Colorado limited liability company.

NOTE: The current status is NON- COMPLIANT

8. Record a Statement of Authority for 53RD & TENNYSON, LLC, A COLORADO LIMITED LIABILITY COMPANY to provide prima facie evidence of existence of an entity capable of holding property, and the name of the person authorized to execute instruments affecting title to real property as authorized by C.R.S. §38-30-172.
9. A copy of the properly signed and executed operating agreement for 53<sup>rd</sup>. & Tennyson, LLC, a Colorado limited liability company to be submitted to First Integrity Title Company and underwriter for review.
10. Special Warranty Deed must be sufficient to convey the fee simple estate or interest in the land described or referred to herein, to the proposed insured, Schedule A, item 2A.

Note: C.R.S. §38-35-109(2) required that a notation of the purchaser's legal address, (not necessarily the same as the property address) be included on the face of the Deed to be recorded.

11. Deed of Trust sufficient to encumber the fee simple estate or interest in the land described or referred to herein for the benefit of the proposed insured, Schedule A, item 2(b) or 2(c).
12. Release of the Deed of Trust from MAG BUILDERS, INC. to the Public Trustee of ADAMS County for the benefit of FIRSTBANK to secure an indebtedness in the principal sum of \$651,000.00, and any other amounts and/or obligations secured thereby, dated July 16, 2018 and recorded on July 17, 2018 at Reception No. 2018000057101.

**SCHEDULE B - SECTION I**  
(Continued)

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**NOTE:** According to the public records, there has been no conveyance of the land within a period of twenty-four months prior to the date of this report, except as follows:

**QCD 02/14/2019 AT RECEPTION NO. 2019000011001;**  
**PRD 07/17/2018 AT RECEPTION NO. 2018000057099.**

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NOTE: This Commitment is subject to further exceptions and/or requirements as may appear necessary when the name of the Purchaser(s) and/or Proposed Insured, Schedule A, Item 2A has been disclosed



## **SCHEDULE B - SECTION II**

### **EXCEPTIONS**

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

1. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Record.
4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown in the Public Records.
5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the Public Records or attaching subsequent to the effective date hereof but prior to the date the proposed Insured acquired of record for value the estate or interest or mortgage thereon covered by this Commitment.
6. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
7. Taxes for the current year, including all taxes now or heretofore assessed, due, or payable.
8. TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE RESOLUTION RECORDED ON FEBRUARY 21, 2002 AT RECEPTION NO. C0930340.

**End of Schedule B Section II**

## DISCLOSURE STATEMENT

- Pursuant to Section 38-35-125 of Colorado Revised Statutes and Colorado Division of Insurance Regulation 8-1-2 (Section 5), if the parties to the subject transaction request us to provide escrow-settlement and disbursement services to facilitate the closing of the transaction, then all funds submitted for disbursement must be available for immediate withdrawal.
- Colorado Division of Insurance Regulation 8-1-2, Section 5, Paragraph H, requires that "Every title insurance company shall be responsible to the proposed insured(s) subject to the terms and conditions of the title insurance commitment, other than the effective date of the title insurance commitment, for all matters which appear of record prior to the time of recording Whenever the title insurance company, or its agent, conducts the closing and settlement service that is in conjunction with its issuance of an Owner's Policy of Title Insurance and is responsible for the recording and First Integrity Title Company conducts the closing of the insured transaction and is responsible for recording the legal documents from the transaction, exception No. 5 in Schedule B-2 will not appear in the Owner's Title Policy and Lender's Title Policy when issued.
- Colorado Division of Insurance Regulation 8-1-2, Paragraph M of Section 5, requires that prospective insured(s) of a single family residence be notified in writing that the standard exception from coverage for unfilled Mechanics or Materialmans Liens may or may not be deleted upon the satisfaction of the requirement(s) pertinent to the transaction. These requirements will be addressed upon receipt of a written request to provide said coverage, or if the Purchase and Sale Agreement/Contract is provided to the Company then the necessary requirements will be reflected on the commitment.
- Colorado Division of Insurance Regulation 8-1-3, Paragraph C. 11.f. of Section 5 - requires a title insurance company to make the following notice to the consumer: "A closing protection letter is available to be issued to lenders, buyers and sellers".
- If the sales price of the subject property exceeds \$100,000.00 the seller shall be required to comply with the Disclosure of Withholding Provisions of C.R.S. 39-22-604.5 (Nonresident Withholding).
- Section 39-14-102 of Colorado Revised Statutes requires that a Real Property Transfer Declaration accompany any conveyance document presented for recordation in the State of Colorado. Said Declaration shall be completed and signed by either the grantor or grantee.
- Recording statutes contained in Section 30-10-406(3)(a) of the Colorado Revised Statutes require that all documents received for recording or filing in the clerk and recorder's office shall contain a top margin of at least one inch and a left, right, and bottom margin of at least one-half of an inch. The clerk and recorder may refuse to record or file a document that does not conform to requirements of this paragraph.
- Section 38-35-109 (2) of the Colorado Revised Statutes, 1973, requires that a notation of the purchasers legal address, (not necessarily the same as the property address) be included on the face of the deed to be recorded.
- Regulations of County Clerk and Recorder's offices require that all documents submitted for recording must contain a return address on the front page of every document being recorded.
- Pursuant to Section 10-11-122 of the Colorado Revised Statutes, 1987 the Company is required to disclose the following information:
  - The subject property may be located in a special taxing district.
  - A Certificate of Taxes Due listing each taxing jurisdiction shall be obtained from the County Treasurer or the County Treasurer's authorized agent.
  - Information regarding special districts and the boundaries of such districts may be obtained from the Board of County Commissioners, the County Clerk and Recorder or the County Assessor.
- Pursuant to Section 10-11-123 of the Colorado Revised Statutes, when it is determined that a mineral estate has been severed from the surface estate, the Company is required to disclose the following information: that there is recorded evidence that a mineral estate has been severed, leased, or otherwise conveyed from the surface estate and that there is a substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property; and that such mineral estate may include the right to enter and use the property without the surface owner's permission.

Note: Notwithstanding anything to the contrary in this Commitment, if the policy to be issued is other than an ALTA Owner's Policy (6/17/06), the policy may not contain an arbitration clause, or the terms of the arbitration clause may be different from those set forth in this Commitment. If the policy does contain an arbitration clause, and the Amount of Insurance is less than the amount, if any, set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties.

**NOTICE OF PRIVACY POLICY**  
**of**  
**Westcor Land Title Insurance Company and First Integrity Title Company**

Westcor Land Title Insurance Company ("WLTIC") and First Integrity Title Company values its customers and is committed to protecting the privacy of personal information. In keeping with that philosophy, we have developed a Privacy Policy, set out below, that will ensure the continued protection of your nonpublic personal information and inform you about the measures WLTIC and First Integrity Title Company take to safeguard that information.

**Who is Covered**

We provide our Privacy Policy to each customer when they purchase a WLTIC title insurance policy. Generally, this means that the Privacy Policy is provided to the customer at the closing of the real estate transaction.

**Information Collected**

In the normal course of business and to provide the necessary services to our customers, we may obtain nonpublic personal information directly from the customer, from customer-related transactions, or from third parties such as our title insurance agents, lenders, appraisers, surveyors or other similar entities.

**Access to Information**

Access to all nonpublic personal information is limited to those employees who have a need to know in order to perform their jobs. These employees include, but are not limited to, those in departments such as legal, underwriting, claims administration and accounting.

**Information Sharing**

Generally, WLTIC and do not share nonpublic personal information that it collects with anyone other than its policy issuing agents as needed to complete the real estate settlement services and issue its title insurance policy as requested by the consumer. WLTIC or may share nonpublic personal information as permitted by law with entities with whom WLTIC or has a joint marketing agreement. Entities with whom WLTIC or have a joint marketing agreement have agreed to protect the privacy of our customer's nonpublic personal information by utilizing similar precautions and security measures as WLTIC and uses to protect this information and to use the information for lawful purposes. WLTIC and , however, may share information as required by law in response to a subpoena, to a government regulatory agency or to prevent fraud.

**Information Security**

WLTIC and First Integrity Title Company, at all times, strive to maintain the confidentiality and integrity of the personal information in its possession and has instituted measures to guard against its unauthorized access. We maintain physical, electronic and procedural safeguards in compliance with federal standards to protect that information.



100 Saint Paul, Suite 630  
Denver, CO 80206  
Phone: (720)351-4400 Fax: (877)794-7933

## **PRIVACY POLICY**

### **Committed to Protecting Customer Information**

In order to better serve your needs now and in the future, we may ask you to provide us with certain information. We understand that you may be concerned about what we will do with such information particularly any personal or financial information. You have a right to know how we will utilize the personal information you provide to us. Therefore, First Integrity Title Company has adopted this Privacy Policy to govern the use and handling of your personal information.

### **Applicability**

This Privacy Policy governs our use of the information that you provide to us. It does not govern the manner in which we may use information we have obtained from any other source, such as information obtained from a public record or from another person or entity.

### **Types of Information**

Depending upon which of our services you are utilizing, the types of nonpublic personal information that we may collect include:

- Information we receive from you on applications, forms and in other communications to us, whether in writing, in person, by telephone or any other means;
- Information about your transactions with us, our agents, or others; and
- Information we receive from a consumer-reporting agency.

### **Use of Information**

We request information from you for our own legitimate business purposes and not for the benefit of any nonaffiliated party. Therefore, we will not release your information to nonaffiliated parties except: (1) as necessary for us to provide the product or service you have requested of us; or (2) as permitted by law. We may, however, store such information indefinitely, including the period after which any customer relationship has ceased. Such information may be used for any internal purpose, such as quality control efforts or customer analysis.

### **Former Customers**

Even if you are no longer our customer, our Privacy Policy will continue to apply to you.

### **Confidentiality and Security**

We will use our best efforts to ensure that no unauthorized parties have access to any of your information. We restrict access to nonpublic personal information about you to those individuals and entities that need to know that information to provide products or services to you. We will use our best efforts to train and oversee our employees and agents to ensure that your information will be handled responsibly and in accordance with this Privacy Policy. We currently maintain physical, electronic, and procedural safeguards that comply with federal regulations to guard your nonpublic personal information.

Thank you for giving us the opportunity to provide your closing and settlement services.

## **LICENSE AGREEMENT**

This License Agreement is entered into this 13<sup>th</sup> day of May, 2020 between John Horvat (hereinafter the "Licensor") and the Estate of Jennie A. Tucker (hereinafter the "Licensee") (collectively referred to herein as the "Parties") their successors and assigns.

WHEREAS, Licensor is the owner of certain real property legally described on **Exhibit A** attached hereto (the "Licensor Property") and Licensee is the owner of certain real property known and numbered as 5302 Tennyson Street, Denver, CO and legally described on **Exhibit B** attached hereto (hereinafter the "Licensee Property"); and

WHEREAS, the above described properties are adjacent to each other and share a common property line; and

WHEREAS, the Parties recently discovered that a wooden structure (the "Structure") owned by the Licensee encroaches onto the Licensor Property; and

WHEREAS, the Licensee and Licensor wish to enter into this License Agreement specifying the rights and duties of the Parties with regard to the Structure and the encroachment.

NOW THEREFORE, in consideration of the mutual covenants and stipulations herein expressed, Licensee and Licensor agree and enter into this License Agreement in order to memorialize their agreement concerning the encroachment as follows:

1. Licensor hereby acknowledges the Licensee's use of the area depicted on **Exhibit "C"** attached hereto ("Encroachment") which is legally described on **Exhibit "D"** and hereby gives his permission for the Licensee to continue maintain the Structure on the Licensor Property.
2. Licensor may terminate this License Agreement at his discretion and without cause upon thirty (30) days prior written notice ("Notice Period") to Licensee. Notice to Licensee may be given electronically via email to Robert Tucker as Personal Representative of the Estate of Jennie S. Tucker at [Robert.Tucker@nrel.gov](mailto:Robert.Tucker@nrel.gov). In such event, upon expiration of the Notice Period, Licensee shall be required to immediately remove the Structure from Licensor's Property.
3. This License Agreement shall be deemed terminated and released upon the execution and, at the option of Licensor, the recording of a Termination Statement by Licensor certifying that written notice has been provided to the Licensee as required herein.
4. Licensee shall repair and maintain the Structure at its sole cost and expense.

5. This License Agreement is not an easement and no rights, title or interest are granted in or to the Licensee.
6. No claim may be brought by Licensee or its successors and assigns for an easement under any theory, including adverse possession, and any claims, known and unknown are hereby waived for all time.
7. Licensee shall exercise the privileges granted hereunder at its own risk, and agrees that it shall indemnify Licenser against all liability for damages, costs, losses, and expenses resulting from, arising out of, or in any way connected with, the occupation or use, of the area encroached upon by the fence.
8. In the event of any claims or litigation arising from this Agreement, the prevailing party shall be awarded their reasonable attorneys fees and costs.
9. This License Agreement MAY NOT be recorded by Licensee.

Dated as of the date set forth above.

**LICENSEE:**

\_\_\_\_\_  
Estate of Jennie A. Tucker  
By: Robert Tucker  
Its: Personal Representative

**LICENSOR:**

\_\_\_\_\_  
John Horvat

STATE OF COLORADO

}

} ss:

COUNTY OF

}

The foregoing **License Agreement** was subscribed before me on this \_\_\_\_ day of May, 2020 by John Horvat, as Licenser.

Witness my hand and official seal.

My commission expires:

\_\_\_\_\_  
Notary Public

STATE OF COLORADO

}

} ss:

COUNTY OF

}

The foregoing **License Agreement** was subscribed before me on this \_\_\_\_ day of May, 2020 by Robert Tucker as Personal Representative of the Estate of Jennie A. Tucker as Licensee.

Witness my hand and official seal.

My commission expires:

\_\_\_\_\_  
Notary Public



**EXHIBIT A**  
**LEGAL DESCRIPTION OF LICENSOR PROPERTY**

A PORTION OF THE SOUTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 18M T3S  
R68W; BEGINNING AT THE SOUTHWEST CORNER OF LOT 24, BLOCK 10 BERKELEY  
GARDENS;  
THENCE WESTERLY 30 FEET TO A POINT ON THE BOUNDARY LINE OF WEST 53RD  
AVE;  
THENCE NORTH 350 FEET TO A POINT 30 FEET WEST OF THE NORTHWEST  
CORNER OF LOT 11, SAID BLOCK 10;  
THENCE WEST 152 FEET;  
THENCE IN A SOUTHWESTERLY DIRECTION 195.7' MORE OR LESS TO THE EAST  
BOUNDARY OF PRESENT LOCATION OF TENNYSON ROAD;  
THENCE IN SOUTHWESTERLY ON AND NEAR EAST BOUNDARY OF SAID ROAD 210.8  
FEET;  
THENCE EAST 325 FEET ALONG NORTH BOUNDARY OF WEST 53RD TO THE POINT  
OF BEGINNING EXCEPTING THE EAST 30' FOR ROAD (RECEPTION #406012)  
CITY OF DENVER;  
COUNTY OF ADAMS;  
STATE OF COLORADO.

CONTAINING 1.938 ACRES OR 84,447.8 SQUARE FEET OF LAND, MORE OR LESS.

**EXHIBIT B**  
**LEGAL DESCRIPTION OF LICENSEE PROPERTY**

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE  
NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68  
WEST OF THE 6<sup>TH</sup> PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF  
COLORADO

BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

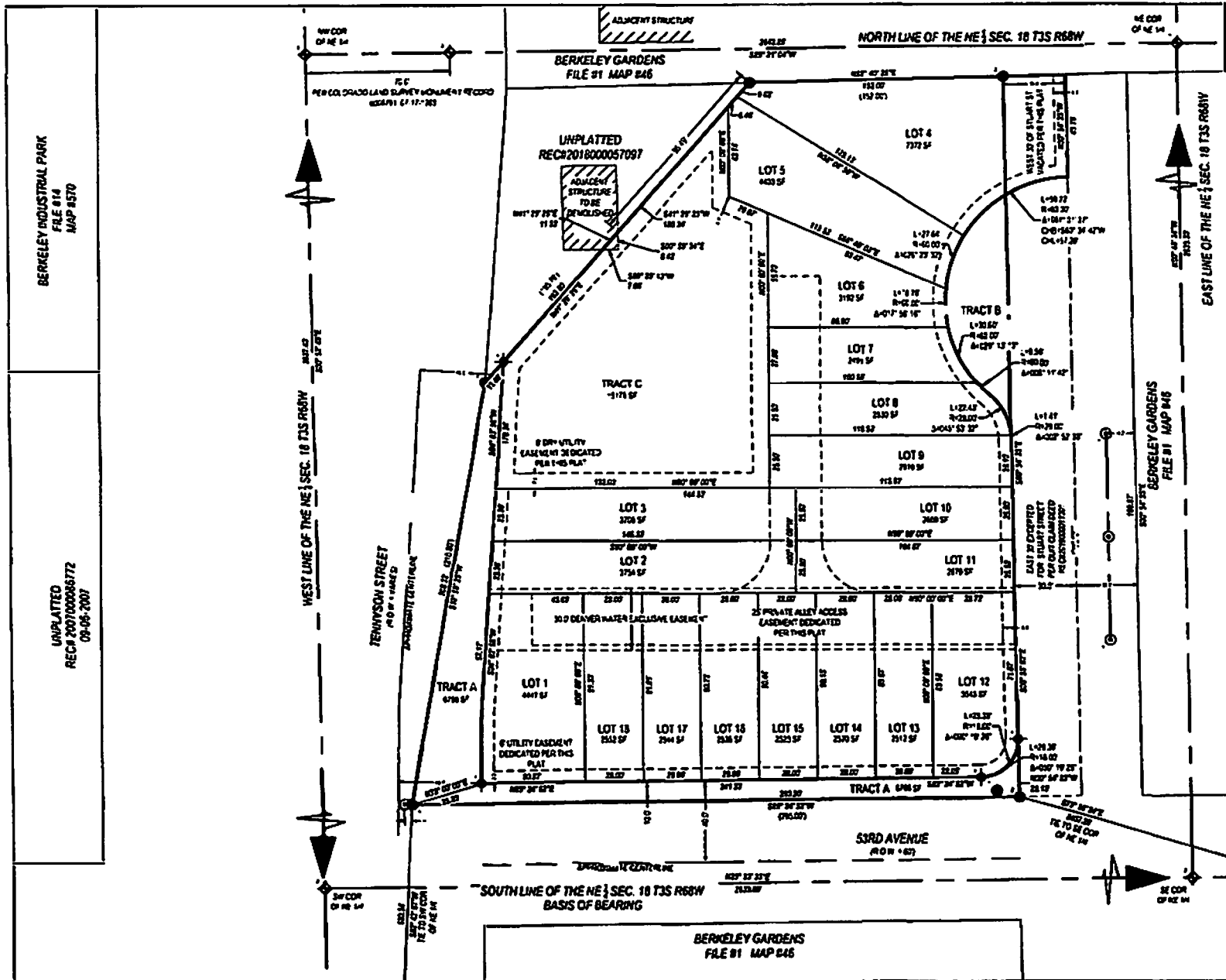
COMMENCING AT A POINT 91.0 FEET EAST AND 293 FEET SOUTH OF THE  
NORTHWEST CORNER OF SAID SOUTHWEST QUARTER OF THE NORTHEAST  
QUARTER; THENCE EAST, A DISTANCE OF 124.3 FEET; THENCE SOUTH 46  
DEGREES 19 MINUTES 00 SECONDS WEST, A DISTANCE OF 171.8 FEET;  
THENCE NORTH, A DISTANCE OF 118.7 FEET TO THE POINT OF BEGINNING.

# 53RD AND TENNYSON ROW SUBDIVISION

A PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.  
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO.

SHEET 2 OF 2

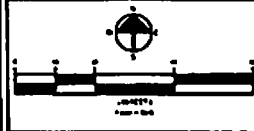
## EXHIBIT C



### LEGEND:

- 1. SET 1/2" REBAR WITH "X" ORANGE PLASTIC CAP STAMPED "ALC 9.5.1701"
- 2. SET 1/2" NAIL AND "Y" BRASS TAG STAMPED "PLS 1101"
- 3. FOUND 1/2" REBAR WITH YELLOW PLASTIC CAP "L.S. 901"
- 4. FOUND 1/2" REBAR WITH ORANGE PLASTIC CAP "L.S. 1101"
- 5. FOUND 2" ALUMINUM CAP (L.C. 101)
- 6. FOUND 2" ALUMINUM CAP SECTION MARKED "L.C. 101"
- 7. SECTION CORNER CALCULATED PER MONUMENT RECORD
- 8. FOUND NAIL AND WASHER (L.C. 101)

- ALLEY PROPERTY LINE
- PROPERTY LINE
- EASEMENT
- RANGE LINE



DATE: 01.15.2020  
JOB NO: 18-213

DRAWN BY: DLS &  
CHECKED BY: KWF



**EXHIBIT D**  
**LEGAL DESCRIPTION OF ENCROACHMENT**

**LAND DESCRIPTION:**

LOCATED IN THE NORTHEAST ¼ OF SECTION 18, TOWNSHIP 3 SOUTH,  
RANGE 68 WEST OF THE 6<sup>TH</sup> P.M., CITY OF DENVER, COUNTY OF ADAMS,  
STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS  
FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT 4, BLOCK 1, 53<sup>RD</sup> AND  
TENNYSON ROW SUBDIVISION MONUMENTED BY A FOUND NO. 5 REBAR  
WITH A ORANGE PLASTIC CAP STAMPED (L.S. 37969);

THENCE S41°29'25"W, A DISTANCE OF 96.49 FEET TO THE POINT OF  
BEGINNING;

THENCE S00°59'34"E, A DISTANCE OF 8.42 FEET;

THENCE S89°29'13"W, A DISTANCE OF 7.66 FEET;

THENCE N41°29'25"E, A DISTANCE OF 11.33 FEET MORE OR LESS TO THE  
POINT OF BEGINNING;

CONTAINING 33 SQUARE FEET (0.0008 ACRES) MORE OR LESS.

NOTE: ALL LINEAL DISTANCE UNITS ARE REPRESENTED IN U.S. SURVEY  
FEET.



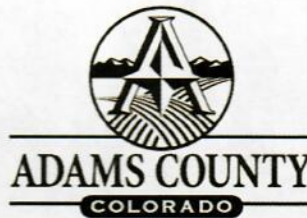
## **ROADWAY (RIGHT-OF-WAY) VACATION**

Application submittals must include all documents on this checklist as well as this page. Please use the reference guide (pg. 2) included in this packet for more information on each submittal item.

All submittals shall include one (1) hard copy of all documents and one (1) electronic copy with all documents combined in a single PDF. For hard copies, each document shall be labeled or tabbed with the corresponding checklist number

1. Development Application Form (pg. 5)
2. Application Fees (see table)
3. Written Explanation of the Project
4. Copy of Vacation Plat Prepared by Registered Land Surveyor (see guidelines pg. 3)
5. Proof of Ownership
6. Proof of Water and Sewer Services
7. Legal Description
8. Certificate of Taxes Paid
9. Certificate of Notice to Mineral Estate Owners/and Lessees (pg. 7)
10. Certificate of Surface Development (pg. 8)

<b>Application Fees</b>	<b>Amount</b>	<b>Due</b>
ROW Vacation	\$600	With application submittal
Tri-County Health * made payable to Tri County Health Department	\$110	With application submittal



**Application Type:**

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input checked="" type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

**PROJECT NAME:**

**APPLICANT**

Name(s):  Phone #:

Address:

City, State, Zip:

2nd Phone #:  Email:

**OWNER**

Name(s):  Phone #:

Address:

City, State, Zip:

2nd Phone #:  Email:

**TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)**

Name:  Phone #:

Address:

City, State, Zip:

2nd Phone #:  Email:



## DESCRIPTION OF SITE

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number:

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES ☐ NO ☐

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name:

Owner's Printed Name

Date:

Name:

Owner's Signature



CIVIL | SURVEY | PLANNING | LANDSCAPE

# Project Explanation

**Date: 5.21.20**

**To:** Adams County  
Community & Economic Development Department  
Planning Review  
ATTN.: Alan Sielaff, Planner II  
4430 South Adams County Parkway  
Brighton, Colorado 80601-8204

**Re:** PRC2020-00005  
53<sup>rd</sup> and Tennyson Row  
Project Explanation

**Message:**

Mr. Sielaff,

We are proposing to sub divide the property into 18 lots and 3 tracts. Tract C will be for drainage purposes, while Tract A and B will be dedicated to Adam's County. We are also proposing to vacate a small portion of the 30 feet of Stuart Street highlighted in the ROW vacation plat.

Please do not hesitate to contact me with any questions you may have.

Sincerely yours,  
**Altitude Land Consultants, Inc.**

Karl W. Franklin, PE-PLS-EXW  
Principal

**Denver Office:**  
3461 Ringsby Court, #125  
Denver, Colorado 80216  
720.594.9494

**Colorado Springs Office:**  
2727 North Cascade, #160  
Colorado Springs, CO 80907  
719.231.3959

[AltitudeLandCo.com](http://AltitudeLandCo.com)



# STUART STREET VACATION PLAT

A PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.  
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO.  
SHEET 1 OF 2

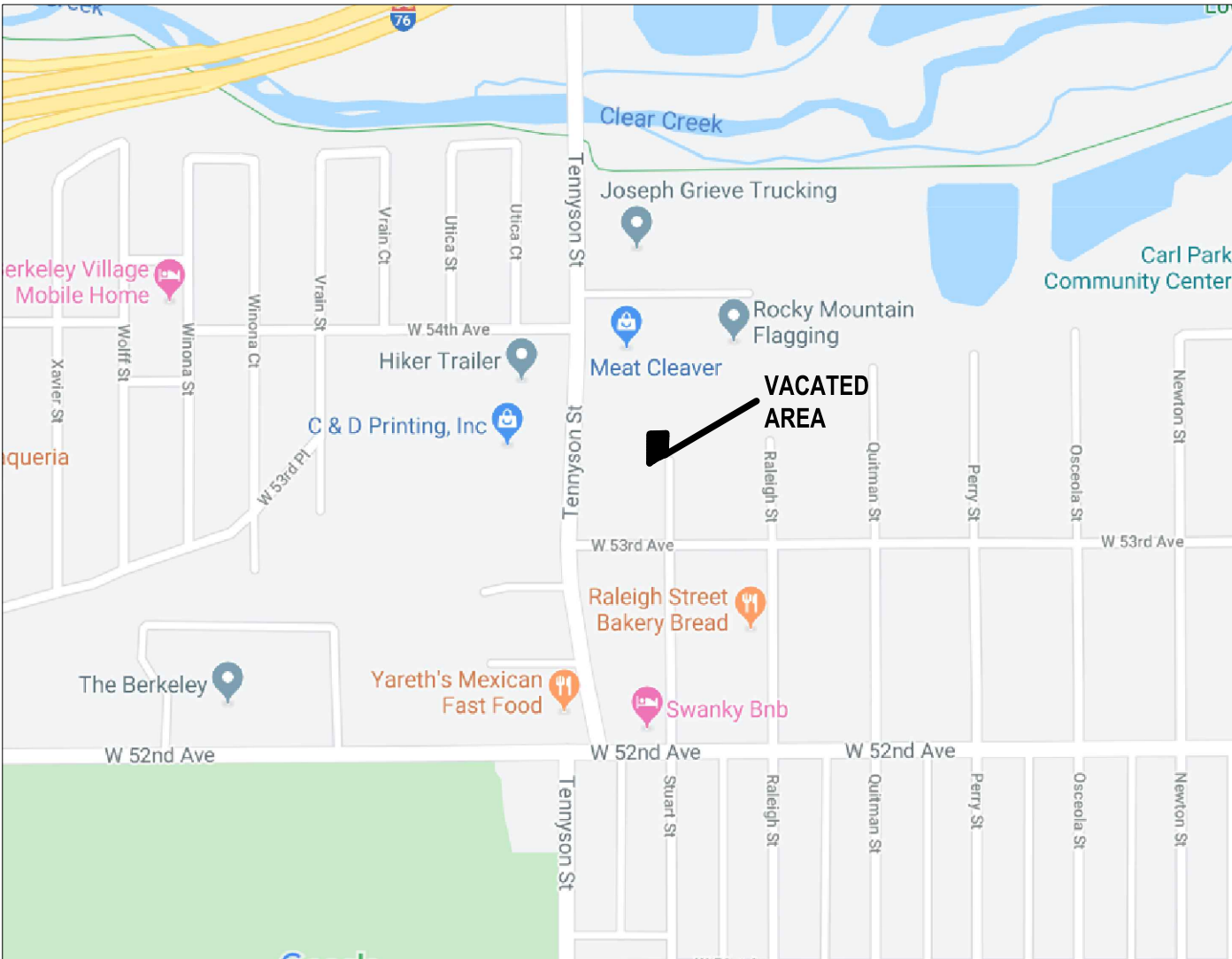
**PROPERTY DESCRIPTION:**

A PORTION OF THE SOUTHWEST  $\frac{1}{4}$  OF THE NORTHEAST  $\frac{1}{4}$  OF SECTION 18M T3S R68W;  
COMMENCING AT THE SOUTHEAST CORNER OF THE UNPLATTED PARCEL PER REC. NO. 2019000011001 ON FEBRUARY 14TH, 2019;  
THENCE N00°54'35"W, A DISTANCE OF 292.42 FEET TO THE POINT OF BEGINNING;  
THENCE N00°54'35"E, A DISTANCE OF 57.58 FEET;  
THENCE N89°05'25"E, A DISTANCE OF 30.00 FEET;  
THENCE S00°54'35"E, A DISTANCE OF 49.76 FEET TO A NON-TANGENT CURVE TO THE LEFT;  
THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT, A DISTANCE OF 31.42 FEET TO A POINT OF NON-TANGENCY, SAID POINT ALSO BEING THE POINT OF BEGINNING, SAID CURVE HAVING A RADIUS OF 60.00 FEET, A DELTA OF 30° 00' 00", A CHORD BEARING OF S74° 05' 25"E, AND A CHORD LENGTH OF 31.06 FEET, MORE OR LESS, TO THE POINT OF BEGINNING;  
CITY OF DENVER;  
COUNTY OF ADAMS;  
STATE OF COLORADO.

CONTAINING 0.036 ACRES OR 1,564.40 SQUARE FEET OF LAND, MORE OR LESS.

**PURPOSE STATEMENT:**

THE PURPOSE OF THIS ROADWAY VACATION PLAT IS TO VACATE THE PORTION OF THE WEST 30' OF STUART STREET SHOWN HEREON.



VICINITY MAP:

SCALE 1" = 300'

**GENERAL NOTES:**

1. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY SUCH DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION.
2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508. COLORADO REVISED STATUTE.
3. BASIS OF BEARINGS: BEARINGS ARE BASED ON THE SOUTH LINE OF THE NORTHEAST ONE-QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST, BETWEEN A FOUND 2.5" ALUMINUM CAP (ILLEGIBLE) IN A RANGE BOX AT THE INTERSECTION OF 52ND AVENUE AND TENNYSON STREET AND A FOUND 2.5" ALUMINUM CAP (ILLEGIBLE) IN A RANGE BOX AT THE INTERSECTION OF 52ND AVENUE AND LOWELL BOULEVARD ASSUMED TO BEAR N 89° 23' 35" E.
4. ALL LINEAR MEASUREMENTS WERE TAKEN USING THE U.S. SURVEY FOOT.
5. RESERVING, HOWEVER, AN EASEMENT FOR THE CONTINUED USE OF EXISTING SEWER, GAS, WATER AND SIMILAR PIPELINES AND APPURTENANCES, AND FOR ELECTRIC, TELEPHONE, AND SIMILAR LINES AND APPURTENANCES WITHIN SAID STREET RIGHT-OF-WAY.

**FLOODZONE DESIGNATION:**

THE PROPERTY DESCRIBED AND SHOWN HEREON LIES WITHIN FLOOD HAZARDS AREA ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEDERAL MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM "FLOOD INSURANCE RATE MAP" MAP NO. 08001C0591H, PANEL 591 OF 1150, FOR DENVER COUNTY, COLORADO WITH AN REVISED DATE OF MARCH 5, 2007.

**CERTIFICATION OF SURVEY:**

I, KARL W. FRANKLIN, A LAND SURVEYOR LICENSED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THERE ARE NO EASEMENTS IN EVIDENE OR KNOWN BY ME TO EXIST ON OR ACROSS THE ABOVE-DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT I HAVE SURVEYED THIS PROPERTY AND THIS PLAT ACCURATELY AND PROPERTYLY SHOWS SAID PROPERTY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON. THIS LAND SURVEY PLAT COMPLIES WITH SECTION 38-51-106, COLORADO REVISED STATUTES.

KARL W. FRANKLIN,  
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR , P.L.S #37969  
FOR OR ON BEHALF OF ALTITUDE LAND CONSULTANTS

**PLANNING COMMISSION APPROVAL:**

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

CHAIR

**BOARD OF COUNTY COMMISSIONERS APPROVAL:**

APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

CHAIR

**OWNER:**

\_\_\_\_\_

SIGNATURE

PRINT NAME

PRINT TITLE

**NOTARY CERTIFICATE**

STATE OF \_\_\_\_\_ )  
 ) SS.  
COUNTY OF \_\_\_\_\_ )

ACKNOWLEDGED BEFORE ME ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
BY \_\_\_\_\_, AS \_\_\_\_\_  
OF \_\_\_\_\_

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

**CLERK & RECORDER:**

RECEPTION NO.

ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDER OF ADAMS COUNTY AT BRIGHTON, COLORADO ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_, AT \_\_\_\_ O'CLOCK \_\_\_\_ M.

COUNTY CLERK AND RECORDER

BY: \_\_\_\_\_  
DEPUTY



CIVIL | SURVEY | PLANNING | LANDSCAPE





3461 Ringsby Ct, Suite 125  
Denver, CO 80216  
info@altitudelandco.com  
AltitudeLandCo.com

DATE: 05.20.2020  
JOB NO: 18-213

DRAWN BY: ACJ  
CHECKED BY: KWF

A PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 18, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M.  
CITY OF DENVER, COUNTY OF ADAMS, STATE OF COLORADO.  
SHEET 2 OF 2



 ADJACENT PROPERTY LINE  
 ROW VACATION LINE  
 ROW VACATION  
 RANGE LINE



**RECORDATION REQUESTED BY AND  
WHEN RECORDED MAIL TO:**

Kevin P. McAtee, Esq.  
Campbell Killin Brittan & Ray, LLC  
270 Saint Paul Street, Suite 300  
Denver, Colorado 80206

**SPACE ABOVE THIS LINE IS FOR  
RECORDER'S USE ONLY**

**QUITCLAIM DEED**

(4301 W 53rd Avenue, Denver, CO 80212)

**THIS QUITCLAIM DEED** (the "Deed") is dated as of February 7, 2019 (the "Effective Date"), and is made and given by MAG BUILDERS, INC., a Colorado corporation ("Grantor"), whose legal address is 3132 N. Federal Boulevard, Denver, Co 80211 to 53<sup>rd</sup> & Tennyson, LLC, a Colorado limited liability company ("Grantee"), whose legal address is Bonnie Brae Boulevard, Denver, CO 80206.

**WITNESSETH**, that Grantor, for and in consideration of the sum of Ten Dollars and NO/100 (\$10.00) and other valuable consideration, the receipt and sufficiency of which is hereby acknowledged, hereby quitclaims unto Grantee, its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the County of Adams, State of Colorado, as more particularly described as follows (the "Real Estate"):

See Exhibit A attached hereto.

together with any and all hereditaments, easements, appendages, ways, privileges and appurtenances, if any, belonging to or inuring to the benefit of Grantor or the Real Estate or pertaining to the Real Estate (the "Property").

**TO HAVE AND TO HOLD** the said Property above bargained and described with the appurtenances, unto Grantee, its successors and assigns forever.

[Signature Pages Follow]

IN WITNESS WHEREOF, the Grantor is executing this Deed as of the Effective Date hereof.

**GRANTOR:**

MAG BUILDERS, INC., a  
Colorado corporation

By: [Signature]  
Name: Michael Moyer  
Title: CFO

STATE OF COLORADO

)

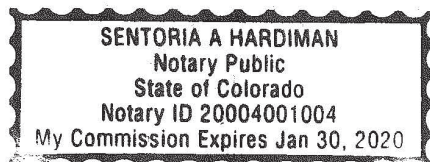
) ss.

CITY AND COUNTY OF DENVER

)

[Signature]  
Michael Griger  
CEO

The foregoing instrument was acknowledged before me on February 7, 2019  
~~MICHAEL MOYER~~, in their capacity as FRANCO CEO of MAG Builders, Inc.  
AND MICHAEL GRIGER  
Witness my hand and official seal.



[Signature]  
Notary Public



EXHIBIT A

LEGAL DESCRIPTION OF REAL ESTATE

A PORTION OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18,  
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, ADAMS  
COUNTY, COLORADO, DESCRIBED AS:

BEGINING AT THE SOUTHWEST CORNER OF LOT 24, BLOCK 10, BERKELEY  
GARDENS, THENCE WESTERLY 30 FEET TO A POINT ON THE NORTH BOUNDARY  
LINE OF WEST 53RD AVENUE, CORNER NO. 1;  
THENCE NORTH 350 FEET ON A LINE PARALLEL WITH THE WEST BOUNDARY  
LINE OF SAID BLOCK 10,  
TO A POINT 30 FEET WEST OF THE NORTHWEST CORNER OF LOT 11, IN BLOCK 10,  
BERKELEY GARDENS, CORNER NO. 2;  
THENCE WEST 152 FEET, FORMING AN INTERIOR ANGLE 89 DEGREES 35 MINUTES,  
CORNER NO. 3;  
THENCE IN A SOUTHWESTERLY DIRECTION 195.7 FEET MORE OR LESS TO THE  
EAST BOUNDARY OF THE PRESENT LOCATION OF TENNYSON ROAD, FORMING  
AN INTERIOR ANGLE OF 132 DEGREES 49 MINUTES, CORNER NO. 4;  
AND THENCE IN A SOUTHWESTERLY DIRECTION AND NEAR THE EAST  
BOUNDARY OF THE AFOREMENTIONED ROAD, 210.8 FEET FORMING AN INTRIOR  
ANGLE OF 148 DEGREES 49 MINUTES, CORNER NO. 5;  
THENCE EAST 325 FEET ALONG THE NORTH BOUNDARY OF WEST 53RD AVENUE,  
FORMING AN INTERIOR ANGLE OF 78 DEGREES 22 MINUTES WEST TO CORNER  
NO. 1, THE PLACE OF BEGINNING, THE FIRST AND LAST COURSE GIVEN FROM AN  
INTERIOR ANGLE OF 90 DEGREES 25 MINUTES,

EXCEPT THAT PORTION CONVEYED IN DEED RECORDED AUGUST 10, 1953 IN  
BOOK 472 AT PAGE 3,

COUNTY OF ADAMS, STATE OF COLORADO.

For information purposes only: 4301 W 53rd Avenue, Denver, CO 80212



April 6, 2018

To whom it may concern:

According to our records, Denver Water currently provides water for property located at 4301 W 53<sup>rd</sup> Avenue, Denver, CO 80212. Please let us know if you have additional questions.

Best regards,

Marlen Betancourt  
Denver Water Customer Care  
(303) 893-2444  
[www.denverwater.org](http://www.denverwater.org)

**Sewer tap fees will be payable to the Berkeley Water and Sanitation District which also collects Metro Wastewater's "connection fees". Fees to all agencies will be at prevailing rates.**

**Sincerely,**

**BERKELEY WATER & SANITATION DISTRICT**

**Berkeley Board**

**BERKELEY WATER & SANITATION DISTRICT**  
**4455 WEST 58TH AVENUE, UNIT A**  
**ARVADA, COLORADO 80002**  
**303-477-1914**  
**Fax: 303-433-1039**  
**Email: [berkeleywater@gmail.com](mailto:berkeleywater@gmail.com)**

**April 6, 2018**

**Mag Builders**  
**4301 West 53<sup>rd</sup> Avenue**  
**Denver, CO, 80221**

**Dear Mag Builders:**

**Re: 4301 West 53<sup>rd</sup> Avenue, Denver, CO 80221**  
**Availability of sanitary sewer services**

**Sewer: The District has an 8"PVC sanitary sewer main 53<sup>rd</sup> Avenue between Tennyson and Stuart on the south side of the property and an 8" clay sanitary sewer main in Tennyson on the west side of the property that is available for tapping. There is no sanitary sewer main available on the east side of the property. Extensions within the project, feeding into this present system, may need to be made to facilitate development depending upon design.**

**Each unit served must have its own sewer service lines, on its own land. An engineering design and/or plans are required prior to the purchase of sewer taps.**

**Should the extension of sewer mains be required, the design must be reviewed by an engineering firm. A review deposit may be required.**

**The construction contract would be under the jurisdiction of the Berkeley Water and Sanitation District. A contract must be developed, appropriate Certificates of Insurance presented and Warranty and Performance Bonds must be posted.**

**If the Developer must deposit with the Berkeley Water and Sanitation District a sum in the amount, over payments will be refunded and shortages billed to the Developer.**

**The design for the development must comply with the regulations of the Berkeley Water and Sanitation District, Adams County Fire Protection District and Adams County.**

**To reiterate, all costs involved—reviews, contract development, construction, observation and inspections—are the responsibility of the Developer.**





# ADAMS COUNTY TREASURER

## Certificate Of Taxes Due

Account Number R0105145  
Parcel 0182518100027  
Assessed To  
MAG BUILDERS INC  
3132 FEDERAL BLVD  
DENVER, CO 80211-3745

Certificate Number 2019-139404  
Order Number 102-1801902-S  
Vendor ID 936  
FIRST INTEGRITY TITLE AGENCY LLC  
950 S CHERRY STREET 1220  
DENVER, CO 80246

### Legal Description

SECT.TWN.RNG:18-3-68 DESC: A PORT OF SW4 NE4 DESC AS FOL BEG AT SW COR LOT 24 BLK 10 BERKELEY GARDENS TH WLY 30 FT TO PT ON BDRY LN W 53RD AVE TH N 350 FT TO A PT 30 FT W OF NW COR LOT 11 BLK 10 TH W 152 FT TH IN SWLY DIR 195/7 M/L TO E BDRY OF PRESENT LOC OF TENNYSON RD TH IN SWLY DIR ON AND NEAR E BDRY SD RD 210/8 FT TH E 325 FT ALG N BDRY OF W 53RD AVE TO POB EXC E 30 FT FOR RD 2/16A

### Situs Address

4301 W 53RD AVE

Year	Tax	Interest	Fees	Payments	Balance
<b>Tax Charge</b>					
2018	\$8,410.36	\$42.05	\$0.00	(\$8,452.41)	\$0.00
Total Tax Charge					\$0.00
<b>Grand Total Due as of 12/30/2019</b>					<b>\$0.00</b>

Tax Billed at 2018 Rates for Tax Area 480 - 480

Authority	Mill Levy	Amount	Values	Actual	Assessed
RANGEVIEW LIBRARY DISTRICT	3.6660000	\$250.06	RES IMPRV LAND	\$270,000	\$19,440
BERKELEY WATER & SANITATION	3.3740000	\$230.14	SINGLE FAMILY RES	\$677,399	\$48,770
ADAMS COUNTY FIRE PROTECTIO	16.6500000	\$1,135.70	Total	\$947,399	\$68,210
ADAMS COUNTY	26.8640000	\$1,832.39			
HYLAND HILLS PARK & RECREAT	5.4130000	\$369.22			
SD 50	66.5140000	\$4,536.92			
URBAN DRAINAGE SOUTH PLATTE	0.0940000*	\$6.41			
URBAN DRAINAGE & FLOOD CONT	0.7260000*	\$49.52			
Taxes Billed 2018	123.3010000	\$8,410.36			
* Credit Levy					

ALL TAX SALE AMOUNTS ARE SUBJECT TO CHANGE DUE TO ENDORSEMENT OF CURRENT TAXES BY THE LIENHOLDER OR TO ADVERTISING AND DISTRAINT WARRANT FEES. CHANGES MAY OCCUR; PLEASE CONTACT THE TREASURY PRIOR TO MAKING A PAYMENT AFTER AUGUST 1. TAX LIEN SALE REDEMPTION AMOUNTS MUST BE PAID BY CASH OR CASHIER'S CHECK.

SPECIAL TAXING DISTRICTS AND THE BOUNDARIES OF SUCH DISTRICTS MAY BE ON FILE WITH THE BOARD OF COUNTY COMMISSIONERS, THE COUNTY CLERK, OR, THE COUNTY ASSESSOR.

This certificate does not include land or improvements assessed under a separate account number, personal property taxes, transfer tax, or, misc. tax collected on behalf of other entities, special or local improvement district assessments, or mobile homes, unless specifically mentioned.

I, the undersigned, do hereby certify that the entire amount of taxes due upon the above described parcels of real property and all outstanding sales for unpaid taxes as shown by the records in my office from which the same may still be redeemed with the amount required for redemption are as noted herein.

In witness whereof, I have hereunto set my hand and seal.

TREASURER, ADAMS COUNTY, Lisa L. Culpepper J.D.

Treasurer, Adams County, Lisa L. Culpepper J.D.



4430 S. Adams County Parkway  
Brighton, CO 80601

*[Signature]*

CERTIFICATION OF NOTICE TO MINERAL ESTATE OWNERS

I/We, Michael Moylen - MAG Builders Inc.  
(the "Applicant") by signing below, hereby declare and certify as follows:

With respect to the property located at:

Physical Address: 4301 W. 53rd Ave., Denver, CO 80212

Legal Description: See Attached

Parcel #(s): 0182518100027

(PLEASE CHECK ONE):

On the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, which is not less than thirty days  
before the initial public hearing, notice of application for surface development was provided  
to mineral estate owners pursuant to section 24-65.5-103 of the Colorado Revised Statutes;

X or  
I/We have searched the records of the Adams County Tax Assessor and the Adams County  
Clerk and Recorder for the above identified parcel and have found that no mineral estate  
owner is identified therein.

Date: 1/17/2020 Applicant: Michael Moylen  
By: Michael Moylen  
Print Name: Michael Moylen  
Address: 3132 Federal Blvd  
Denver, CO 80211

STATE OF COLORADO )

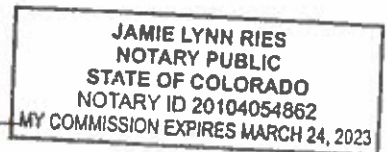
COUNTY OF ADAMS

Denver  
Subscribed and sworn to before me this 17th day of January, 2020 by  
Michael Moylen

Witness my hand and official seal.

My Commission expires: 3/24/23

Jamie Lynn Ries  
Notary Public



After Recording Return To:

Name and Address of Person Preparing Legal Description:

**A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department with all applicable land use applications.**

**Legal Description: 4301 W. 53<sup>rd</sup> Ave., Denver, Co 80212**

SECT, TWN, RNG: 18-3-68 DESC A PORT OF SW 1/4 NE 1/4 DESC AS FOL BEG AT SW COR LOT 24 BLK 10  
BERKELEY GARDENS TH WLY 30 FT TO PT ON BDRY LN W 53RD AVE TH N 350 FT TO A PT 30 FT W OF NW  
COR LOT 11 BLK 10 TH W 152 FT TH IN SWLY DIR 195/7 M/L TO E BDRY OF PRESENT LOC OF TENNYSON  
RD TH IN SWLY DIR ON AND NEAR E BDRY SD RD 210/8 FT TH E 325 FT ALG N BDRY OF W 53RD AVE TO  
POB EXC E 30 FT FOR RD 2/16A

APPLICANT'S CERTIFICATION CONCERNING QUALIFYING SURFACE DEVELOPMENT,  
PURSUANT TO C.R.S. §24-65.5-103.3 (1)(b)

I/We, Michael Maylen - MAG Builders, Inc.  
, (the "Applicant") by signing below, hereby declare and certify as follows:

Concerning the property located at:

Physical Address: 4301 W. 53rd Ave., Denver, CO 80212  
Legal Description: See Attached

Parcel #(s): 0182518100027

With respect to qualifying surface developments, that (PLEASE CHECK ONE):

X

No mineral estate owner has entered an appearance or filed an objection to the proposed application for development within thirty days after the initial public hearing on the application; or

\_\_\_\_\_ The Applicant and any mineral estate owners who have filed an objection to the proposed application for development or have otherwise filed an entry of appearance in the initial public hearing regarding such application no later than thirty days following the initial public hearing on the application have executed a surface use agreement related to the property included in the application for development, the provisions of which have been incorporated into the application for development or are evidenced by a memorandum or otherwise recorded in the records of the clerk and recorder of the county in which the property is located so as to provide notice to transferees of the Applicant, who shall be bound by such surface use agreements; or

\_\_\_\_\_ The application for development provides:

- (i) Access to mineral operations, surface facilities, flowlines, and pipelines in support of such operations existing when the final public hearing on the application for development is held by means of public roads sufficient to withstand trucks and drilling equipment or thirty-foot-wide access easements;
- (ii) An oil and gas operations area and existing well site locations in accordance with section 24-65.5-103.5 of the Colorado Revised Statutes; and
- (iii) That the deposit for incremental drilling costs described in section 24-65.5-103.7 of the Colorado Revised Statutes has been made.

Date: 1/17/20

Applicant:

Michael Maylen

After Recording Return To:

By:

Michael Moshe

Print Name:

Michael Maylen

Address:

3132 Federal Blvd  
Denver, CO 80211



STATE OF COLORADO )

COUNTY OF ADAMS )

Subscribed and sworn to before me this 17th day of January, 2020, by

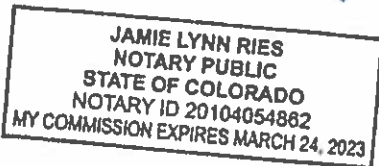
Michael Mayten

Witness my hand and official seal.

My Commission expires:

3/24/23

Jamie L. Ries  
Notary Public



*Name and Address of Person Preparing Legal Description:*

**A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department within thirty days after the initial public hearing on all applicable land use applications.**

**Legal Description: 4301 W. 53<sup>rd</sup> Ave., Denver, Co 80212**

SECT, TWN, RNG: 18-3-68 DESC: A PORT OF SW4 NE4 DESC AS FOL BEG AT SW COR LOT 24 BLK 10  
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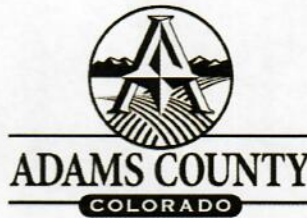
## **WAIVER FROM SUBDIVISION DESIGN STANDARDS**

**Application submittals must include all documents on this checklist as well as this page. Please use the reference guide (pg. 2) included in this packet for more information on each submittal item.**

**All submittals shall include one (1) hard copy of all documents and one (1) electronic copy with all documents combined in a single PDF. For hard copies, each document shall be labeled or tabbed with the corresponding checklist number.**

1. Development Application Form (pg. 7)
2. Application Fee (see table)
3. Written Explanation of the Project
4. Site Plan Showing Proposed Development
5. Copy of Plat Prepared by Registered Land Surveyor (see guide pg. 4)
6. Proof of Ownership (title policy dated within 30 days of submittal) **previously submitted**
7. Proof of Water and Sewer Services **previously submitted**
8. Proof of Utilities (e.g. electric, gas) **previously submitted**
9. Neighborhood Meeting Summary **previously submitted**
10. Legal Description **previously submitted**
11. Certificate of Taxes Paid **previously submitted**
12. Certificate of Notice to Mineral Estate Owners/and Lessees (pg. 9) **previously submitted**
13. Certificate of Surface Development (pg. 10) **previously submitted**

<b>Application Fees</b>	<b>Amount</b>	<b>Due</b>
Waiver from Subdivision Design Standards	\$500	With application submittal



**Application Type:**

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input checked="" type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

**PROJECT NAME:** 53rd And Tennyson Row

**APPLICANT**

Name(s): MAG Builders Phone #: 720-410-4136  
Address: 3132 Federal Blvd  
City, State, Zip: Denver, CO 80211  
2nd Phone #: Email: chris@magbuilders.com

**OWNER**

Name(s): MAG Builders Phone #: 720-410-4136  
Address: 3132 Federal Blvd  
City, State, Zip: Denver, CO 80211  
2nd Phone #: Email: chris@magbuilders.com

**TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)**

Name: Kendall Goodman Phone #: 303-477-5550  
Address: 2899 N. Speer Blvd. #102  
City, State, Zip: Denver, CO 80211  
2nd Phone #: Email: kendall@realarchitecture.com



## DESCRIPTION OF SITE

Address:

City, State, Zip:

Area (acres or square feet):

Tax Assessor Parcel Number

Existing Zoning:

Existing Land Use:

Proposed Land Use:

Have you attended a Conceptual Review? YES ☐ NO ☐

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name:

Owner's Printed Name

Date:

Name:

Owner's Signature



## **WAIVER FROM SUBDIVISION DESIGN STANDARDS**

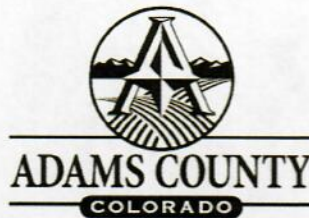
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<b>Application Fees</b>	<b>Amount</b>	<b>Due</b>
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**Application Type:**

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<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

**PROJECT NAME:** 53rd And Tennyson Row

**APPLICANT**

Name(s): MAG Builders Phone #: 720-410-4136  
Address: 3132 Federal Blvd  
City, State, Zip: Denver, CO 80211  
2nd Phone #: Email: chris@magbuilders.com

**OWNER**

Name(s): MAG Builders Phone #: 720-410-4136  
Address: 3132 Federal Blvd  
City, State, Zip: Denver, CO 80211  
2nd Phone #: Email: chris@magbuilders.com

**TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)**

Name: Kendall Goodman Phone #: 303-477-5550  
Address: 2899 N. Speer Blvd. #102  
City, State, Zip: Denver, CO 80211  
2nd Phone #: Email: kendall@realarchitecture.com



## DESCRIPTION OF SITE

Address:	4301 W. 53rd Avenue
City, State, Zip:	Denver, CO, 80212
Area (acres or square feet):	2.16 AC before Dedications/Vacations
Tax Assessor Parcel Number	0182518100027
Existing Zoning:	R-2
Existing Land Use:	Vacant Lot
Proposed Land Use:	9 Townhome Duplexes

Have you attended a Conceptual Review? YES ☐ NO ☐

If Yes, please list PRE#: PRE2019-00061

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name: Michael R. Maytan

Owner's Printed Name

Date: 5/22/2020

Name: [Signature]

Owner's Signature



REALARCHITECTURE LTD  
2899 N. Speer Blvd. Suite 102  
Denver, Colorado 80211  
www.realarchitecture.com



DAVID L. BERTON A.I.A  
Phone: (303)477-5550  
Fax: (303)477-5500

June 5, 2020

Adams County Fire Rescue  
Fire Prevention Bureau  
ATTN.: Whitney Even  
7980 Elmwood Lane  
Denver, CO 80221

Dear Ms. Even:

The following letter and revised drawings respond to your review and comments for 53<sup>rd</sup> and Tennyson Row project at 4301 W. 53<sup>rd</sup> Ave, Log number PRC2020-00005. Responses are listed below in **red**. Please call or email if you have any questions or require additional information.

**General:**

1. The following comments are typical site development requirements regarding fire access and water supply. The 2018 International Fire Code in the current fire code adopted within the city and all development must in compliance with its requirements.

**Response:**

**This development will comply with the 2018 IFC and all local amendments.**

2. Please be aware that these comments are subject to change as more information is received or if there are changed to the plans during subsequent reviews, These requirements are not all inclusive, but are provided to aide in your design process.

**Response:**

**Noted, thank you.**

**Automatic Fire Sprinkler System:**

3. As stated in Section 903.2.8 of the 2018 IFC as adopted and emended by Adams County, an approved residential fire sprinkler system is likely required. Please be aware that if the sprinkler system is going to be designed and installed in accordance with NFPA 13D the fire sprinkler plans must be submitted to us for review under a separated

permit. If the system will be design and installed in accordance with IRC section P2904, plans shall be submitted to Adams County Building Division for review and permitting. If a P2904 system is to be installed, please provide us with a record of the Building Divisions approval.

The applicant met with FM Wilder and DFM Notary on 1/4/2019 to discuss this project. We do not have record of the exact site plan discussed, but the meeting notes indicate that the applicant was told that residential fire sprinkler system would need to be installed. During the meeting, it was also discussed that a 24' access road would be permitted as long as residential fire sprinkler systems were installed.

**Response:**

*A 26' drive aisle is provided in lieu of a sprinkler system.*

**Fire Apparatus Access Roads:**

4. Fire apparatus access roads shall:

- a. Be a minimum of 24' wide or 26' wide when a fire hydrant is present or if the highest roof surface exceeds 30'.
  - i. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.
  - ii. Be within 150' of all ground level exterior portions of the building (may be longer when an approved fire sprinkler system is installed throughout the building);
  - iii. Be able to support an 85,000 pound fire apparatus
  - iv. Provide all-weather driving capabilities
  - v. Meet the turning radius of our largest fire apparatus (see attached turning template).

During the 1/4/19 meeting, it was discussed that a 24' access road would be permitted as long as residential fire sprinkler systems were installed.

**Response:**

*The fire apparatus access road is 26' clear and meets the aforementioned criteria.*

5. We typically require a drive path analysis showing that our fire apparatus will be able to easily maneuver along fire apparatus access roads.

Please use the attached turning radius template and provide the specifications used in your analysis on the plan. Please provide a turn path analysis (autoturn exhibit) showing that we will be able to navigate the private alleys and utilize them for turning around.



**Response:**

Included in the resubmittal is a fire access plan showing the drive path and turning radius.

6. Fire apparatus access roads shall be delineated on the site plan as emergency Access Lanes and shall be marked with a no parking fire lane sign and curbs shall be painted red. See areas highlighted in red below.
  - a. Fire apparatus access roads shall be marked with permanent NO PARKING-FIRE LANE signs complying with Figure D103.6. Signs shall have a minimum dimension of 12" wide by 18" high and have red letters on a white reflective background.
  - b. Fire lane signs as specified above shall be posted on both sides of the fire apparatus access roads that are 20 to 26 feet wide.
  - c. Fire lane signs as specified above shall be posed on one side of fire apparatus access roads more than 26' wide and less than 32' wide.

**Response:**

Included in the resubmittal is a fire access plan showing the fire apparatus access roads labeled as emergency access lanes and marked with no parking signs per the aforementioned requirements.

7. Dead-end fire apparatus access road in excess of 150' in length shall be provided with an approved area for turning around fire apparatus.

**Response:**

Included in the resubmittal is a fire access plan showing turn around requirements and dimensions.

**Fire Flow and Hydrant Location:**

8. The required fire-flow is dependent on the building construction type, square footage and presence of an approved automatic fire sprinkler system. You may refer to Appendix B of the 2018 IFC for guidance.

A fire-flow of 500 gpm at 20 psi residual would be required as long as all units are protected by fire sprinkler systems, other the fire-flow requirement would be 1,000 gpm at 20 psi

**Response:**

Noted, thank you.

9. A fire hydrant fire-flow test shall be conducted by the appropriate Water District to determine the available fire-flow at the site. A computer model simulation may be

completed if the site does not have any fire hydrants located next to it. If a computer simulation is used a fire-slow test shall be conducted on the site after the water supply and fire hydrants are approved for operation.

**Response:**

See attached fire flow test.

10. A fire hydrant shall be located within 400' (unsprinklered building) or 600' (sprinklered building) of all ground level exterior portions of the building.

At the 1/4/2019 meeting, hydrant locations were discussed, the two hydrants shown on Stuart Street would meet this if fully fire sprinklered.

**Response:**

2 fire hydrants are provided – one will be relocated to the corner of 53<sup>rd</sup> and Tennyson, the other is currently located at the end of Stuart Street cul-de-sac. Both hydrants are within 400' of all unsprinklered buildings.

11. A 3" clear space shall be maintained around the circumference of fire hydrants.

**Response:**

Noted, thank you.

12. Private fire service mains and fire hydrants shall be installed by a State of Colorado Licensed Fire Suppression System Contractor – Underground Contractor and meet the requirements of Nation Fire Protection Association Standard 24. Private fire service mains and fire hydrant plans shall be submitted for review and approval.

**Response:**

Noted, thank you.

Thank you for your time and consideration and please accept this formal comment response letter along with the submitted plans for the development site plan resubmittal.

Respectfully,

Realarchitecture Ltd.

Kendall Goodman AIA, Principal



PREPARED FOR:  
53RD AND TENNYSON LLC  
850 BONNIE BRAE BLVD.  
DENVER, CO 80209

DAVID L. BERTON AIA.  
REALARCHITECTURE LTD.  
2844 N. Speer Blvd., Denver, Co. 80211  
ph. (303) 477-5550 fax 477-5505  
www.realarchitecture.com

DRAWN	DLB, K
DATE	2-12-2020
PROJECT NUMBER	1866
REVISIONS	

FIRE  
ANALYSIS

---

SHEET #

FR =



  FIRE PLAN  
SCALE: 1:20

6/5/20

Jodi Murray  
MAG Builders, Inc.  
jodi@magbuilders.com

Re: 4205 53rd Ave

Denver Water has completed an analysis to determine the available fire flow under peak day conditions for the above referenced project. The analysis was performed using the current Denver Water Distribution System all pipes computer simulation model.

Analysis was performed using EPANET Version 2. Some modeled results may have been adjusted due to measured pressure fluctuations using standardized ISO equations.

This model is field verified and represents the distribution system conditions for peak day demand for 2018 (400 mgd). Input data represents a snapshot GIS extraction of our entire transmission and distribution system at that time. Actual results may vary due to system conditions.

Results of this modeling are appropriate for fire sprinkler design but may not cover all requirements associated with fire hydrant supply to any particular site, including a "one side of loop out" scenario. Denver Water and the appropriate fire protection agency should be contacted to determine possible need for any additional on-site or off-site fire flow requirements.

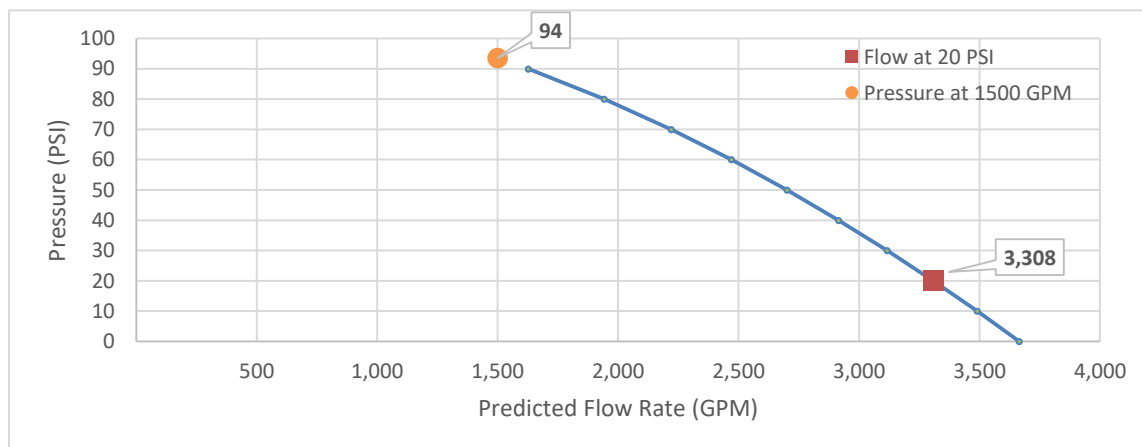
For the requested location: W 53rd Ave &amp; N Raleigh St

Fire hydrant #: 330087  
Main Size (inches): 6  
Main Installed: 1977  
Estimated USGS Elevation (ft): 5299

Approximate high static pressure (psi): 122  
Approximate low static pressure (psi): 116

Results of the requested test are as follows

Static (psi): 116  
Residual (psi): 94  
Flow (gpm): 1500  
Analysis performed by: WJS

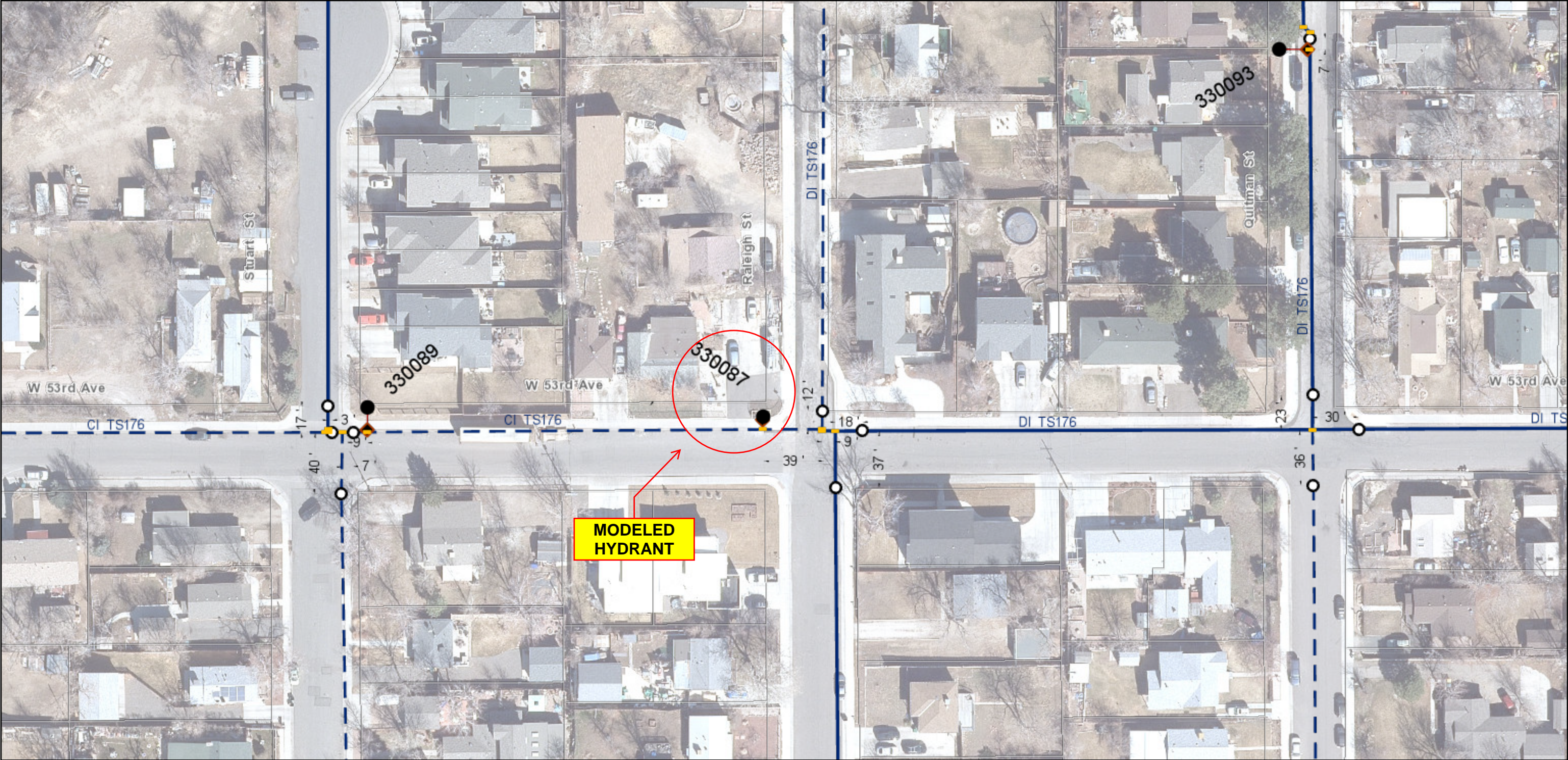


Should you have any questions regarding this analysis please contact us at 303-628-6540 or [pph@denverwater.org](mailto:pph@denverwater.org).

Comments:

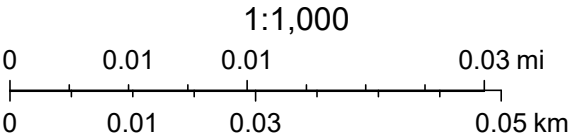


4205 53rd Ave



6/5/2020, 7:15:04 AM

- |  |                       |  |                |  |     |
|--|-----------------------|--|----------------|--|-----|
|  | Casing                |  | Unknown        |  | 8"  |
|  | Process Line          |  | Not Applicable |  | 10" |
|  | Process Valve - SCADA |  | Main Rehab     |  | 12" |
|  | Open                  |  | 3" & Smaller   |  | 14" |
|  | Closed                |  | 4"             |  | 15" |
|  |                       |  | 6"             |  |     |







1600 West 12th Ave  
Denver, CO 80204-3412  
303.628.6000  
denverwater.org

June 5, 2020

**Colorado Division of Water Resources  
Department of Natural Resources  
ATTN: Joanna Williams, P.E. Water Resource Engineer  
1313 Sherman Street. Room 821  
Denver, CO 80203**

RE: 4301 West 53rd Ave Denver, Colorado 80212 (see attached legal)

Dear Joanna:

Denver Water has been asked to determine whether the property described on the attached layout is located within a Distributor's service area and would be eligible to receive water service. This letter verifies that the property is located within Berkeley Water & Sewer service area. This property is eligible to receive water. Any project located on the property will be subject to compliance with Denver Water's Operating Rules, Regulations, Engineering Standards, and applicable charges. Prior to proceeding with the project, verify with Berkeley Water & Sewer to determine Distributor's ability to serve, rules and regulations affecting service and any additional applicable charges. Please check the fire requirements for the proposed development with the Fire Prevention Bureau and the availability of fire flow from existing mains with the Distributor's Hydraulics Department or with Denver Water's Hydraulics Department.

If there are questions on the information being provided, or you would like to schedule a meeting to discuss the proposed project, please contact Denver Water Sales Administration at: 303-628-6100.

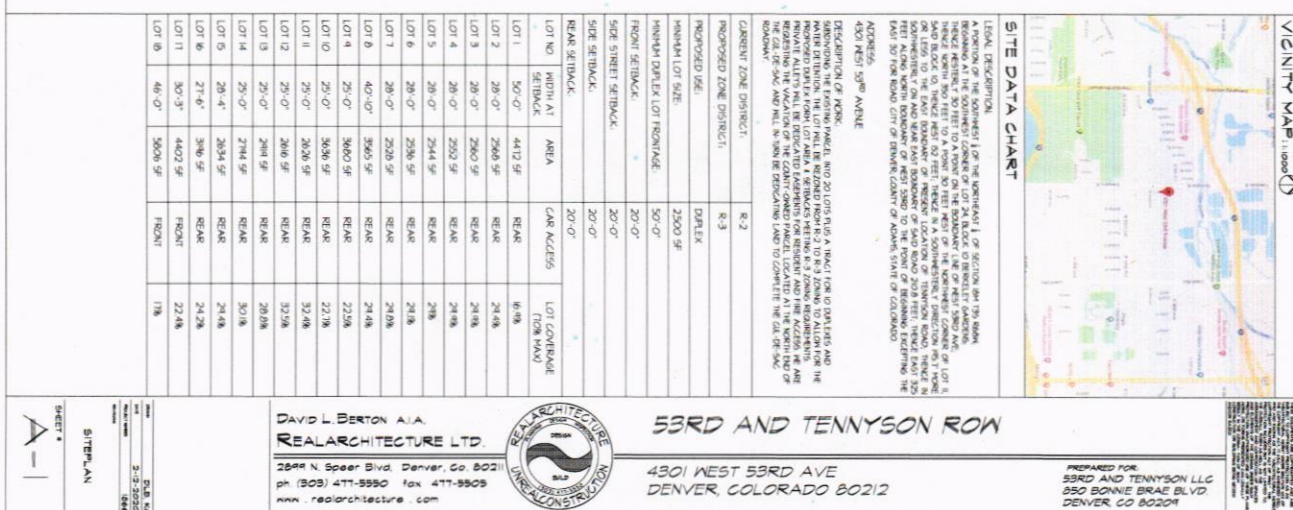
Sincerely,

*Jillian Atencio*

Jillian Atencio  
Denver Water Sales Administration

A PORTION OF THE SOUTHWEST  $\frac{1}{2}$  OF THE NORTHEAST  $\frac{1}{2}$  OF SECTION 18M T3S R68W;  
BEGINNING AT THE SOUTHWEST CORNER OF LOT 24, BLOCK 10 BERKELEY GARDENS;  
THENCE WESTERLY 30 FEET TO A POINT ON THE BOUNDARY LINE OF WEST 53RD AVE;  
THENCE NORTH 350 FEET TO A POINT 30 FEET WEST OF THE NORTHWEST CORNER OF LOT 11, SAID BLOCK 10;  
THENCE WEST 152 FEET;  
THENCE IN A SOUTHWESTERLY DIRECTION 195.7' MORE OR LESS TO THE EAST BOUNDARY OF PRESENT LOCATION OF  
TENNYSON ROAD;  
THENCE IN SOUTHWESTERLY ON AND NEAR EAST BOUNDARY OF SAID ROAD 210.8 FEET;  
THENCE EAST 325 FEET ALONG NORTH BOUNDARY OF WEST 53RD TO THE POINT OF BEGINNING  
EXCEPTING THE EAST 30' FOR ROAD(RECEPTION #406012)  
CITY OF DENVER;  
COUNTY OF ADAMS;  
STATE OF COLORADO,







Fixture Count Calculation Form

Project ID (If applicable):

Project Name (If applicable):

53rd and Tennyson Row

Applicant Name:

Chase Justice

Applicant Phone #:

720-908-7159

Applicant E-mail Address:

Chase@altitudelandco.com

Service Address:

4301 West 53rd Ave. Denver, CO, 80212

Date:

05.22.2020

(mm/dd/yyyy)

Unit Type/ Model:

Duplex 1 Unit 1

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

80

(Please select pressure if known. If unknown leave at 80 psi)

Definitions

**Public vs. Private Utilization:**  
**\*Public utilization** applies to fixtures in general toilet rooms of schools, gymnasiums, hotels, airports, bus and railroad stations, public build ings, bars, public comfort stations, office buildings, stadiums, stores, restaurants and other installations where a number of fixtures are installed so that their utilization is similarly unrestricted.  
**\*Private utilization** applies to fixtures in residences and apartments, and to fixtures in nonpublic toilet rooms of hotels and motels and similar installations in buildings where the plumbing fixtures are intended for utilization by a family or an individual.  
**\*\*Bathroom Group:**  
**A bathroom group** is a defined term as “a group of plumbing fixtures installed in the same room, consisting of one domestic-type lavatory (sink), one water closet (toilet) and either one bathtub without a shower) or one one-head shower.  
If any other fixtures (i.e.. Separated bathtub and shower areas), beyond those permitted in circumstances that comply with the definition above, are fed from the piping that leads to a bathroom then the fixtures in the bathroom group must be considered individually for determining the fixture unit load.

Fixture or Appliance

Number of Fixtures

Public\*

Private\*

Toilet (tank)

3

Common in residential bathrooms

Toilet (flush valve)

Common in public restrooms

Toilet (flushometer tank)

Bathtub (only)

Bathtub/Shower Combination

1

Shower (only)

1

Bathroom Sink (lavatory)

4

Urinal (tank)

Urinal (3/4" flush valve)

Urinal (1" flush valve)

Bidet

Kitchen Sink

1

Utility/Service/Mop Sink

Bar Sink

Laundry Sink

Wash-up Sink, each set of faucets

Dishwashing Machine

1

Washing machine (8 lb.)

1

Washing machine (15 lb.)

Laundry trays (1 to 3)

Bedpan washers

Drinking fountains

Dental units

Hose Bibb 1/2 in.

Hose Bibb 5/8 in.

Hose Bibb 3/4 in.

2

If a fixture isn't included on this list please type in the fixture name and the total GPM. This GPM will be added to the final demand after the fixture value/unit to GPM calculation.

Calculations based on the AWWA M22 Manual, Second and Third Editions, 2015 International Plumbing Code (IPC) and Denver Water Engineering Standards  
\*\*IPC Bathroom groups are calculated in the background calculation. Please enter each fixture type above individually.

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Applicant Name:

Chase Justice

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Applicant E-mail Address:

Chase@altitudelandco.com

Service Address:

4301 West 53rd Ave. Denver, CO, 80212

Date:

05.22.2020

(mm/dd/yyyy)

Unit Type/ Model:

Duplex 1 Unit 2

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

80

(Please select pressure if known. If unknown leave at 80 psi)

Definitions

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Fixture or Appliance

Number of Fixtures

Public\*

Private\*

Toilet (tank)

3

Common in residential bathrooms

Toilet (flush valve)

Common in public restrooms

Toilet (flushometer tank)

Bathtub (only)

Bathtub/Shower Combination

1

Shower (only)

1

Bathroom Sink (lavatory)

4

Urinal (tank)

Urinal (3/4" flush valve)

Urinal (1" flush valve)

Bidet

Kitchen Sink

1

Utility/Service/Mop Sink

Bar Sink

Laundry Sink

Wash-up Sink, each set of faucets

Dishwashing Machine

1

Washing machine (8 lb.)

1

Washing machine (15 lb.)

Laundry trays (1 to 3)

Bedpan washers

Drinking fountains

Dental units

Hose Bibb 1/2 in.

Hose Bibb 5/8 in.

Hose Bibb 3/4 in.

2

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Date:

05.22.2020

(mm/dd/yyyy)

Unit Type/ Model:

Duplex 2 Unit 1

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

80

(Please select pressure if known. If unknown leave at 80 psi)

Definitions

**Public vs. Private Utilization:**  
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Entry valid. Continuing filing out the form. Please save the form as an Excel document and submit it to Denver Water's Water Sales Department.

Fixture or Appliance	Number of Fixtures	
	Public*	Private*
Toilet (tank)		4
Toilet (flush valve)		
Toilet (flushometer tank)		
Bathtub (only)		
Bathtub/Shower Combination		1
Shower (only)		1
Bathroom Sink (lavatory)		5
Urinal (tank)		
Urinal (3/4" flush valve)		
Urinal (1" flush valve)		
Bidet		
Kitchen Sink		1
Utility/Service/Mop Sink		
Bar Sink		
Laundry Sink		
Wash-up Sink, each set of faucets		
Dishwashing Machine		1
Washing machine (8 lb.)		1
Washing machine (15 lb.)		
Laundry trays (1 to 3)		
Bedpan washers		
Drinking fountains		
Dental units		
Hose Bibb 1/2 in.		
Hose Bibb 5/8 in.		
Hose Bibb 3/4 in.		2

If a fixture isn't included on this list please type in the fixture name and the total GPM. This GPM will be added to the final demand after the fixture value/unit to GPM calculation.

Calculations based on the AWWA M22 Manual, Second and Third Editions, 2015 International Plumbing Code (IPC) and Denver Water Engineering Standards

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Service Address:

4301 West 53rd Ave. Denver, CO, 80212

Date:

05.22.2020

(mm/dd/yyyy)

Unit Type/ Model:

Duplex 2 Unit 2

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

80

(Please select pressure if known. If unknown leave at 80 psi)

Definitions

**Public vs. Private Utilization:**  
**\*Public utilization** applies to fixtures in general toilet rooms of schools, gymnasiums, hotels, airports, bus and railroad stations, public buildings, bars, public comfort stations, office buildings, stadiums, stores, restaurants and other installations where a number of fixtures are installed so that their utilization is similarly unrestricted.  
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Fixture or Appliance

Number of Fixtures

Public\*

Private\*

Toilet (tank)

4

Common in residential bathrooms

Toilet (flush valve)

Common in public restrooms

Toilet (flushometer tank)

Bathtub (only)

Bathtub/Shower Combination

1

Shower (only)

1

Bathroom Sink (lavatory)

5

Urinal (tank)

Urinal (3/4" flush valve)

Urinal (1" flush valve)

Bidet

Kitchen Sink

1

Utility/Service/Mop Sink

Bar Sink

Laundry Sink

Wash-up Sink, each set of faucets

Dishwashing Machine

1

Washing machine (8 lb.)

1

Washing machine (15 lb.)

Laundry trays (1 to 3)

Bedpan washers

Drinking fountains

Dental units

Hose Bibb 1/2 in.

Hose Bibb 5/8 in.

Hose Bibb 3/4 in.

2

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Service Address:

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Date:

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(mm/dd/yyyy)

Unit Type/ Model:

Duplex 3 Unit 1

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

80

(Please select pressure if known. If unknown leave at 80 psi)

Definitions

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Entry valid. Continuing filing out the form. Please save the form as an Excel document and submit it to Denver Water's Water Sales Department.

Fixture or Appliance	Number of Fixtures	
	Public*	Private*
Toilet (tank)		4
Toilet (flush valve)		
Toilet (flushometer tank)		
Bathtub (only)		
Bathtub/Shower Combination		1
Shower (only)		1
Bathroom Sink (lavatory)		5
Urinal (tank)		
Urinal (3/4" flush valve)		
Urinal (1" flush valve)		
Bidet		
Kitchen Sink		1
Utility/Service/Mop Sink		
Bar Sink		
Laundry Sink		
Wash-up Sink, each set of faucets		
Dishwashing Machine		1
Washing machine (8 lb.)		1
Washing machine (15 lb.)		
Laundry trays (1 to 3)		
Bedpan washers		
Drinking fountains		
Dental units		
Hose Bibb 1/2 in.		
Hose Bibb 5/8 in.		
Hose Bibb 3/4 in.		2

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Fixture Count Calculation Form

Project ID (If applicable):

Project Name (If applicable):

53rd and Tennyson Row

Applicant Name:

Chase Justice

Applicant Phone #:

720-908-7159

Applicant E-mail Address:

Chase@altitudelandco.com

Service Address:

4301 West 53rd Ave. Denver, CO, 80212

Date:

05.22.2020

(mm/dd/yyyy)

Unit Type/ Model:

Duplex 3 Unit 2

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

80

(Please select pressure if known. If unknown leave at 80 psi)

Definitions

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Fixture or Appliance	Number of Fixtures	
	Public*	Private*
Toilet (tank)		4
Toilet (flush valve)		
Toilet (flushometer tank)		
Bathtub (only)		
Bathtub/Shower Combination		1
Shower (only)		1
Bathroom Sink (lavatory)		5
Urinal (tank)		
Urinal (3/4" flush valve)		
Urinal (1" flush valve)		
Bidet		
Kitchen Sink		1
Utility/Service/Mop Sink		
Bar Sink		
Laundry Sink		
Wash-up Sink, each set of faucets		
Dishwashing Machine		1
Washing machine (8 lb.)		1
Washing machine (15 lb.)		
Laundry trays (1 to 3)		
Bedpan washers		
Drinking fountains		
Dental units		
Hose Bibb 1/2 in.		
Hose Bibb 5/8 in.		
Hose Bibb 3/4 in.		2

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Project ID (If applicable):

Project Name (If applicable): 53rd and Tennyson Row

Applicant Name: Chase Justice

Applicant Phone #: 720-908-7159

Applicant E-mail Address: Chase@altitudelandco.com

Service Address: 4301 West 53rd Ave. Denver, CO, 80212

Date: 05.22.2020

(mm/dd/yyyy)

Unit Type/ Model: Duplex 4 Unit 1

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

80

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Definitions

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Fixture or Appliance

Number of Fixtures

Public\*

Private\*

Toilet (tank)

4

Common in residential bathrooms

Toilet (flush valve)

Common in public restrooms

Toilet (flushometer tank)

Bathtub (only)

Bathtub/Shower Combination

1

Shower (only)

1

Bathroom Sink (lavatory)

5

Urinal (tank)

Urinal (3/4" flush valve)

Urinal (1" flush valve)

Bidet

Kitchen Sink

1

Utility/Service/Mop Sink

Bar Sink

Laundry Sink

Wash-up Sink, each set of faucets

Dishwashing Machine

1

Washing machine (8 lb.)

1

Washing machine (15 lb.)

Laundry trays (1 to 3)

Bedpan washers

Drinking fountains

Dental units

Hose Bibb 1/2 in.

Hose Bibb 5/8 in.

Hose Bibb 3/4 in.

2

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(mm/dd/yyyy)

Unit Type/ Model:

Duplex 4 Unit 2

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

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Fixture or Appliance

Number of Fixtures

Public\*

Private\*

Toilet (tank)

4

Common in residential bathrooms

Toilet (flush valve)

Common in public restrooms

Toilet (flushometer tank)

Bathtub (only)

Bathtub/Shower Combination

1

Shower (only)

1

Bathroom Sink (lavatory)

5

Urinal (tank)

Urinal (3/4" flush valve)

Urinal (1" flush valve)

Bidet

Kitchen Sink

1

Utility/Service/Mop Sink

Bar Sink

Laundry Sink

Wash-up Sink, each set of faucets

Dishwashing Machine

1

Washing machine (8 lb.)

1

Washing machine (15 lb.)

Laundry trays (1 to 3)

Bedpan washers

Drinking fountains

Dental units

Hose Bibb 1/2 in.

Hose Bibb 5/8 in.

Hose Bibb 3/4 in.

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Unit Type/ Model:

Duplex 5 Unit 1

(If multiple building configura

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80

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If any other fixtures (i.e.. Separated bathtub and shower areas), beyond those permitted in circumstances that comply with the definition above, are fed from the piping that leads to a bathroom then the fixtures in the bathroom group must be considered individually for determining the fixture unit load.

Entry valid. Continuing filing out the form. Please save the form as an Excel document and submit it to Denver Water's Water Sales Department.

Fixture or Appliance	Number of Fixtures	
	Public*	Private*
Toilet (tank)		3
Toilet (flush valve)		
Toilet (flushometer tank)		
Bathtub (only)		
Bathtub/Shower Combination		1
Shower (only)		1
Bathroom Sink (lavatory)		4
Urinal (tank)		
Urinal (3/4" flush valve)		
Urinal (1" flush valve)		
Bidet		
Kitchen Sink		1
Utility/Service/Mop Sink		
Bar Sink		
Laundry Sink		
Wash-up Sink, each set of faucets		
Dishwashing Machine		1
Washing machine (8 lb.)		1
Washing machine (15 lb.)		
Laundry trays (1 to 3)		
Bedpan washers		
Drinking fountains		
Dental units		
Hose Bibb 1/2 in.		
Hose Bibb 5/8 in.		
Hose Bibb 3/4 in.		2

Common in residential bathrooms  
Common in public restrooms

If a fixture isn't included on this list please type in the fixture name and the total GPM. This GPM will be added to the final demand after the fixture value/unit to GPM calculation.

Calculations based on the AWWA M22 Manual, Second and Third Editions, 2015 International Plumbing Code (IPC) and Denver Water Engineering Standards

\*\*IPC Bathroom groups are calculated in the background calculation. Please enter each fixture type above individually.



Fixture Count Calculation Form

Project ID (If applicable):

Project Name (If applicable):

53rd and Tennyson Row

Applicant Name:

Chase Justice

Applicant Phone #:

720-908-7159

Applicant E-mail Address:

Chase@altitudelandco.com

Service Address:

4301 West 53rd Ave. Denver, CO, 80212

Date:

05.22.2020

(mm/dd/yyyy)

Unit Type/ Model:

Duplex 5 Unit 2

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

80

(Please select pressure if known. If unknown leave at 80 psi)

Definitions

**Public vs. Private Utilization:**  
**\*Public utilization** applies to fixtures in general toilet rooms of schools, gymnasiums, hotels, airports, bus and railroad stations, public buildings, bars, public comfort stations, office buildings, stadiums, stores, restaurants and other installations where a number of fixtures are installed so that their utilization is similarly unrestricted.  
**\*Private utilization** applies to fixtures in residences and apartments, and to fixtures in nonpublic toilet rooms of hotels and motels and similar installations in buildings where the plumbing fixtures are intended for utilization by a family or an individual.  
**\*\*Bathroom Group:**  
**A bathroom group** is a defined term as "a group of plumbing fixtures installed in the same room, consisting of one domestic-type lavatory (sink), one water closet (toilet) and either one bathtub without a shower) or one one-head shower.  
If any other fixtures (i.e.. Separated bathtub and shower areas), beyond those permitted in circumstances that comply with the definition above, are fed from the piping that leads to a bathroom then the fixtures in the bathroom group must be considered individually for determining the fixture unit load.

Fixture or Appliance	Number of Fixtures		
	Public*	Private*	
Toilet (tank)		3	Common in residential bathrooms
Toilet (flush valve)			Common in public restrooms
Toilet (flushometer tank)			
Bathtub (only)			
Bathtub/Shower Combination		1	
Shower (only)		1	
Bathroom Sink (lavatory)		4	
Urinal (tank)			
Urinal (3/4" flush valve)			
Urinal (1" flush valve)			
Bidet			
Kitchen Sink		1	
Utility/Service/Mop Sink			
Bar Sink			
Laundry Sink			
Wash-up Sink, each set of faucets			
Dishwashing Machine		1	
Washing machine (8 lb.)		1	
Washing machine (15 lb.)			
Laundry trays (1 to 3)			
Bedpan washers			
Drinking fountains			
Dental units			
Hose Bibb 1/2 in.			
Hose Bibb 5/8 in.			
Hose Bibb 3/4 in.		2	
			If a fixture isn't included on this list please type in the fixture name and the total GPM. This GPM will be added to the final demand after the fixture value/unit to GPM calculation.

Calculations based on the AWWA M22 Manual, Second and Third Editions, 2015 International Plumbing Code (IPC) and Denver Water Engineering Standards  
\*\*IPC Bathroom groups are calculated in the background calculation. Please enter each fixture type above individually.

Fixture Count Calculation Form

Project ID (If applicable):

Project Name (If applicable):

53rd and Tennyson Row

Applicant Name:

Chase Justice

Applicant Phone #:

720-908-7159

Applicant E-mail Address:

Chase@altitudelandco.com

Service Address:

4301 West 53rd Ave. Denver, CO, 80212

Date:

05.22.2020

(mm/dd/yyyy)

Unit Type/ Model:

Duplex 6 Unit 1

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

80

(Please select pressure if known. If unknown leave at 80 psi)

Definitions

**Public vs. Private Utilization:**  
**\*Public utilization** applies to fixtures in general toilet rooms of schools, gymnasiums, hotels, airports, bus and railroad stations, public buildings, bars, public comfort stations, office buildings, stadiums, stores, restaurants and other installations where a number of fixtures are installed so that their utilization is similarly unrestricted.  
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If any other fixtures (i.e.. Separated bathtub and shower areas), beyond those permitted in circumstances that comply with the definition above, are fed from the piping that leads to a bathroom then the fixtures in the bathroom group must be considered individually for determining the fixture unit load.

Entry valid. Continuing filing out the form. Please save the form as an Excel document and submit it to Denver Water's Water Sales Department.

Fixture or Appliance	Number of Fixtures	
	Public*	Private*
Toilet (tank)		4
Toilet (flush valve)		
Toilet (flushometer tank)		
Bathtub (only)		
Bathtub/Shower Combination		1
Shower (only)		1
Bathroom Sink (lavatory)		5
Urinal (tank)		
Urinal (3/4" flush valve)		
Urinal (1" flush valve)		
Bidet		
Kitchen Sink		1
Utility/Service/Mop Sink		
Bar Sink		
Laundry Sink		
Wash-up Sink, each set of faucets		
Dishwashing Machine		1
Washing machine (8 lb.)		1
Washing machine (15 lb.)		
Laundry trays (1 to 3)		
Bedpan washers		
Drinking fountains		
Dental units		
Hose Bibb 1/2 in.		
Hose Bibb 5/8 in.		
Hose Bibb 3/4 in.		2

If a fixture isn't included on this list please type in the fixture name and the total GPM. This GPM will be added to the final demand after the fixture value/unit to GPM calculation.

Calculations based on the AWWA M22 Manual, Second and Third Editions, 2015 International Plumbing Code (IPC) and Denver Water Engineering Standards  
\*\*IPC Bathroom groups are calculated in the background calculation. Please enter each fixture type above individually.

Fixture Count Calculation Form

Project ID (If applicable):

Project Name (If applicable):

53rd and Tennyson Row

Applicant Name:

Chase Justice

Applicant Phone #:

720-908-7159

Applicant E-mail Address:

Chase@altitudelandco.com

Service Address:

4301 West 53rd Ave. Denver, CO, 80212

Date:

05.22.2020

(mm/dd/yyyy)

Unit Type/ Model:

Duplex 6 Unit 2

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

80

(Please select pressure if known. If unknown leave at 80 psi)

Definitions

**Public vs. Private Utilization:**  
**\*Public utilization** applies to fixtures in general toilet rooms of schools, gymnasiums, hotels, airports, bus and railroad stations, public buildings, bars, public comfort stations, office buildings, stadiums, stores, restaurants and other installations where a number of fixtures are installed so that their utilization is similarly unrestricted.  
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If any other fixtures (i.e.. Separated bathtub and shower areas), beyond those permitted in circumstances that comply with the definition above, are fed from the piping that leads to a bathroom then the fixtures in the bathroom group must be considered individually for determining the fixture unit load.

Fixture or Appliance	Number of Fixtures		
	Public*	Private*	
Toilet (tank)		4	Common in residential bathrooms Common in public restrooms
Toilet (flush valve)			
Toilet (flushometer tank)			
Bathtub (only)			
Bathtub/Shower Combination		1	
Shower (only)		1	
Bathroom Sink (lavatory)		5	
Urinal (tank)			
Urinal (3/4" flush valve)			
Urinal (1" flush valve)			
Bidet			
Kitchen Sink		1	
Utility/Service/Mop Sink			
Bar Sink			
Laundry Sink			
Wash-up Sink, each set of faucets			
Dishwashing Machine		1	
Washing machine (8 lb.)		1	
Washing machine (15 lb.)			
Laundry trays (1 to 3)			
Bedpan washers			
Drinking fountains			
Dental units			
Hose Bibb 1/2 in.			
Hose Bibb 5/8 in.			
Hose Bibb 3/4 in.		2	
			If a fixture isn't included on this list please type in the fixture name and the total GPM. This GPM will be added to the final demand after the fixture value/unit to GPM calculation.

Calculations based on the AWWA M22 Manual, Second and Third Editions, 2015 International Plumbing Code (IPC) and Denver Water Engineering Standards  
\*\*IPC Bathroom groups are calculated in the background calculation. Please enter each fixture type above individually.



Fixture Count Calculation Form

Project ID (If applicable):

Project Name (If applicable): 53rd and Tennyson Row

Applicant Name: Chase Justice

Applicant Phone #: 720-908-7159

Applicant E-mail Address: Chase@altitudelandco.com

Service Address: 4301 West 53rd Ave. Denver, CO, 80212

Date: 05.22.2020

(mm/dd/yyyy)

Unit Type/ Model: Duplex 7 Unit 1

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

80

(Please select pressure if known. If unknown leave at 80 psi)

Definitions

**Public vs. Private Utilization:**  
**\*Public utilization** applies to fixtures in general toilet rooms of schools, gymnasiums, hotels, airports, bus and railroad stations, public buildings, bars, public comfort stations, office buildings, stadiums, stores, restaurants and other installations where a number of fixtures are installed so that their utilization is similarly unrestricted.  
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Entry valid. Continuing filing out the form. Please save the form as an Excel document and submit it to Denver Water's Water Sales Department.

Fixture or Appliance	Number of Fixtures	
	Public*	Private*
Toilet (tank)		3
Toilet (flush valve)		
Toilet (flushometer tank)		
Bathtub (only)		
Bathtub/Shower Combination		1
Shower (only)		1
Bathroom Sink (lavatory)		4
Urinal (tank)		
Urinal (3/4" flush valve)		
Urinal (1" flush valve)		
Bidet		
Kitchen Sink		1
Utility/Service/Mop Sink		
Bar Sink		
Laundry Sink		
Wash-up Sink, each set of faucets		
Dishwashing Machine		1
Washing machine (8 lb.)		1
Washing machine (15 lb.)		
Laundry trays (1 to 3)		
Bedpan washers		
Drinking fountains		
Dental units		
Hose Bibb 1/2 in.		
Hose Bibb 5/8 in.		
Hose Bibb 3/4 in.		2

If a fixture isn't included on this list please type in the fixture name and the total GPM. This GPM will be added to the final demand after the fixture value/unit to GPM calculation.

Calculations based on the AWWA M22 Manual, Second and Third Editions, 2015 International Plumbing Code (IPC) and Denver Water Engineering Standards  
\*\*IPC Bathroom groups are calculated in the background calculation. Please enter each fixture type above individually.

Fixture Count Calculation Form

Project ID (If applicable):

Project Name (If applicable):

53rd and Tennyson Row

Applicant Name:

Chase Justice

Applicant Phone #:

720-908-7159

Applicant E-mail Address:

Chase@altitudelandco.com

Service Address:

4301 West 53rd Ave. Denver, CO, 80212

Date:

05.22.2020

(mm/dd/yyyy)

Unit Type/ Model:

Duplex 7 Unit 2

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

80

(Please select pressure if known. If unknown leave at 80 psi)

Definitions

**Public vs. Private Utilization:**  
**\*Public utilization** applies to fixtures in general toilet rooms of schools, gymnasiums, hotels, airports, bus and railroad stations, public buildings, bars, public comfort stations, office buildings, stadiums, stores, restaurants and other installations where a number of fixtures are installed so that their utilization is similarly unrestricted.  
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If any other fixtures (i.e.. Separated bathtub and shower areas), beyond those permitted in circumstances that comply with the definition above, are fed from the piping that leads to a bathroom then the fixtures in the bathroom group must be considered individually for determining the fixture unit load.

Fixture or Appliance

Number of Fixtures

Public\*

Private\*

Toilet (tank)

3

Common in residential bathrooms

Toilet (flush valve)

Common in public restrooms

Toilet (flushometer tank)

Bathtub (only)

Bathtub/Shower Combination

1

Shower (only)

1

Bathroom Sink (lavatory)

4

Urinal (tank)

Urinal (3/4" flush valve)

Urinal (1" flush valve)

Bidet

Kitchen Sink

1

Utility/Service/Mop Sink

Bar Sink

Laundry Sink

Wash-up Sink, each set of faucets

Dishwashing Machine

1

Washing machine (8 lb.)

1

Washing machine (15 lb.)

Laundry trays (1 to 3)

Bedpan washers

Drinking fountains

Dental units

Hose Bibb 1/2 in.

Hose Bibb 5/8 in.

Hose Bibb 3/4 in.

2

Entry valid. Continuing filing out the form. Please save the form as an Excel document and submit it to Denver Water's Water Sales Department.

If a fixture isn't included on this list please type in the fixture name and the total GPM. This GPM will be added to the final demand after the fixture value/unit to GPM calculation.

Calculations based on the AWWA M22 Manual, Second and Third Editions, 2015 International Plumbing Code (IPC) and Denver Water Engineering Standards

\*\*IPC Bathroom groups are calculated in the background calculation. Please enter each fixture type above individually.

Fixture Count Calculation Form

Project ID (If applicable):

Project Name (If applicable):

53rd and Tennyson Row

Applicant Name:

Chase Justice

Applicant Phone #:

720-908-7159

Applicant E-mail Address:

Chase@altitudelandco.com

Service Address:

4301 West 53rd Ave. Denver, CO, 80212

Date:

05.22.2020

(mm/dd/yyyy)

Unit Type/ Model:

Duplex 8 Unit 1

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

80

(Please select pressure if known. If unknown leave at 80 psi)

Definitions

**Public vs. Private Utilization:**  
**\*Public utilization** applies to fixtures in general toilet rooms of schools, gymnasiums, hotels, airports, bus and railroad stations, public buildings, bars, public comfort stations, office buildings, stadiums, stores, restaurants and other installations where a number of fixtures are installed so that their utilization is similarly unrestricted.  
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If any other fixtures (i.e.. Separated bathtub and shower areas), beyond those permitted in circumstances that comply with the definition above, are fed from the piping that leads to a bathroom then the fixtures in the bathroom group must be considered individually for determining the fixture unit load.

Entry valid. Continuing filing out the form. Please save the form as an Excel document and submit it to Denver Water's Water Sales Department.

Fixture or Appliance	Number of Fixtures	
	Public*	Private*
Toilet (tank)		3
Toilet (flush valve)		
Toilet (flushometer tank)		
Bathtub (only)		
Bathtub/Shower Combination		1
Shower (only)		1
Bathroom Sink (lavatory)		4
Urinal (tank)		
Urinal (3/4" flush valve)		
Urinal (1" flush valve)		
Bidet		
Kitchen Sink		1
Utility/Service/Mop Sink		
Bar Sink		
Laundry Sink		
Wash-up Sink, each set of faucets		
Dishwashing Machine		1
Washing machine (8 lb.)		1
Washing machine (15 lb.)		
Laundry trays (1 to 3)		
Bedpan washers		
Drinking fountains		
Dental units		
Hose Bibb 1/2 in.		
Hose Bibb 5/8 in.		
Hose Bibb 3/4 in.		2

If a fixture isn't included on this list please type in the fixture name and the total GPM. This GPM will be added to the final demand after the fixture value/unit to GPM calculation.

Calculations based on the AWWA M22 Manual, Second and Third Editions, 2015 International Plumbing Code (IPC) and Denver Water Engineering Standards  
\*\*IPC Bathroom groups are calculated in the background calculation. Please enter each fixture type above individually.



Fixture Count Calculation Form

Project ID (If applicable):

Project Name (If applicable):

53rd and Tennyson Row

Applicant Name:

Chase Justice

Applicant Phone #:

720-908-7159

Applicant E-mail Address:

Chase@altitudelandco.com

Service Address:

4301 West 53rd Ave. Denver, CO, 80212

Date:

05.22.2020

(mm/dd/yyyy)

Unit Type/ Model:

Duplex 8 Unit 2

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

80

(Please select pressure if known. If unknown leave at 80 psi)

Definitions

**Public vs. Private Utilization:**

**\*Public utilization** applies to fixtures in general toilet rooms of schools, gymnasiums, hotels, airports, bus and railroad stations, public buildings, bars, public comfort stations, office buildings, stadiums, stores, restaurants and other installations where a number of fixtures are installed so that their utilization is similarly unrestricted.

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**\*\*Bathroom Group:**

**A bathroom group** is a defined term as "a group of plumbing fixtures installed in the same room, consisting of one domestic-type lavatory (sink), one water closet (toilet) and either one bathtub without a shower) or one one-head shower.

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Entry valid. Continuing filing out the form. Please save the form as an Excel document and submit it to Denver Water's Water Sales Department.

Fixture or Appliance	Number of Fixtures		
	Public*	Private*	
Toilet (tank)		3	Common in residential bathrooms
Toilet (flush valve)			Common in public restrooms
Toilet (flushometer tank)			
Bathtub (only)			
Bathtub/Shower Combination		1	
Shower (only)		1	
Bathroom Sink (lavatory)		4	
Urinal (tank)			
Urinal (3/4" flush valve)			
Urinal (1" flush valve)			
Bidet			
Kitchen Sink		1	
Utility/Service/Mop Sink			
Bar Sink			
Laundry Sink			
Wash-up Sink, each set of faucets			
Dishwashing Machine		1	
Washing machine (8 lb.)		1	
Washing machine (15 lb.)			
Laundry trays (1 to 3)			
Bedpan washers			
Drinking fountains			
Dental units			
Hose Bibb 1/2 in.			
Hose Bibb 5/8 in.			
Hose Bibb 3/4 in.		2	
			If a fixture isn't included on this list please type in the fixture name and the total GPM. This GPM will be added to the final demand after the fixture value/unit to GPM calculation.

Calculations based on the AWWA M22 Manual, Second and Third Editions, 2015 International Plumbing Code (IPC) and Denver Water Engineering Standards

\*\*IPC Bathroom groups are calculated in the background calculation. Please enter each fixture type above individually.

Fixture Count Calculation Form

Project ID (If applicable):

Project Name (If applicable):

53rd and Tennyson Row

Applicant Name:

Chase Justice

Applicant Phone #:

720-908-7159

Applicant E-mail Address:

Chase@altitudelandco.com

Service Address:

4301 West 53rd Ave. Denver, CO, 80212

Date:

05.22.2020

(mm/dd/yyyy)

Unit Type/ Model:

Duplex 9 Unit 1

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

80

(Please select pressure if known. If unknown leave at 80 psi)

Definitions

**Public vs. Private Utilization:**  
**\*Public utilization** applies to fixtures in general toilet rooms of schools, gymnasiums, hotels, airports, bus and railroad stations, public buildings, bars, public comfort stations, office buildings, stadiums, stores, restaurants and other installations where a number of fixtures are installed so that their utilization is similarly unrestricted.  
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Entry valid. Continuing filing out the form. Please save the form as an Excel document and submit it to Denver Water's Water Sales Department.

Fixture or Appliance	Number of Fixtures	
	Public*	Private*
Toilet (tank)		4
Toilet (flush valve)		
Toilet (flushometer tank)		
Bathtub (only)		
Bathtub/Shower Combination		2
Shower (only)		1
Bathroom Sink (lavatory)		5
Urinal (tank)		
Urinal (3/4" flush valve)		
Urinal (1" flush valve)		
Bidet		
Kitchen Sink		1
Utility/Service/Mop Sink		
Bar Sink		
Laundry Sink		
Wash-up Sink, each set of faucets		
Dishwashing Machine		1
Washing machine (8 lb.)		2
Washing machine (15 lb.)		
Laundry trays (1 to 3)		
Bedpan washers		
Drinking fountains		
Dental units		
Hose Bibb 1/2 in.		
Hose Bibb 5/8 in.		
Hose Bibb 3/4 in.		2

If a fixture isn't included on this list please type in the fixture name and the total GPM. This GPM will be added to the final demand after the fixture value/unit to GPM calculation.

Calculations based on the AWWA M22 Manual, Second and Third Editions, 2015 International Plumbing Code (IPC) and Denver Water Engineering Standards  
\*\*IPC Bathroom groups are calculated in the background calculation. Please enter each fixture type above individually.

Fixture Count Calculation Form

Project ID (If applicable):

Project Name (If applicable):

53rd and Tennyson Row

Applicant Name:

Chase Justice

Applicant Phone #:

720-908-7159

Applicant E-mail Address:

Chase@altitudelandco.com

Service Address:

4301 West 53rd Ave. Denver, CO, 80212

Date:

05.22.2020

(mm/dd/yyyy)

Unit Type/ Model:

Duplex 9 Unit 2

(If multiple building configura

Please fill in the blue boxes below.

Property Use:

Residential

- If multi-family please enter total units

Residual Pressure at Project:

80

(Please select pressure if known. If unknown leave at 80 psi)

Definitions

**Public vs. Private Utilization:**  
**\*Public utilization** applies to fixtures in general toilet rooms of schools, gymnasiums, hotels, airports, bus and railroad stations, public buildings, bars, public comfort stations, office buildings, stadiums, stores, restaurants and other installations where a number of fixtures are installed so that their utilization is similarly unrestricted.  
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If any other fixtures (i.e.. Separated bathtub and shower areas), beyond those permitted in circumstances that comply with the definition above, are fed from the piping that leads to a bathroom then the fixtures in the bathroom group must be considered individually for determining the fixture unit load.

Fixture or Appliance

Number of Fixtures

Public\*

Private\*

Toilet (tank)

4

Common in residential bathrooms

Toilet (flush valve)

Common in public restrooms

Toilet (flushometer tank)

Bathtub (only)

Bathtub/Shower Combination

2

Shower (only)

1

Bathroom Sink (lavatory)

5

Urinal (tank)

Urinal (3/4" flush valve)

Urinal (1" flush valve)

Bidet

Kitchen Sink

1

Utility/Service/Mop Sink

Bar Sink

Laundry Sink

Wash-up Sink, each set of faucets

Dishwashing Machine

1

Washing machine (8 lb.)

2

Washing machine (15 lb.)

Laundry trays (1 to 3)

Bedpan washers

Drinking fountains

Dental units

Hose Bibb 1/2 in.

Hose Bibb 5/8 in.

Hose Bibb 3/4 in.

2

Entry valid. Continuing filing out the form. Please save the form as an Excel document and submit it to Denver Water's Water Sales Department.

If a fixture isn't included on this list please type in the fixture name and the total GPM. This GPM will be added to the final demand after the fixture value/unit to GPM calculation.

Calculations based on the AWWA M22 Manual, Second and Third Editions, 2015 International Plumbing Code (IPC) and Denver Water Engineering Standards  
\*\*IPC Bathroom groups are calculated in the background calculation. Please enter each fixture type above individually.



**BERKELEY WATER AND SANITATION DISTRICT  
4455 WEST 58<sup>th</sup> AVENUE, UNIT A  
ARVADA, COLORADO 80002  
303-477-1914  
Fax: 303-433-1939  
Email: [berkeleywater@gmail.com](mailto:berkeleywater@gmail.com)**

6/1/2020

MAG Builders  
3132 Federal Blvd  
Denver, CO 80221

Re: 4301 W. 53rd  
Availability of sanitary sewer services

Dear MAG Builders:

This conditional will serve letter confirms that Berkeley Water and Sanitation District ("District") has the capacity to provide sewer services to above described property (the "Property"), under the following terms and conditions:

1. If any of these conditions are not met, this "will serve" letter will be rescinded and the appropriate parties will be notified that the District can no longer provide sewer service to this property.
2. The District owns an 8" sewer main in W. 53<sup>rd</sup> Ave. The property owner may be required to install sewer main extensions, feeding into this present system, to facilitate development, depending upon design.
3. Each unit served must have its own sewer service lines, on its own land or easement. The engineering design and/or plans must be submitted and approved by the District prior to installation of any sewer service lines or tapping into any District sewer mains.
4. If a property is removing existing structures, the existing sewer service line(s) must be capped or plugged at the sewer main prior to demolition. The District must be called to observe and inspect this action before further construction begins.
5. The property owner will be required to pay tap fees, review fees and costs, and all other applicable fees and charges prior to receiving sewer service from the District. The District may require a review deposit for District costs, including engineering and legal reviews, contract development, construction, observation and inspections. If the Developer makes a review deposit with the District, over payments will be refunded and shortages will be billed to the property owner.

6. If the extension of sewer mains is required, the District's engineering firm must review and approve the designs. The District's review and approval of the construction contract for the extension is also required before the work can commence. A contract must be developed, appropriate Certificates of Insurance presented, and Warranty and Performance Bonds must be posted. In addition, the property owner will be required to dedicate easements for any public improvements.

7. The design specifications for the Project must comply with the District's Rules and Regulations, Adams County Fire Protection District regulations, and Adams County regulations. All sewer service will be subject to the District's Rules and Regulations.

8. Sewer tap fees will be payable to the District, which also collects Metro Wastewater's "connection fees." Fees to all agencies will be at prevailing rates at the time of application.

9. No representations are made regarding the availability of water service to the Property.

To reiterate, all costs incurred by the District and fees charged by the District, including without limitation tap fees, review costs, contract development, construction, observation and inspections, are the responsibility of the property owner as a condition of receipt of sewer service. If expenses are incurred and no payment is made, no taps will be issued and a lien will be placed against the property until paid per the District's Rules and Regulations and current Fee Schedule.

This conditional will serve letter is valid through June 1, 2021. If tap fees are not paid by that date, this agreement to service must be renewed through the District.

We look forward to providing services to the Property.

Sincerely,

Douglas White

BERKELEY WATER AND SANITATION DISTRICT



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Denver, Colorado 80211  
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DAVID L. BERTON A.I.A.  
Phone: (303)477-5550  
Fax: (303)477-5500

June 5, 2020

Colorado Division of Water Resources  
Department of Natural Resources  
ATTN.: Joanna Williams, P.E. Water Resource Engineer  
1313 Sherman Street. Room 821  
Denver, CO 80203

Dear Ms. Williams:

The following letter and revised drawings respond to your review and comments for 53<sup>rd</sup> and Tennyson Row project at 4301 W. 53<sup>rd</sup> Ave, Log number PRC2020-00005. Responses are listed below in *red*. Please call or email if you have any questions or require additional information.

**Colorado Division of Water Resources Comments:**

1. Provide the water supply demand for the subdivision

*Response:*

*Please see attached water fixture calc forms*

2. Provide information on the source of water supply and if the water supplier is committed to providing water to the subdivision.

*Response:*

*Please see attached "will serve" letter from Denver Water.*

Thank you for your time and consideration and please accept this formal comment response letter along with the submitted plans for the development site plan resubmittal.

Respectfully,

Realarchitecture Ltd.

Kendall Goodman AIA, Principal